



ALPINE CITY PLANNING COMMISSION MEETING

NOTICE is hereby given that the **PLANNING COMMISSION** of Alpine City, Utah, will hold a **Public Meeting** on **Tuesday, July 7th, 2026 at 6:00 p.m. at City Hall, 20 North Main Street, Alpine, Utah.**

The public may attend the meeting in person or view it via the Alpine City YouTube Channel. A direct link to the channel can be found on the homepage of the Alpine City website, alpineut.gov.

I. GENERAL BUSINESS

- A. Welcome and Roll Call: Alan MacDonald
- B. Prayer/Opening Comments: By Invitation
- C. Pledge of Allegiance: By Invitation

II. REPORTS AND PRESENTATIONS

None

III. ACTION/DISCUSSION ITEMS:

- A. **Action Item:** Review of Five.12 Commercial Site Plan

IV. COMMUNICATIONS

V. APPROVAL OF PLANNING COMMISSION MINUTES: June 16th, 2026

ADJOURN

Chair Alan MacDonald
July 2, 2026

THE PUBLIC IS INVITED TO ATTEND ALL PLANNING COMMISSION MEETINGS. If you need a special accommodation to participate in the meeting, please call the City Recorder's Office at 801-756-6347 ext. 5.

CERTIFICATION OF POSTING. The undersigned duly appointed recorder does hereby certify that the above agenda notice was posted at Alpine City Hall, 20 North Main, Alpine, UT. It was also sent by e-mail to The Daily Herald located in Provo, UT a local newspaper circulated in Alpine, UT. This agenda is also available on the City's web site at www.alpinecity.org and on the Utah Public Meeting Notices website at www.utah.gov/pmn/index.html.

ALPINE CITY PLANNING COMMISSION AGENDA

SUBJECT: Review of the Five.12 Commercial Site Plan

FOR CONSIDERATION ON: July 7, 2026

PETITIONER: City Staff

ACTION REQUESTED BY PETITIONER: Recommend approval of the Five.12 Commercial Site Plan

REVIEW TYPE: Recommendation

BACKGROUND INFORMATION:

The Five.12 Commercial Site Plan is proposed for the address of 168 S Main Street in Alpine and proposes a new commercial building. The building is to support their ongoing operational needs and provide more space for their non-profit ventures. Since the Planning Commission meeting on June 2nd, the applicant has updated their building design with the purpose of trying to meet the Historic/Gateway Design Guidelines.

The applicant has provided a site plan that overall meets the code requirements for §3.06 Business Commercial Zone and §3.11 Gateway/Historic Zone. The building takes on an industrial look with dark brick and black metal trims and accents to complement the main material. The landscaping requirement of 20% coverage of the site is currently being met, but any new building might cause the site to fall out of compliance with that requirement. A few streetscape elements every thirty (30) feet would be needed along the sidewalks. There is a water tank proposed for the site which will have to be evaluated for compliance at a later date, and likely will require a building permit and might need to meet accessory structure setback standards. Since this needs further evaluation, it should be labeled as “future proposed water tank.”

More detail from the applicant:

We are pleased to warmly introduce the construction of a new warehouse addition and parking lot for the Five12 foundation. Five 12 is a non-profit organization geared to helping feed children. Elementary school students in the United States are going home from school on Friday and coming back to school hungry on Monday. Five12 provides weekend backpacks full of food for those students in need. This new warehouse will increase the foundation's capacity to reach more children.

Located at 168 S Main St. Alpine, UT 84004, a 6,000 sqft building addition and site parking improvements will be added to the lot that already includes the existing Five12 distribution warehouse. The proposed asphalt parking lot will have 88 regular parking stalls, 4 ADA stalls and an entrance from South Main Street, ensuring easy access to community members and volunteers. From a utilities perspective, a storm drain system and underground storm water holding chamber will be placed underneath the parking lot. A concrete pad for a proposed water tower will be located near that new South main entrance. Additionally, light poles staged throughout the lot will provide ample lighting.

The proposed landscape design was executed with existing trees in mind. The large canopy trees on the south and north property line are to be preserved and protected. The new additional parking for the office building has 4 proposed landscape islands with canopy trees to provide shade. A mixture of water-wise trees, shrubs, perennials, and ornamental grasses are provided in the proposed landscape beds. A large tan decorative river cobble is proposed to match the existing beds on the east entry near the existing building.

After final grading, the future building location along South Main Street will receive a native grass seed mix to stabilize the ground. Keeping water in mind, there are no suitable locations to introduce turf grass for recreation or leisure activities. Decorative rock, native grass, and waterwise planting are the main materials implemented.

We would like to thank the Planning Commission for taking the time to review our project. We look forward to working together in getting this project underway.

GENERAL PLAN REFERENCE

- General Plan Land Use Goal #2 Policy 2.2

CITY CODE REFERENCE:

- Alpine Development Code 3.07
- Alpine Development Code 3.11
- Alpine Development Code 4.07
- Alpine Development Code 4.08
- Alpine Development Code 4.10

PUBLIC NOTICE:

This item does not require a public hearing but will be posted as an agenda item on the Planning Commission and City Council agendas, where applicable.

STAFF RECOMMENDATION:

Staff recommends that the Planning Commission consider sending a positive recommendation to the City Council for the proposed site plan for the new Five.12 commercial building at 170 S Main Street, with the condition that the streetscaping requirements be met and that the proposed water tank be labeled as “future proposed water tank” on the site plan.

Motion to Approve:

I move to recommend approval to the City Council of the proposed site plan for the new Five.12 commercial building at 168 S Main Street.

Motion to Approve with Conditions:

I move to recommend approval to the City Council of the proposed site plan for the new Five.12 commercial building at 168 S Main Street, subject to the following conditions:

*Insert Proposed Conditions

Motion to Table:

I move to table consideration of the proposed site plan for the new Five.12 commercial building at 168 S Main Street to a future meeting in order to allow additional time for revisions and/or additional information, including:

*Insert additional information needed.

Motion to Deny:

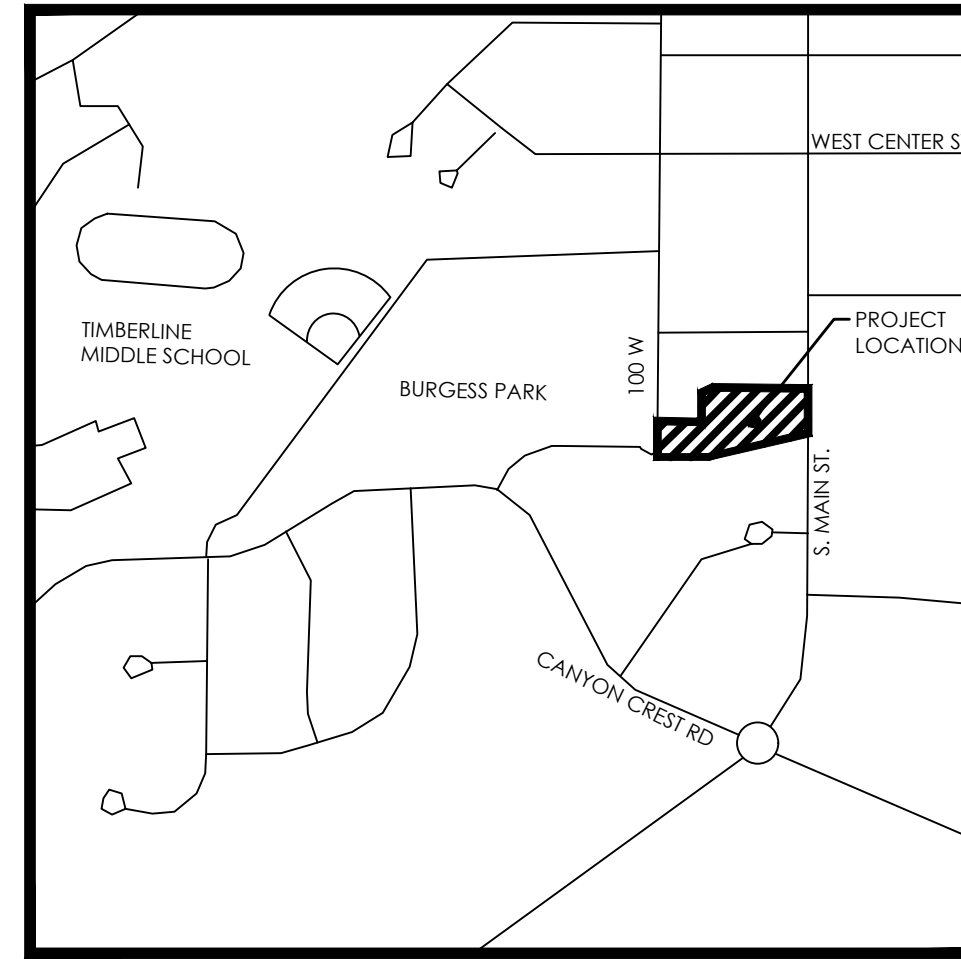
I move to recommend denial of the proposed site plan for the new Five.12 commercial building at 168 S Main Street based on the following findings:

*Insert findings

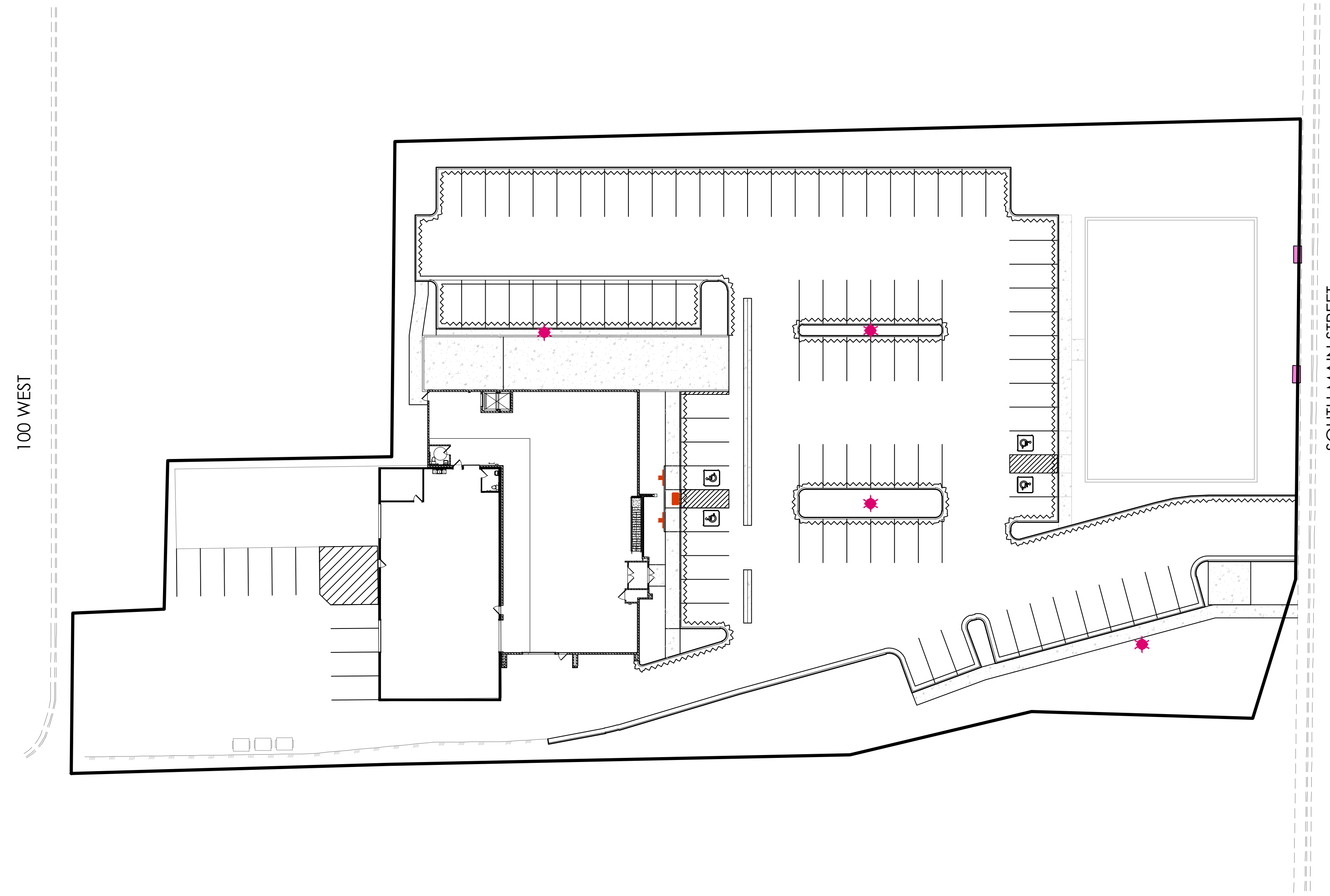
FIVE.12 WAREHOUSE

PREPARED FOR:
SILVER FOX CONSTRUCTION

LOCATED AT:
170 S MAIN STREET, ALPINE, UT 84004



VICINITY MAP
NTS



SITE MAP

Sheet List Table	
Sheet Number	Sheet Title
C1.0	COVER
C3.0	SITE PLAN
C4.0	UTILITY PLAN
C5.0	GRADING PLAN
C5.1	DRAINAGE PLAN
C6.0	EROSION CONTROL PLAN
D1.0	DETAILS
D2.0	DETAILS
E1.1	SITE PHOTOMETRIC PLAN
E1.2	SITE PHOTOMETRIC DATA
L1.0	LANDSCAPE PLAN
L2.0	IRRIGATION PLAN
L2.1	IRRIGATION DETAILS

GENERAL NOTES

- CONTRACTOR TO FIELD VERIFY HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO COMMENCEMENT OF CONSTRUCTION, AND REPORT ANY DISCREPANCIES TO THE ENGINEER.
- ANY AND ALL DISCREPANCIES IN THESE PLANS ARE TO BE BROUGHT TO THE ENGINEER'S ATTENTION PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- ALL CONSTRUCTION SHALL ADHERE TO APWA STANDARD PLANS AND SPECIFICATIONS.
- ALL UTILITIES AND ROAD IMPROVEMENTS SHOWN ON THE PLANS HEREIN SHALL BE CONSTRUCTED USING REFERENCE TO SURVEY CONSTRUCTION STAKES PLACED UNDER THE SUPERVISION OF A PROFESSIONAL LICENSED SURVEYOR WITH A CURRENT LICENSE ISSUED BY THE STATE OF UTAH. ANY IMPROVEMENTS INSTALLED BY ANY OTHER VERTICAL OR HORIZONTAL REFERENCE WILL NOT BE ACCEPTED OR CERTIFIED BY THE ENGINEER OF RECORD.
- THIS DRAWING SET IS SCALED TO BE PRINTED ON A 24" X 36" SIZE OF PAPER (ARCH. D). IF PRINTED ON A SMALLER PAPER SIZE, THE DRAWING WILL NOT BE TO SCALE AND SHOULD NOT BE USED TO SCALE MEASUREMENTS FROM THE PAPER DRAWING. ALSO USE CAUTION, AS THERE MAY BE TEXT OR DETAIL THAT MAY BE OVERLOOKED DUE TO THE SMALL SIZE OF THE DRAWING.

NOTICE

BEFORE PROCEEDING WITH THIS WORK, THE CONTRACTOR SHALL CAREFULLY CHECK AND VERIFY ALL CONDITIONS, QUANTITIES, DIMENSIONS, AND GRADE ELEVATIONS, AND SHALL REPORT ALL DISCREPANCIES TO THE ENGINEER.

ENGINEER'S NOTES TO CONTRACTOR

- THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITY PIPES, CONDUITS OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED BY A SEARCH OF THE AVAILABLE RECORDS, TO THE BEST OF OUR KNOWLEDGE. THERE ARE NO EXISTING UTILITIES EXCEPT AS SHOWN ON THESE PLANS. THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITY LINES SHOWN ON THESE DRAWINGS. THE CONTRACTOR FURTHER ASSUMES ALL LIABILITY AND RESPONSIBILITY FOR THE UTILITY PIPES, CONDUITS OR STRUCTURES SHOWN OR NOT SHOWN ON THESE DRAWINGS. IF UTILITY LINES ARE ENCOUNTERED DURING CONSTRUCTION THAT ARE NOT IDENTIFIED BY THESE PLANS, CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY.
- CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE CITY, THE OWNER, AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.
- UNAUTHORIZED CHANGES & USES: THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THESE PLANS.
- ALL CONTOUR LINES SHOWN ON THE PLANS ARE AN INTERPRETATION BY CAD SOFTWARE OF FIELD SURVEY WORK PERFORMED BY A LICENSED SURVEYOR. DUE TO THE POTENTIAL DIFFERENCES IN INTERPRETATION OF CONTOURS BY VARIOUS TYPES OF GRADING SOFTWARE BY OTHER ENGINEERS OR CONTRACTORS, FOCUS DOES NOT GUARANTEE OR WARRANT THE ACCURACY OF SUCH LINEWORK. FOR THIS REASON, FOCUS WILL NOT PROVIDE ANY GRADING CONTOURS IN CAD FOR ANY TYPE OF USE BY THE CONTRACTOR. SPOT ELEVATIONS AND PROFILE ELEVATIONS SHOWN IN THE DESIGN DRAWINGS GOVERN ALL DESIGN INFORMATION ILLUSTRATED ON THE APPROVED CONSTRUCTION SET. CONSTRUCTION EXPERTISE AND JUDGMENT BY THE CONTRACTOR IS ANTICIPATED BY THE ENGINEER TO COMPLETE BUILD-OUT OF THE INTENDED IMPROVEMENTS.

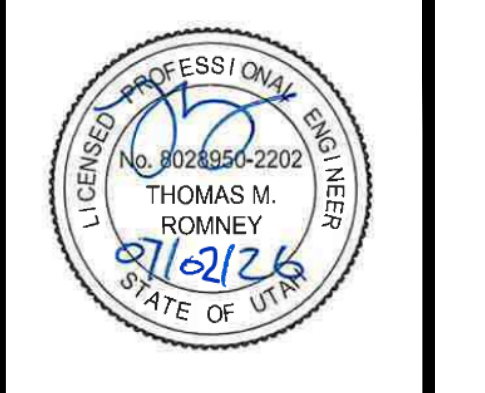
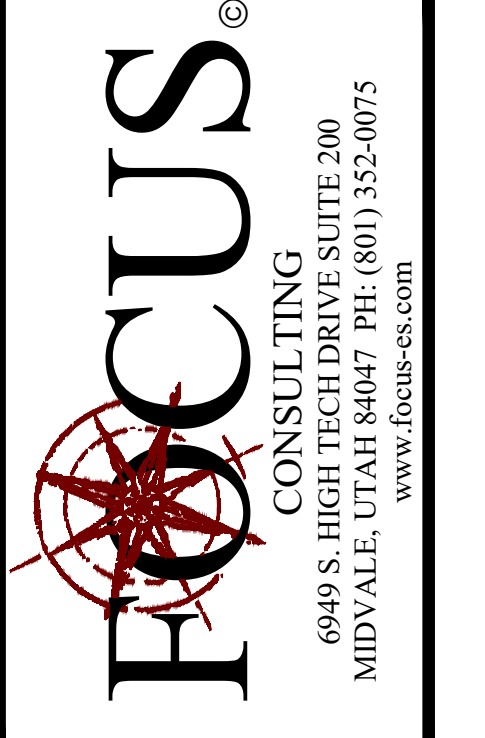
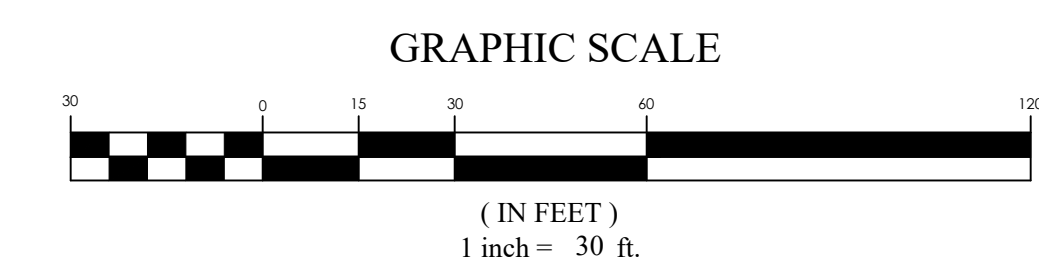
CONTACTS

ENGINEER & SURVEYOR
FOCUS CONSULTING, LLC
6949 S. HIGH TECH DRIVE SUITE 200
MIDVALE, UTAH 84047
(801) 352-0075
PROJECT MANAGER: PARK SORENSON
SURVEY MANAGER: JUSTIN LUNDBERG

OWNER/DEVELOPER
SILVER FOX CONSTRUCTION
533 WEST STATE ST. #102
PLEASANT GROVE, UTAH 84062
(801) 857-7914
CONTACT: JD HEINER

BENCHMARK

SOUTH QUARTER CORNER OF SECTION 24
TOWNSHIP 4S, RANGE 1E
SALT LAKE BASE AND MERIDIAN
ELEV: 4916.46
DATUM: NGVD29

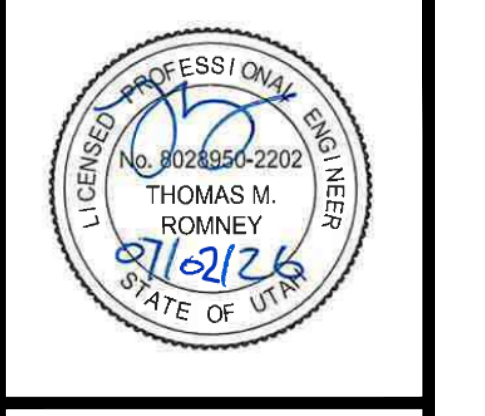


FIVE.12 WAREHOUSE
170 S MAIN STREET, ALPINE, UT 84004
COVER

REVISION BLOCK	DATE	DESCRIPTION
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6		

COVER

Scale: 1" = 30' Drawn: PS
Date: 07/02/26 Job #: 25-0307
Sheet: C1.0



FIVE.12 WAREHOUSE
 170 S MAIN STREET, ALPINE, UT 84004
SITE PLAN

LEGEND

---	BOUNDARY
---	ROW
---	CENTERLINE
---	LOT LINE
---	EASEMENT
---	XX" STORM DRAIN
---	XX" SANITARY SEWER
---	XX" CULINARY WATER
---	XX" PRESSURE IRRIGATION
---	CONTOUR MAJOR
---	CONTOUR MINOR
---	EXIST. STORM DRAIN
---	EXIST. SANITARY SEWER
---	EXIST. CULINARY WATER
---	EXIST. FENCE
---	EXIST. CONTOUR MAJOR
---	EXIST. CONTOUR MINOR
---	SIGN
---	STREET LIGHT
---	SD MH, INLET, AND COMBO
---	SEWER MANHOLE
---	SECONDARY METER, WATER METER
---	CULINARY VALVE, TEE & BEND
---	SECONDARY VALVE, TEE & BEND
---	WATER BLOW-OFF
---	FIRE HYDRANT
---	STREET MONUMENT (TO BE SET)
---	EXIST. STREET MONUMENT
---	EXIST. SD INLET & MH
---	EXIST. SEWER MH
---	EXIST. VALVE, TEE, & BEND
---	EXIST. FIRE HYDRANT
---	SPOT ELEVATION

PROPERTY OVERVIEW:

TOTAL AREA:	90,561 SQFT (2.08 ACRES)
ZONING:	BUSINESS COMMERCIAL
BUILDING USE:	WAREHOUSE

PARKING:

REQUIRED FOR PROPOSED WAREHOUSE BUILDING
 (1 STALL/2 EMPLOYEES ON LARGEST SHIFT)
 75 EMPLOYEES ON LARGEST SHIFT

STALLS REQUIRED	38 STALLS
ADA STALLS REQUIRED	2 STALLS

REQUIRED FOR FUTURE OFFICE BUILDING
 (4 STALLS/1,000 SQFT)

STALLS REQUIRED	52 STALLS
ADA STALLS REQUIRED	2 STALLS

TOTAL REQUIRED STALLS: 90 STALLS

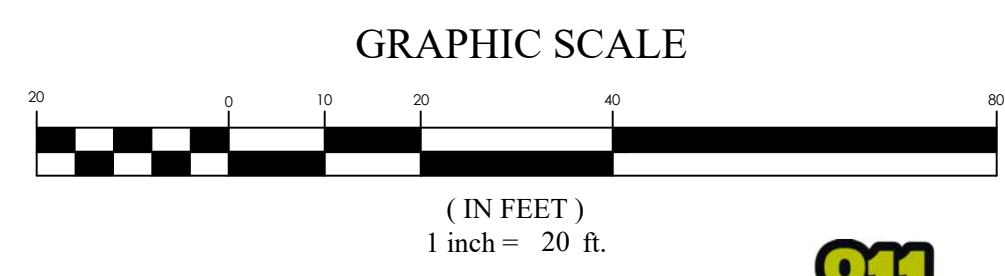
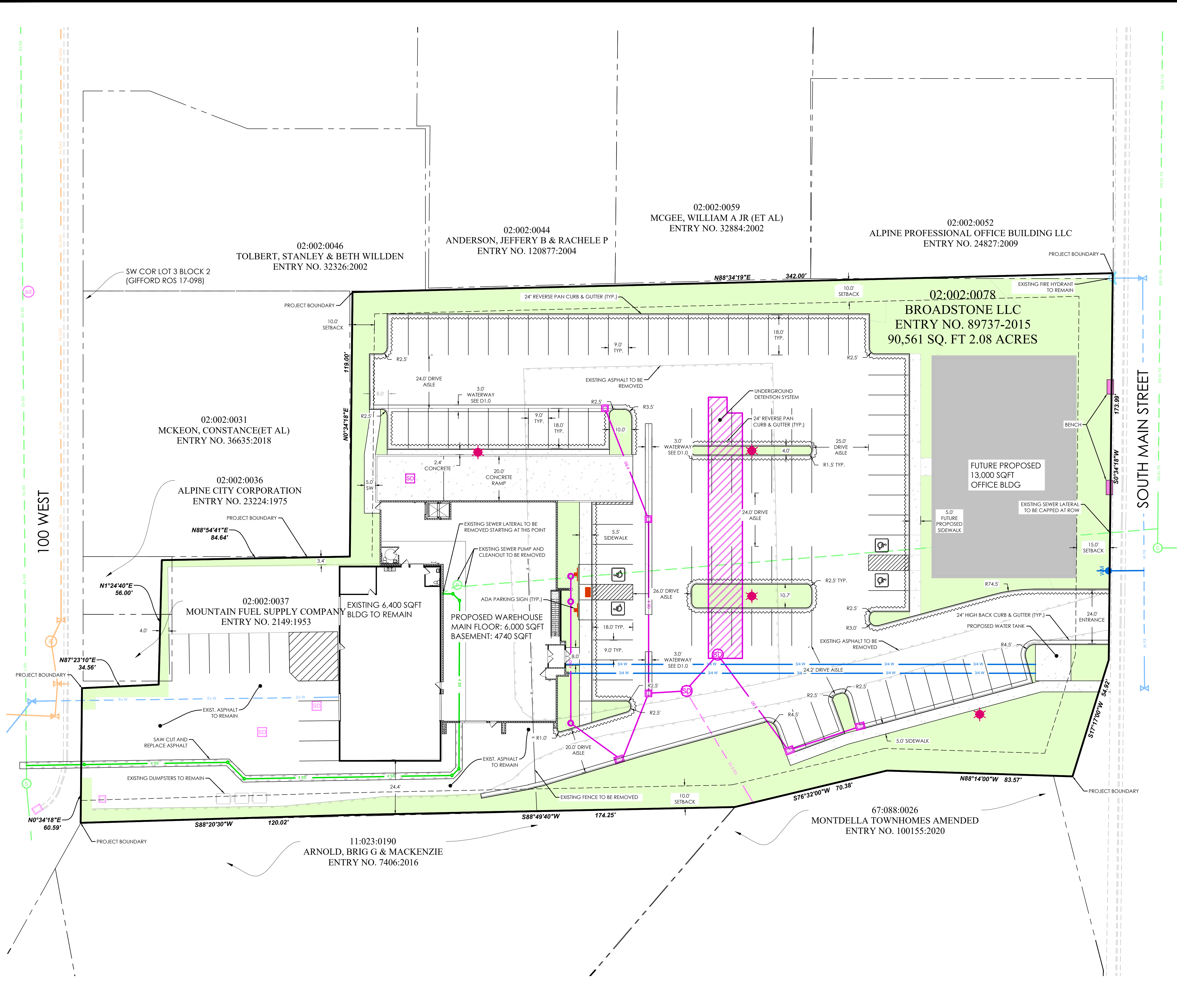
PROVIDED

STALLS PROVIDED	99 STALLS
ADA STALLS PROVIDED	4 STALLS
TOTAL STALLS PROVIDED	102 STALLS

LANDSCAPING:

REQUIRED	20% (18,112 SQFT)
PROVIDED	21.3% (19,284 SQFT)

NOTE:
 FUTURE BUILDING PAD WAS NOT INCLUDED IN THE LANDSCAPE CALCULATIONS. LANDSCAPE REQUIREMENTS ARE MET WITH OR WITHOUT FUTURE BUILDING.



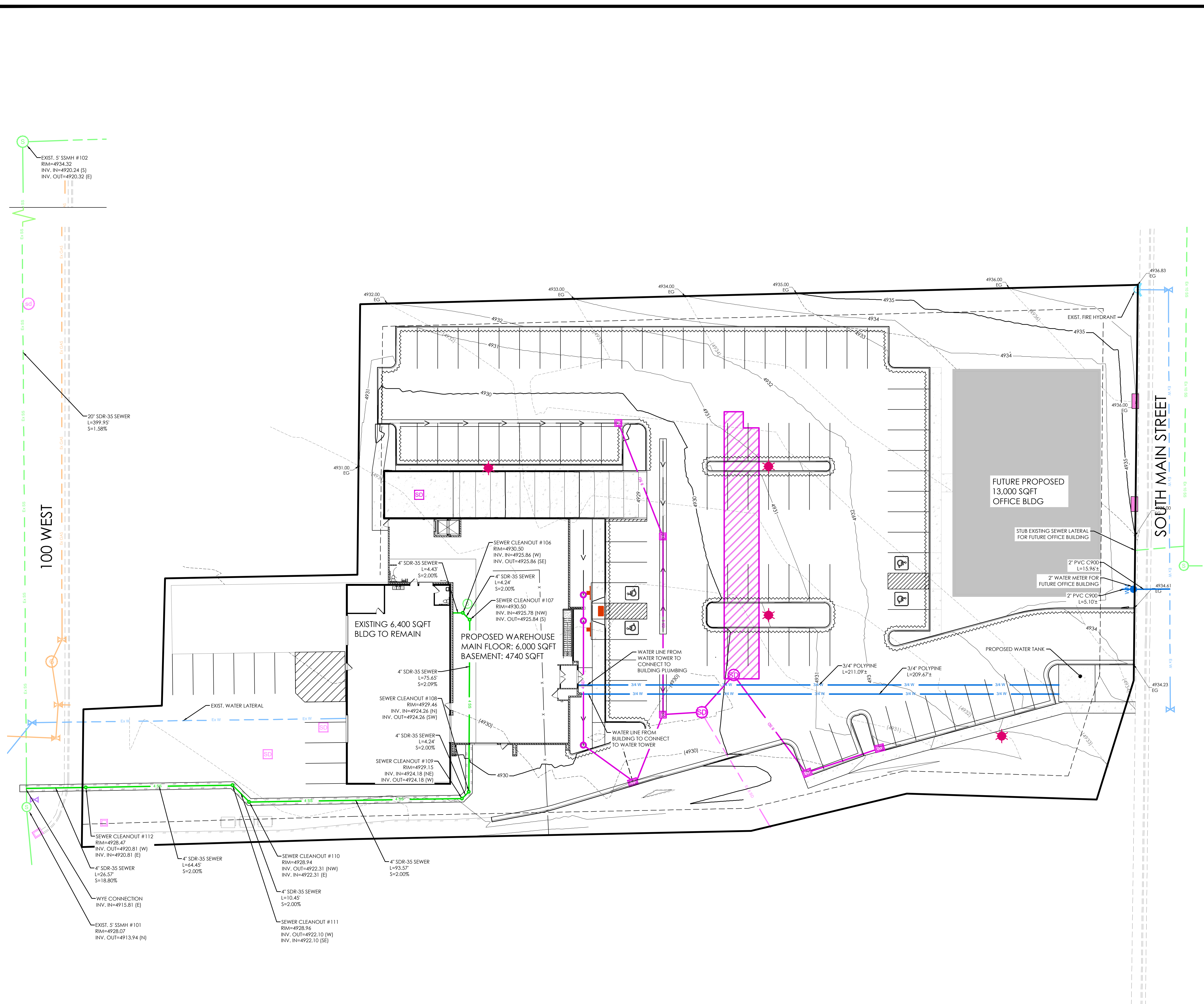
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SITE PLAN

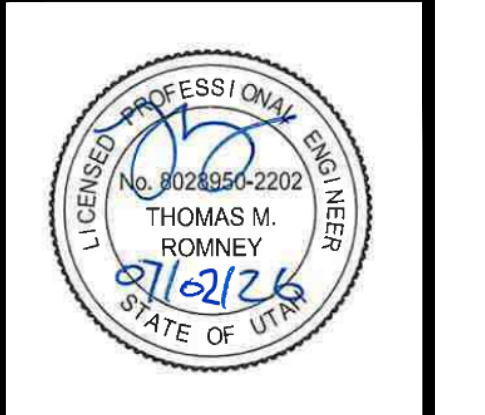
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Date:	07/02/26	Job #:	25-0307
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811 Know what's below. Call 811 before you dig.



- LEGEND**
- BOUNDARY
 - ROW
 - LOT LINE
 - CENTERLINE
 - EASEMENT
 - XX SD 20" SDR-35 SEWER
 - XX SW 4" SDR-35 SEWER
 - XX W 3/4" POLYPROPYLENE WATER
 - XX P 2" PVC C900 WATER
 - XXXX CONTOUR MAJOR
 - XXXX CONTOUR MINOR
 - EXIST. STORM DRAIN
 - EXIST. SANITARY SEWER
 - EXIST. CULINARY WATER
 - EXIST. PRESSURE IRRIGATION
 - EXIST. FENCE
 - EXIST. CONTOUR MAJOR
 - EXIST. CONTOUR MINOR
 - SIGN
 - STREET LIGHT
 - SD MH, INLET, AND COMBO
 - SEWER MANHOLE
 - SECONDARY METER, WATER METER
 - CULINARY VALVE, TEE & BEND
 - SECONDARY VALVE, TEE & BEND
 - WATER BLOW-OFF
 - FIRE HYDRANT
 - STREET MONUMENT (TO BE SET)
 - EXIST. STREET MONUMENT
 - EXIST. SD INLET & MH
 - EXIST. SEWER MH
 - EXIST. VALVE, TEE, & BEND
 - EXIST. FIRE HYDRANT
 - SPOT ELEVATION

NOTE TO CONTRACTOR:
SEWER LATERAL ELEVATIONS TO BE VERIFIED BY CONTRACTOR



FIVE.12 WAREHOUSE
170 S MAIN STREET, ALPINE, UT 84004
UTILITY PLAN

REVISION BLOCK

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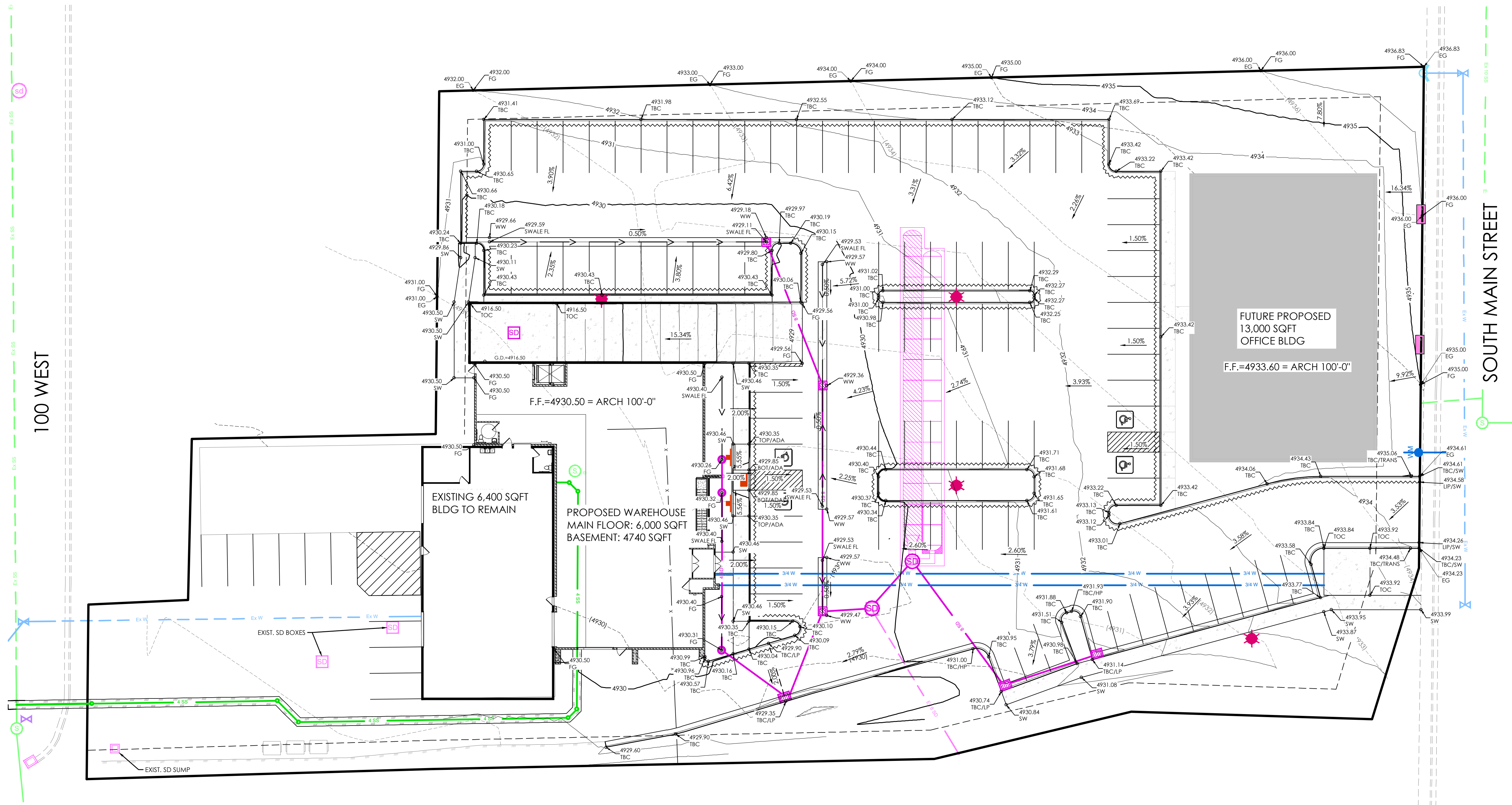
UTILITY PLAN

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Date: 07/02/26
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Job #: 25-0307

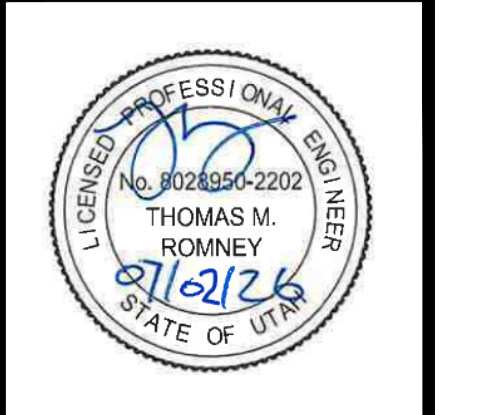
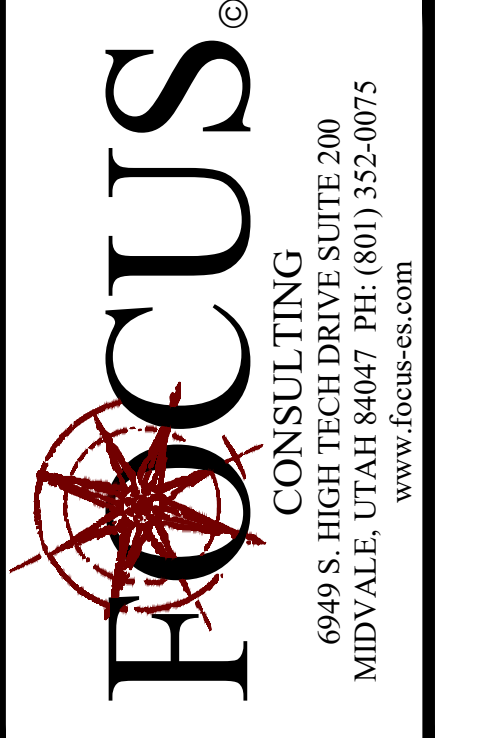


Z:\2025\250307 Nick Greene Parking Lot\Design_25-0307\dwg\sheet\C4.0 UTILITY PLAN.dwg

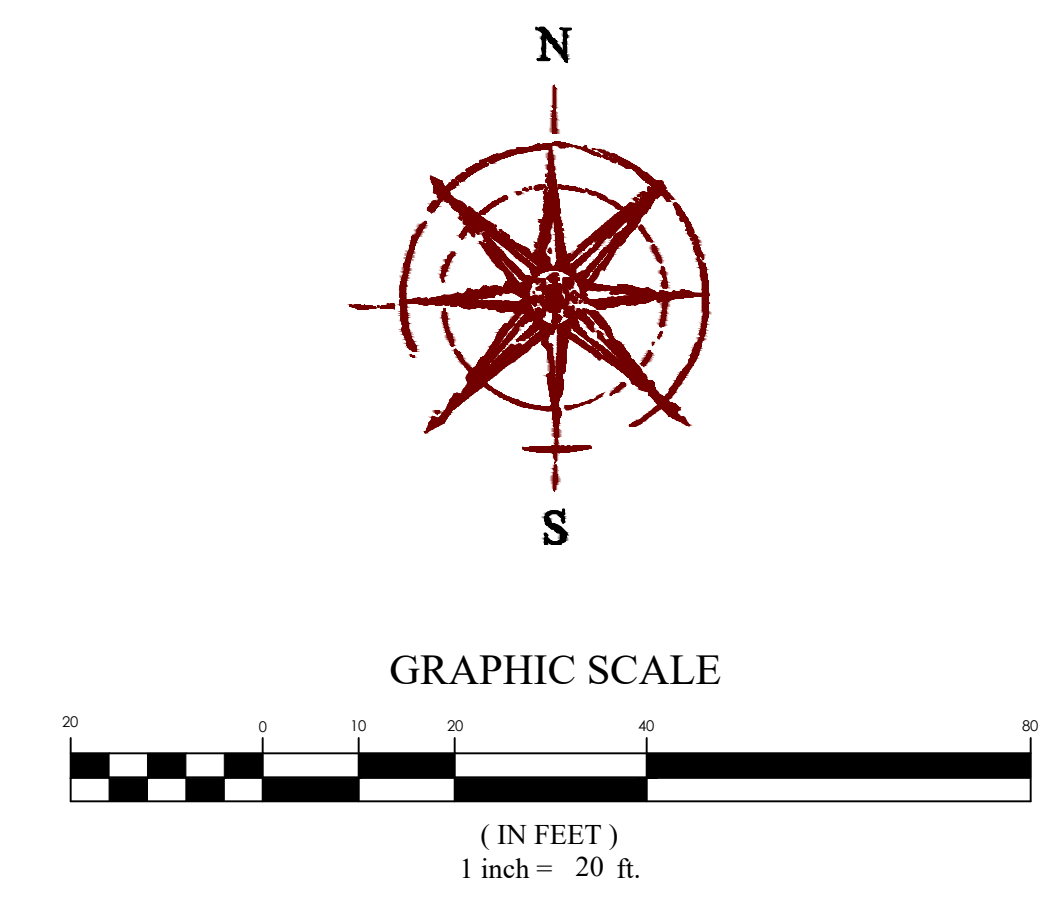
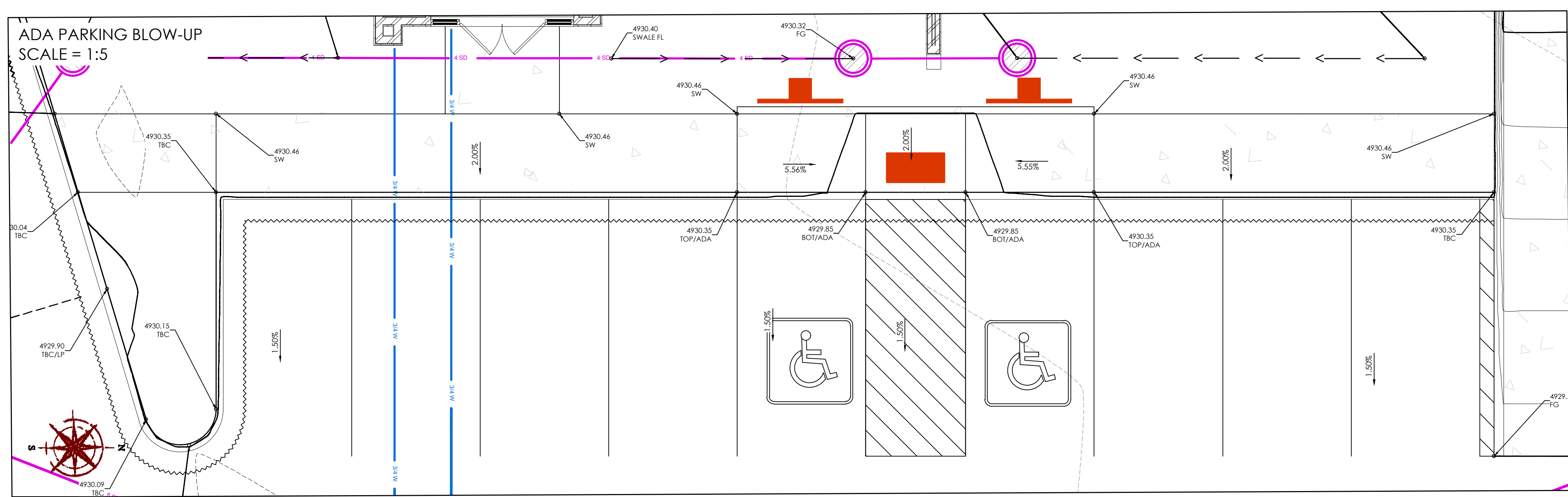


LEGEND

---	BOUNDARY
---	ROW
---	CENTERLINE
---	LOT LINE
---	EASEMENT
XX SD	XX' STORM DRAIN
XX SS	XX' SANITARY SEWER
XX W	XX' CULINARY WATER
XX P	XX' PRESSURE IRRIGATION
XXXX	CONTOUR MAJOR
XXXXX	CONTOUR MINOR
---	EXIST. STORM DRAIN
---	EXIST. SANITARY SEWER
---	EXIST. CULINARY WATER
---	EXIST. FENCE
---	EXIST. CONTOUR MAJOR
---	EXIST. CONTOUR MINOR
+	SIGN
+	STREET LIGHT
+	SD MH, INLET, AND COMBO
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+	SECONDARY METER, WATER METER
+	CULINARY VALVE, TEE & BEND
+	SECONDARY VALVE, TEE & BEND
+	WATER BLOW-OFF
+	FIRE HYDRANT
+	STREET MONUMENT (TO BE SET)
+	EXIST. STREET MONUMENT
+	EXIST. SD INLET & MH
+	EXIST. SEWER MH
+	EXIST. VALVE, TEE, & BEND
+	EXIST. FIRE HYDRANT
+	SPOT ELEVATION



FIVE.12 WAREHOUSE
170 S MAIN STREET, ALPINE, UT 84004
GRADING PLAN



REVISION BLOCK

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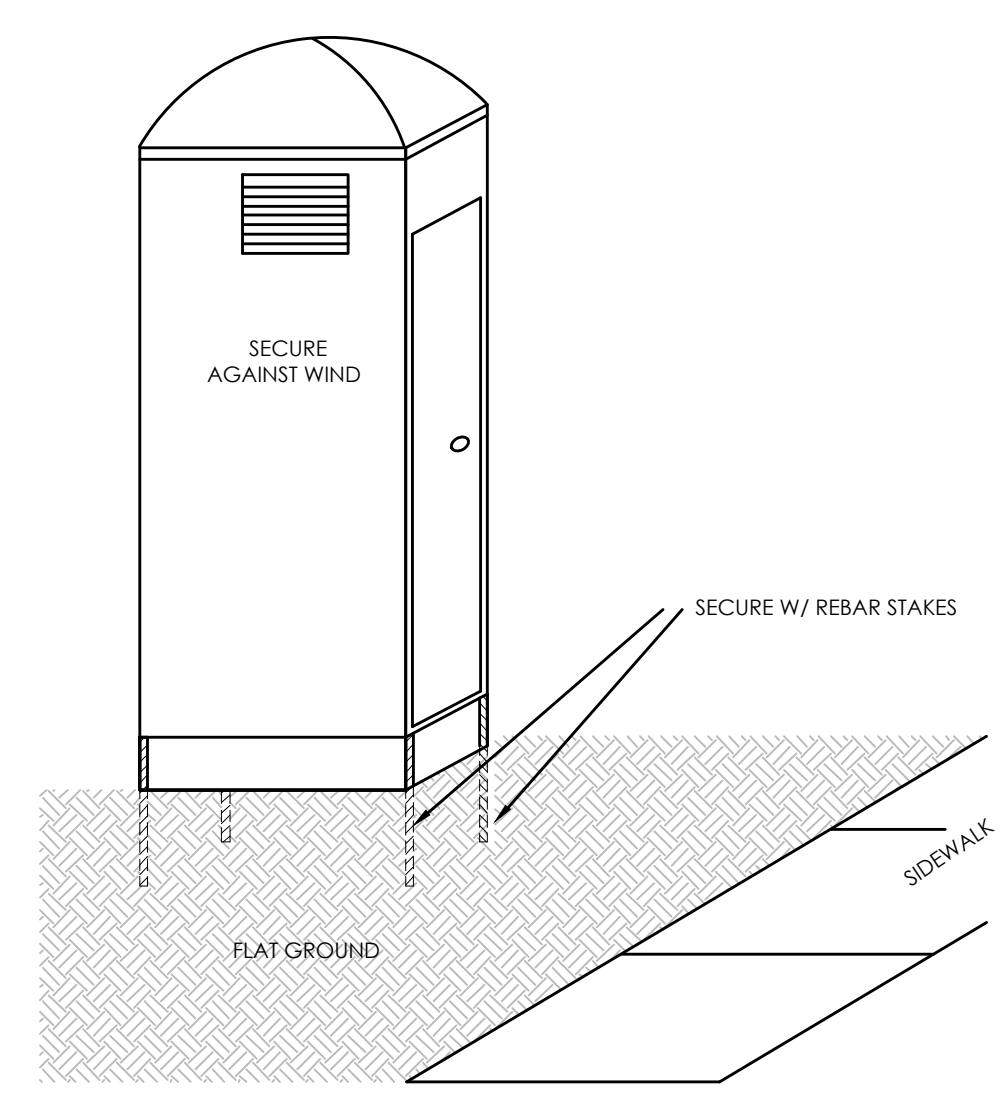
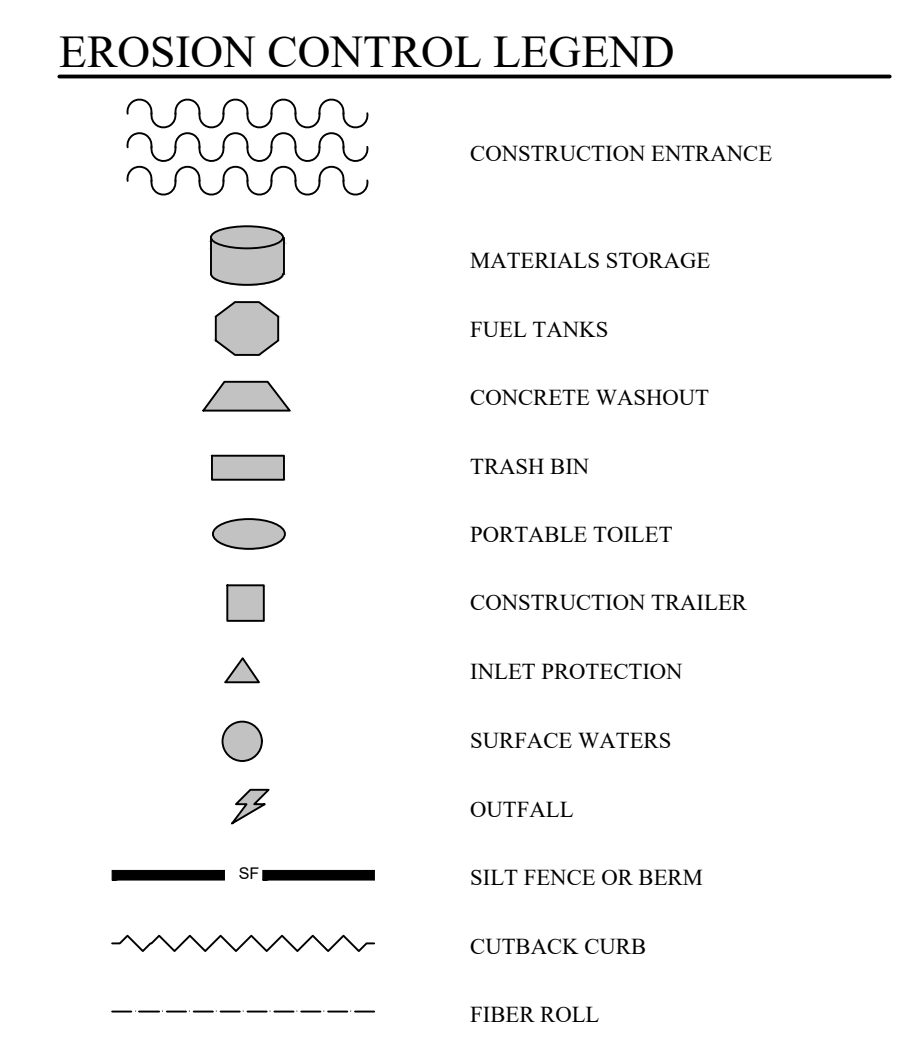
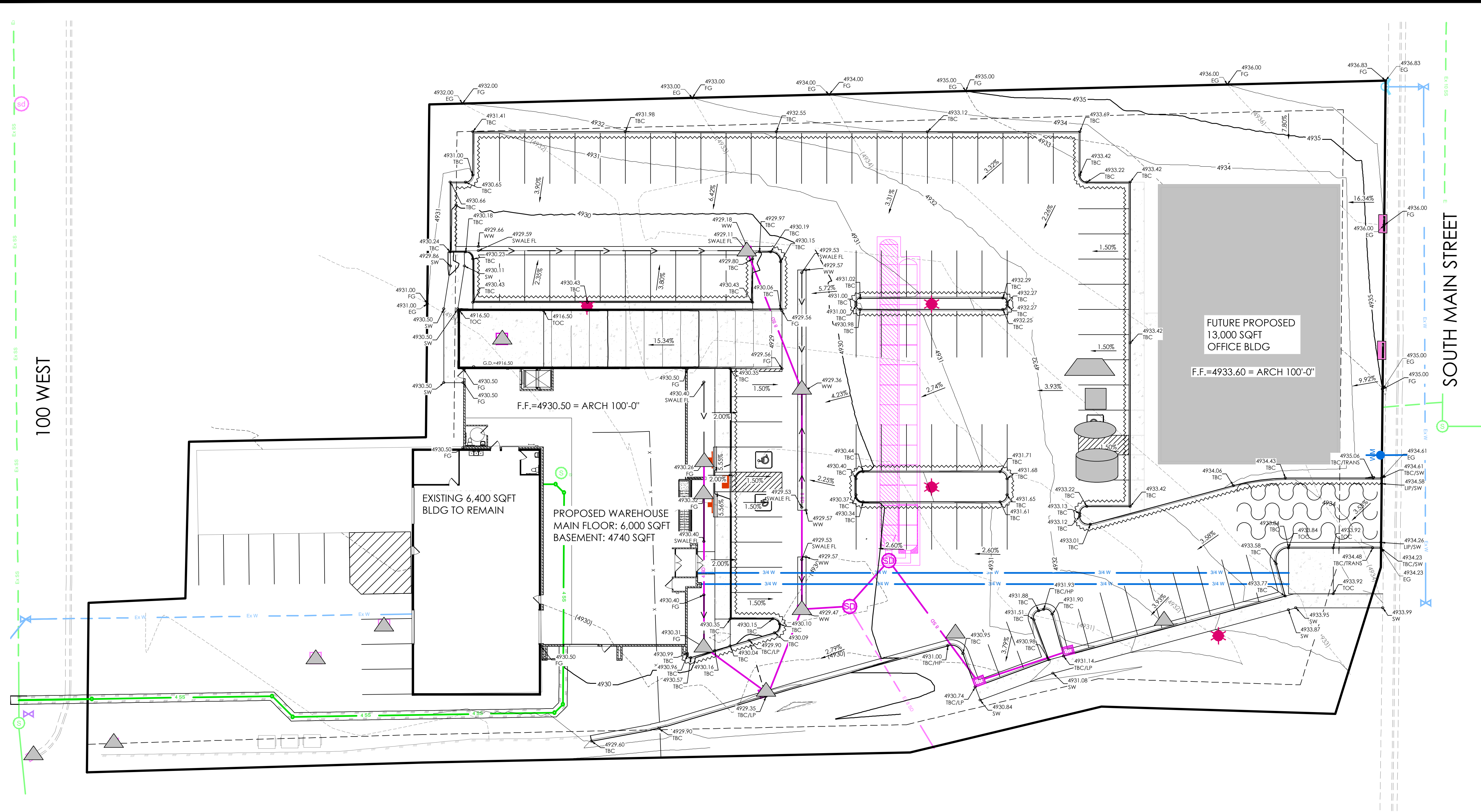
GRADING PLAN

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 Sheet: C5.0

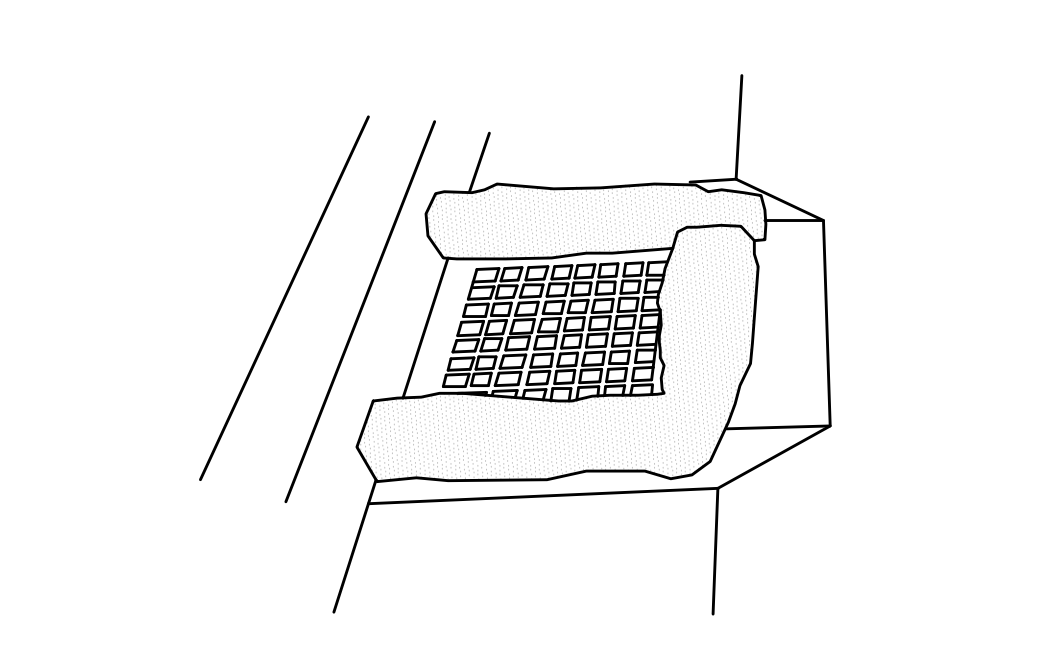
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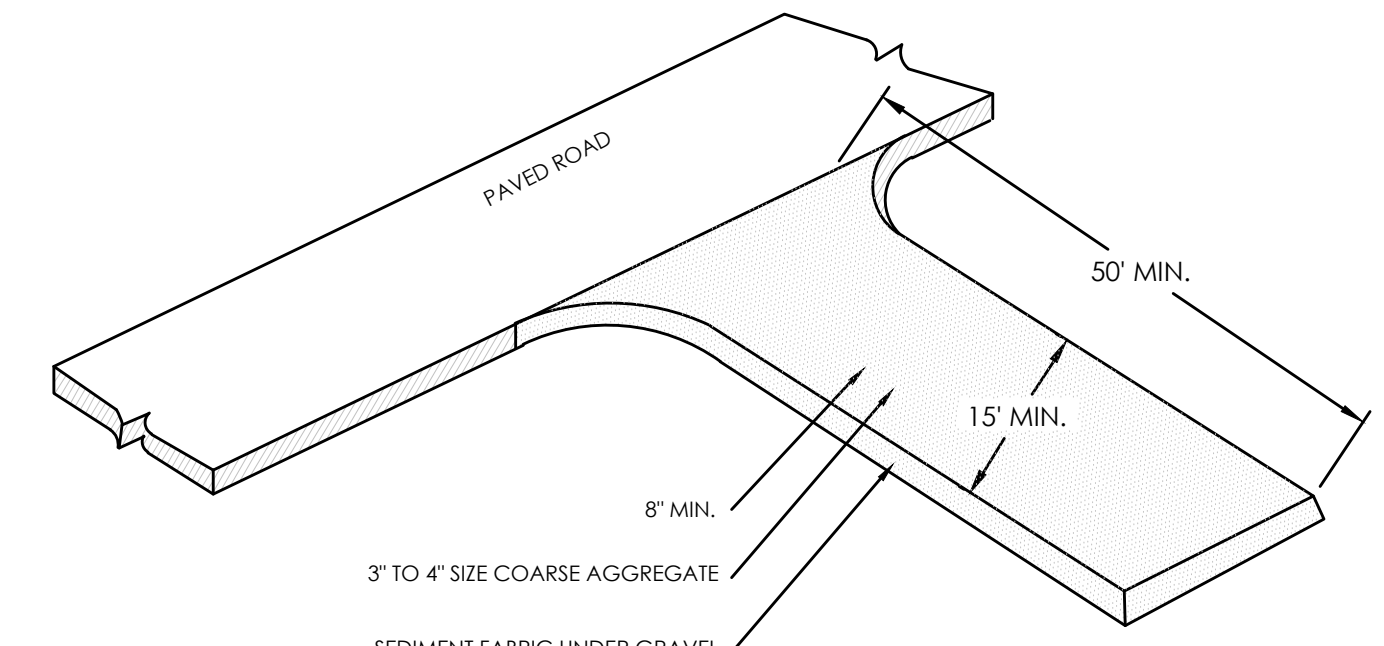
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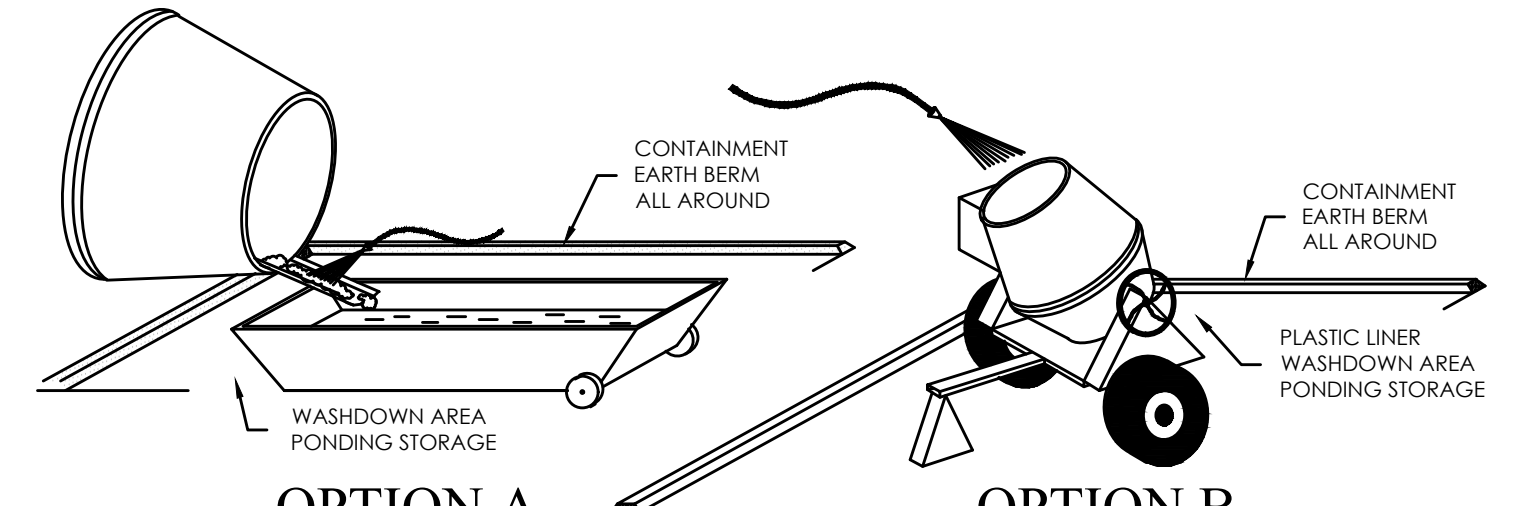
PORTABLE TOILET
NTS



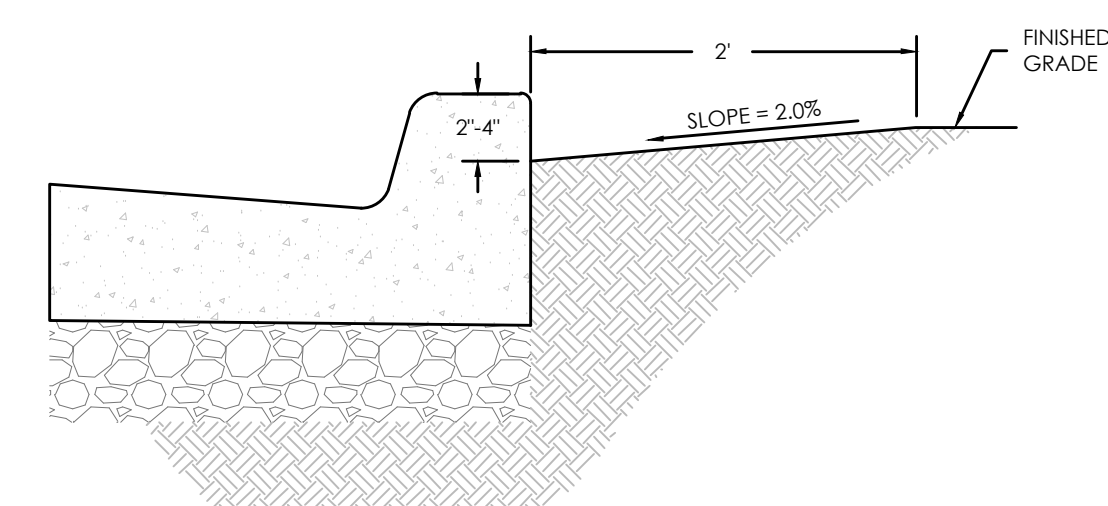
INLET PROTECTION - GRAVEL BAGS
NTS



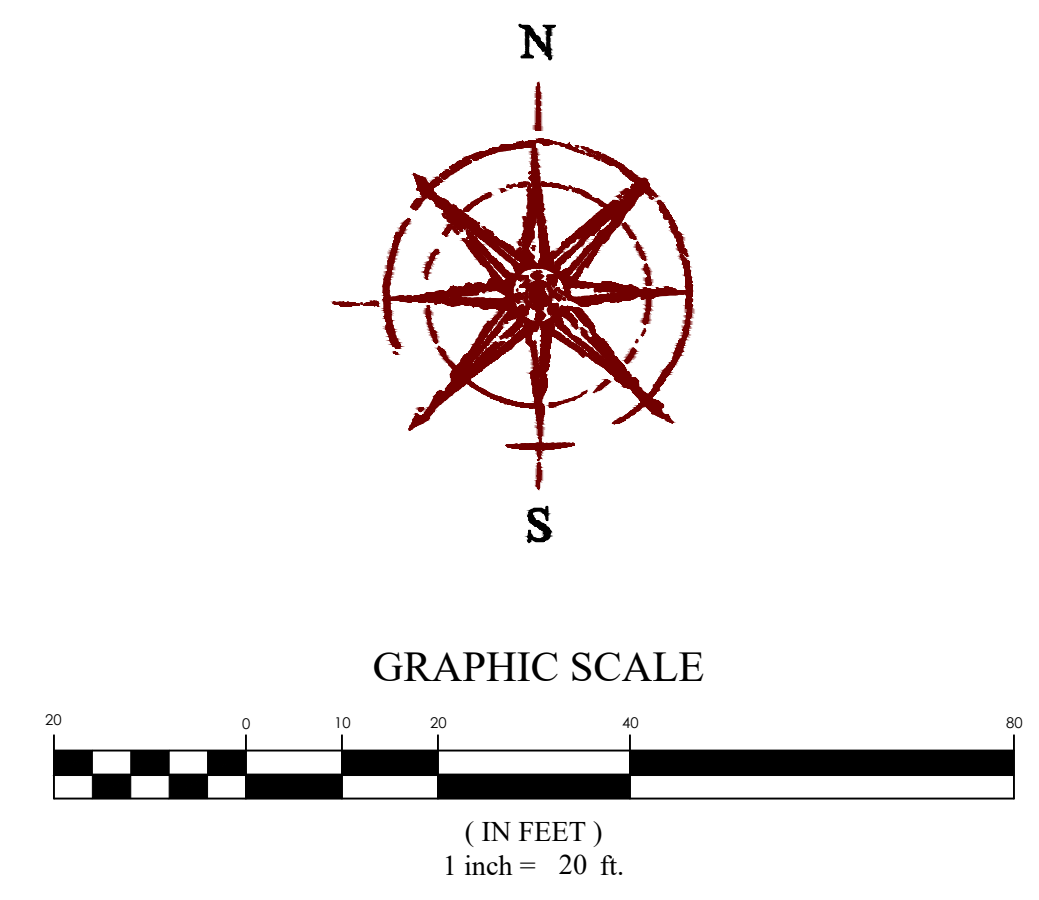
STABILIZED CONSTRUCTION ENTRANCE
NTS



CONCRETE WASTE MANAGEMENT
NTS



CURB SEDIMENTATION TRAP
NTS



GRAPHIC SCALE
(IN FEET)
1 inch = 20 ft.

REVISION BLOCK	DATE	DESCRIPTION
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Z:\2025\250307 Nick Greene Paving Ltd\Design\25-0307\dwg\sheet\C6.01 EROSION CONTROL PLAN.dwg

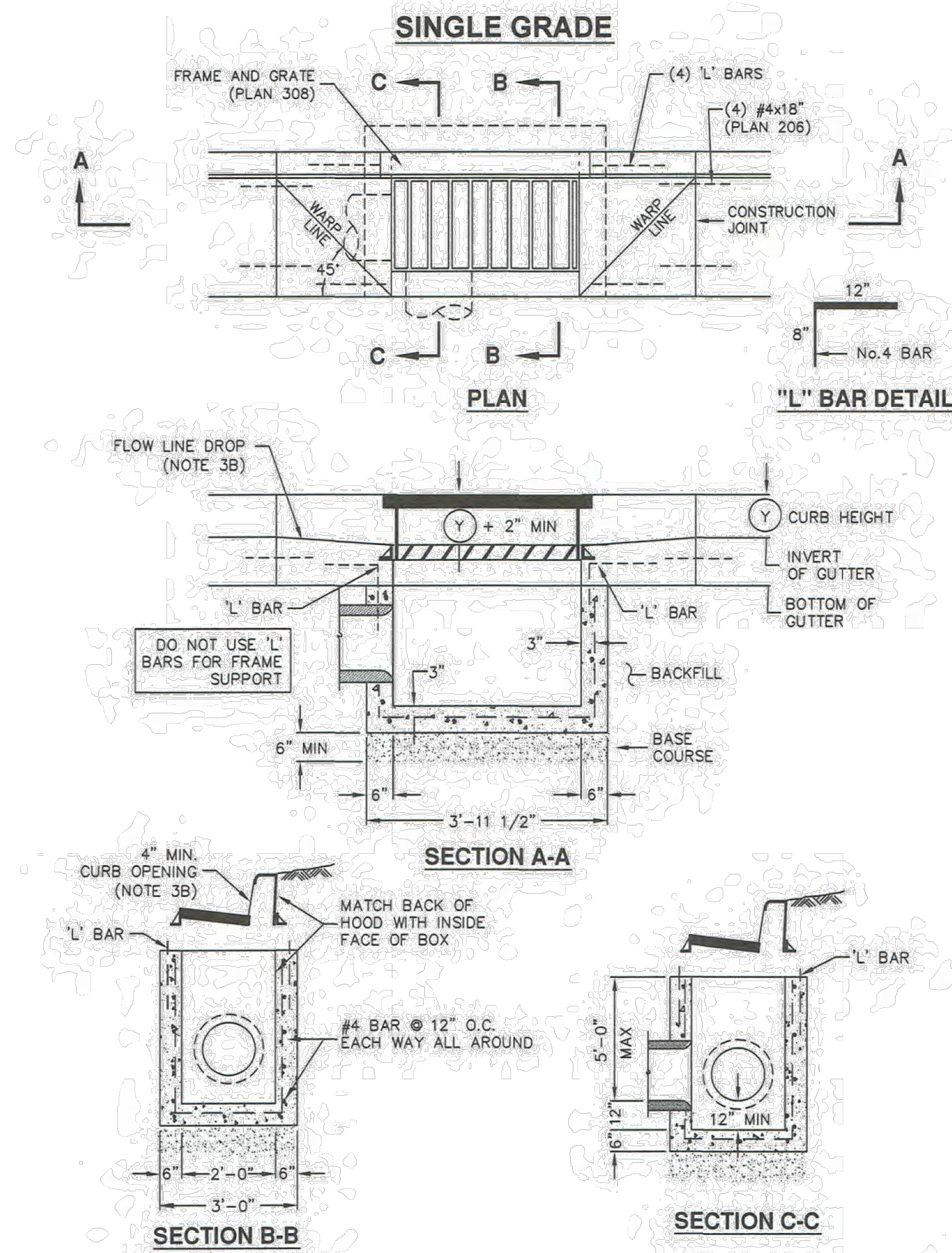
Catch basin

- GENERAL**

A. The drawing shows typical pipe connections. Refer to construction drawings for connection locations or refer to field location of existing piping when engineering pipe connection to the box.
- PRODUCTS**

A. Base Course: Untreated base course, APWA Section 32 11 23. Do not use gravel as a base course without ENGINEER'S permission.
 B. Backfill: Common fill, APWA Section 31 05 13. Maximum particle size 2-inches.
 C. Concrete: Class 4000, APWA Section 03 30 04.
 D. Reinforcement: Deformed, 60 ksi yield grade steel, ASTM A615.
- EXECUTION**

A. Base Course Placement: APWA Section 32 11 23. Maximum lift thickness is 8-inches before compaction. Compaction is 95 percent or greater relative to a modified proctor density, APWA Section 31 23 26.
 B. Curb Face Opening: Make opening at least 4-inches high. Provide at least a 2-inch drop between the "warp line" in the gutter flow-line and the top of the grate at the curb face opening.
 C. Concrete Placement: APWA Section 03 30 10. Provide 1/2-inch radius edges. Apply a broom finish. Apply a curing agent.
 D. Backfill: Place backfill against the basin wall. Pea gravel and recycled RAP aggregate is NOT ALLOWED. Water jetting is NOT allowed. Maximum lift thickness is 8-inches before compaction. Compaction is 95 percent or greater relative to a standard proctor density, APWA Section 31 23 26.



Catch basin

Plan
315.1
September 2010

315.1

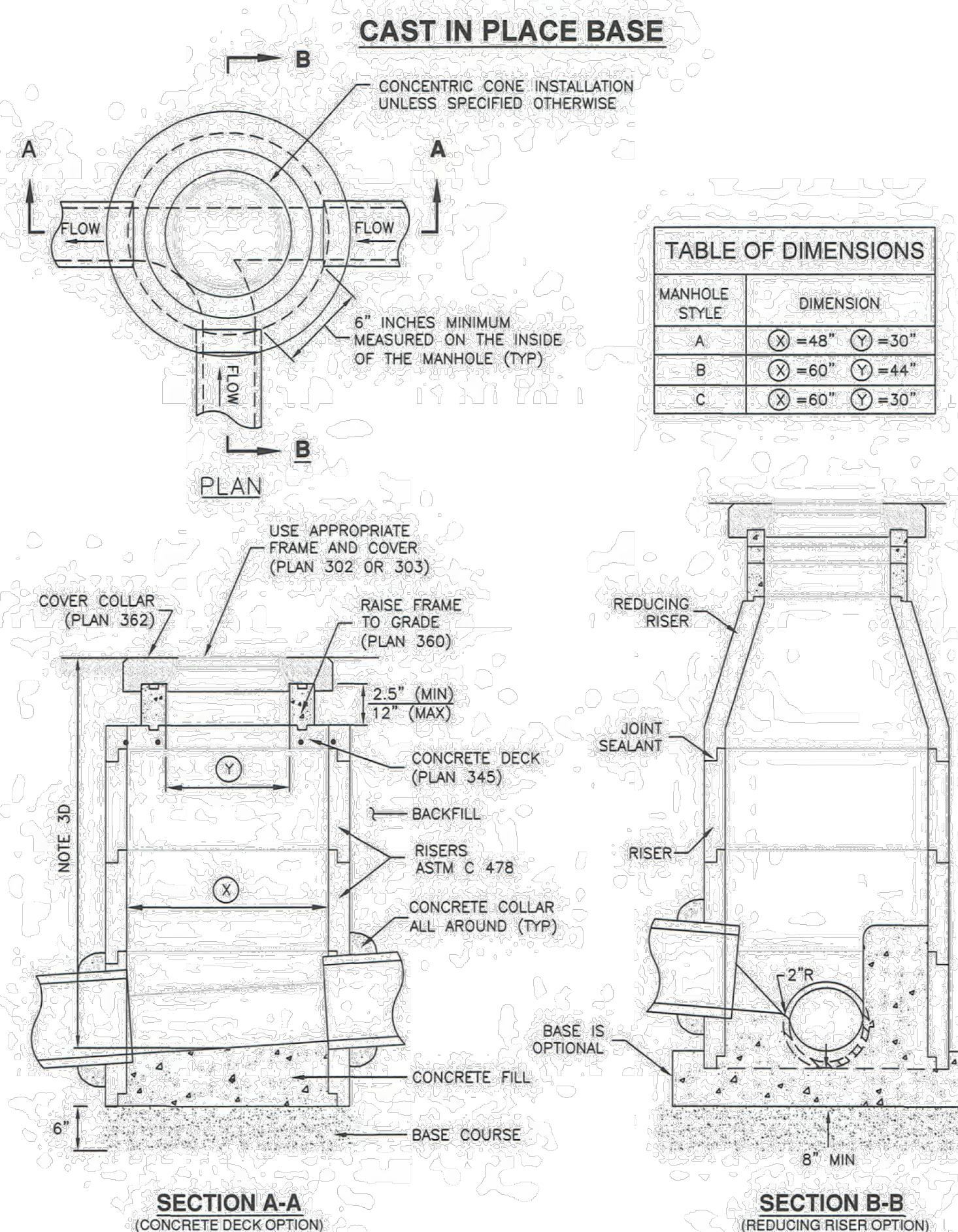
Precast manhole

- GENERAL**

A. The drawing shows typical pipe connections. Refer to construction drawings for connection locations or refer to field location of existing piping when engineering pipe connection to the manhole.
 B. Manhole size:
 1) Diameter is 4-feet: For pipe under 12" diameter.
 2) Diameter is 5-feet: For pipe 12" and larger, or when 3 or more drain pipes intersect the manhole.
 C. Wall thickness:
 1) Precast reinforced concrete walls 4 3/4" minimum.
 2) Cast-in-place concrete to be 8 inches thick minimum.
- PRODUCTS**

A. Base Course: Untreated base course, APWA Section 32 11 23. Do not use gravel as a base course without ENGINEER'S permission.
 B. Backfill: Common fill, APWA Section 31 05 13. Maximum particle size 2-inches.
 C. Concrete: Class 4000, APWA Section 03 30 04.
 D. Riser and Reducing Riser: ASTM C478.
 E. Joint Sealant: Rubber based, compressible.
 F. Grout: 2 parts sand to 1 part cement mortar, ASTM C1329.
 G. Stabilization-Separation Geotextile: Moderate or high at CONTRACTOR'S choice, APWA Section 31 05 19.
- EXECUTION**

A. Foundation Stabilization: Get ENGINEER'S permission to use a sewer rock or a sewer rock in a geotextile wrap to stabilize an unstable foundation.
 B. Base Course Placement: APWA Section 32 11 23. Maximum lift thickness is 8-inches before compaction. Compaction is 95 percent or greater relative to a modified proctor density, APWA Section 31 23 26.
 C. Invert cover. During construction, place invert covers over the top of pipe in manholes that currently convey sewerage. See Plan 412.
 D. Concrete Deck or Reducing Riser: When depth of manhole from pipe invert to finish grade exceeds 7 feet, use an ASTM C478 reducing riser.
 E. Pipe Connections: Grout around all pipe openings.
 F. Pipe Seal: Install rubber-based pipe seals on all plastic pipes when connecting plastic pipes to manholes. Hold water-stop in place with stainless steel bands.
 G. Joints: Place flexible sealant in all riser joints. Finish with grout.
 H. Adjustment: If the required manhole adjustment is more than 1'-0", remove the cone and grade rings and adjust the manhole elevation with the appropriate manhole section, the cone section, and the grade rings or plastic form to make frame and lid match finish grade.
 I. Finish: Provide smooth and neat finishes on interior of cones, shafts, and rings. Imperfect moldings or honeycombs will not be accepted.
 J. Backfill: Provide backfill against the manhole shaft. Pea gravel and recycled RAP aggregate is NOT ALLOWED. Water jetting is NOT allowed. Maximum lift thickness is 8-inches before compaction. Compaction is 95 percent or greater relative to a standard proctor density, APWA Section 31 23 26.



Precast manhole

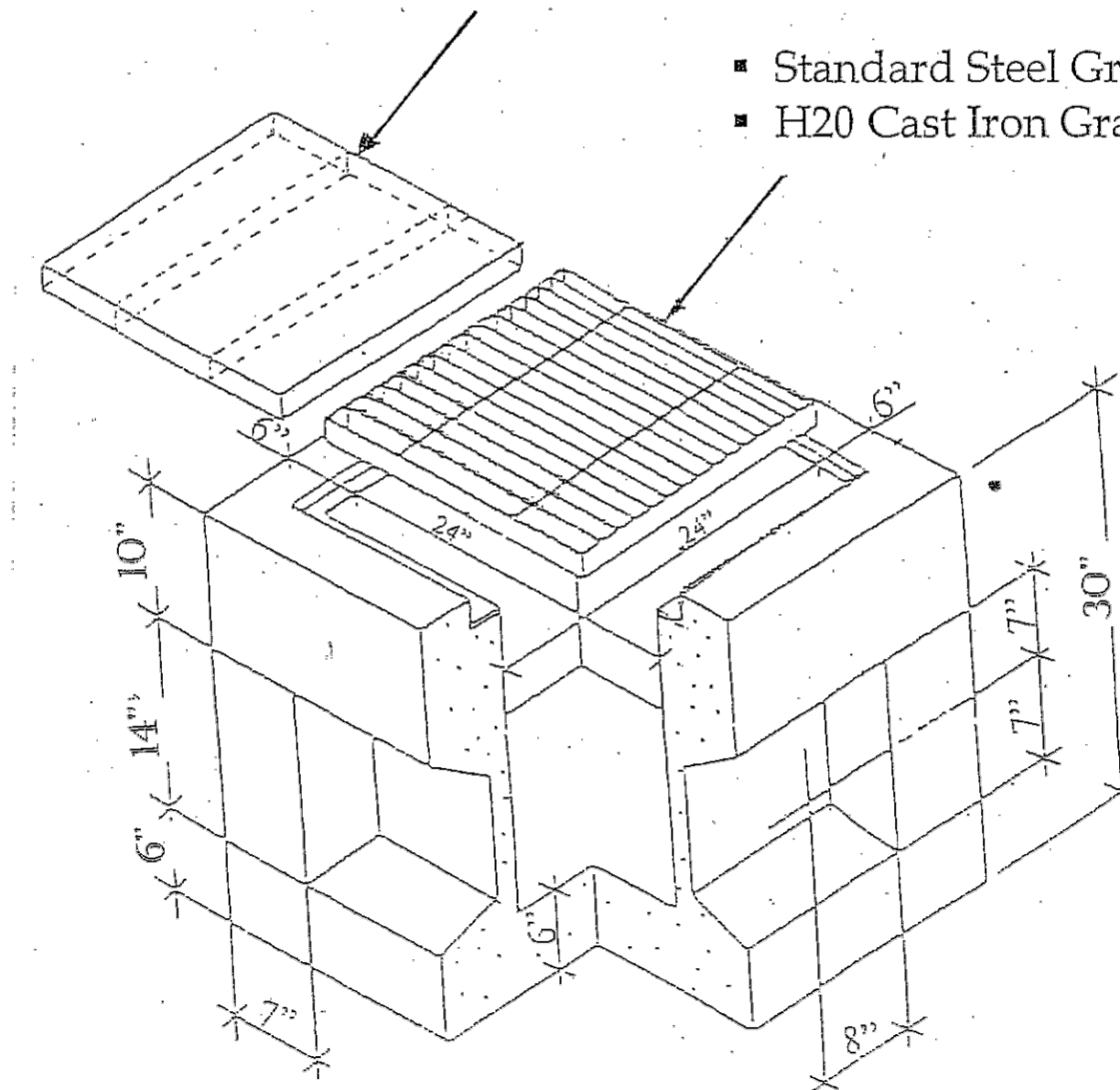
Plan
341.1
November 2010

341.1

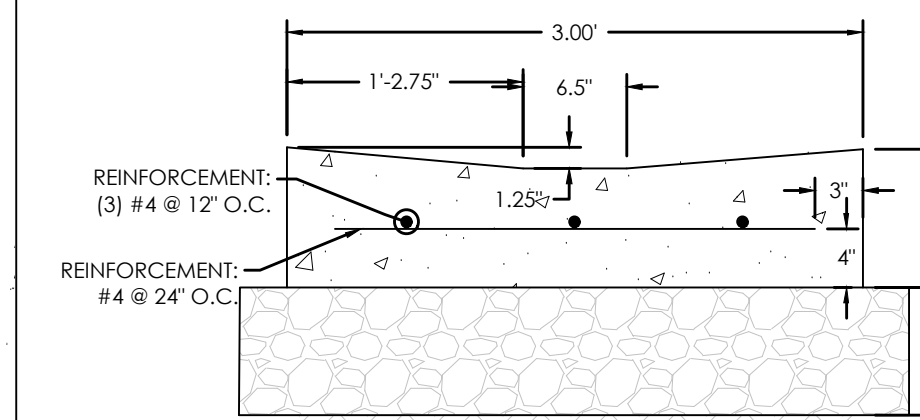


Catch Basin
2' x 2' x 2' I.D.

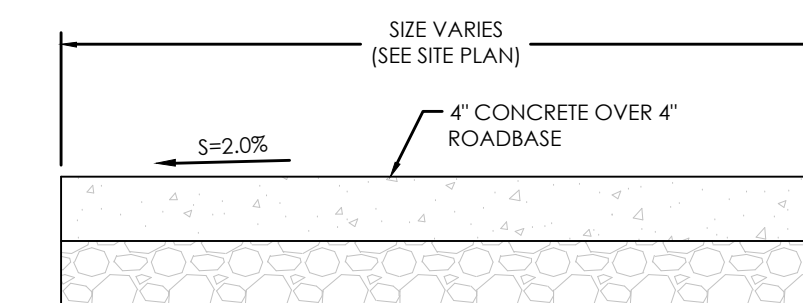
Optional steel plate cover - 3/16" plate



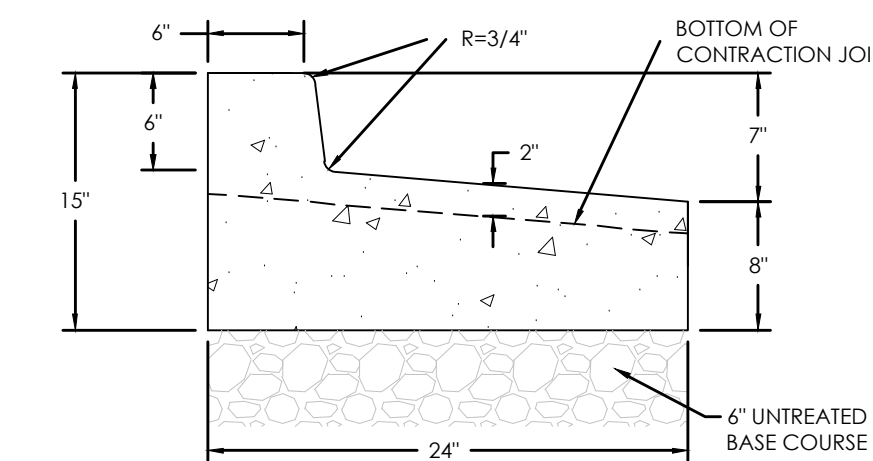
- Standard Steel Grating
- H20 Cast Iron Grating



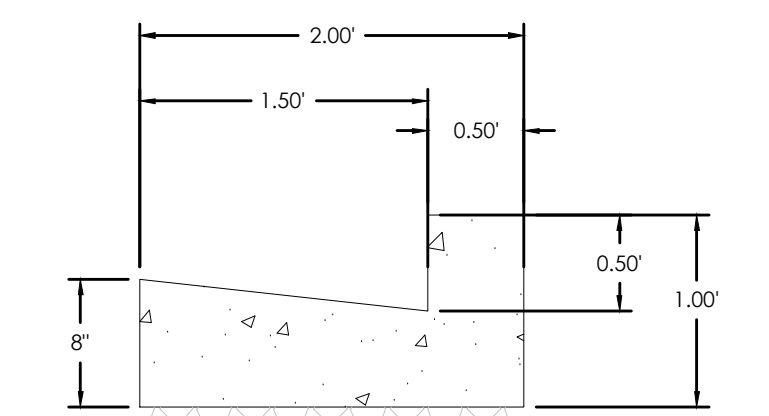
3' WATERWAY
NTS



SIDEWALK SECTION
NTS

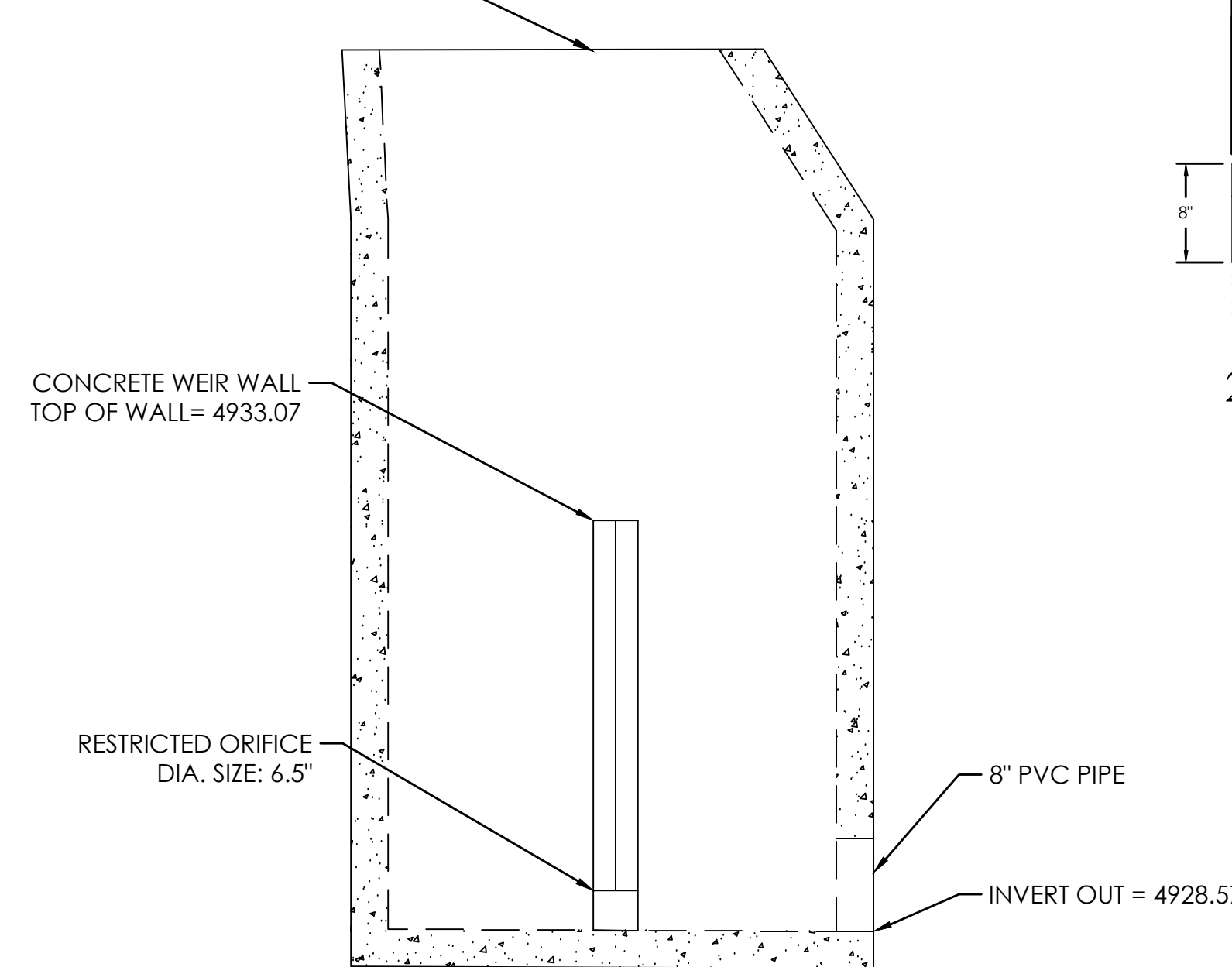


REVERSE PAN CURB AND GUTTER
NTS

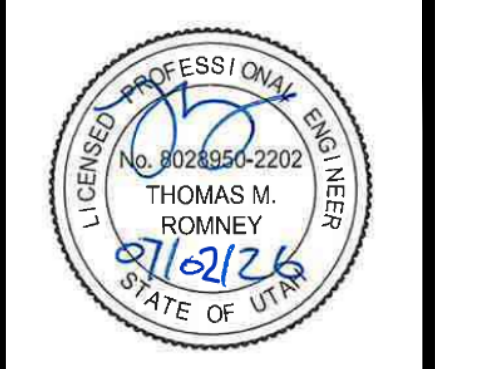
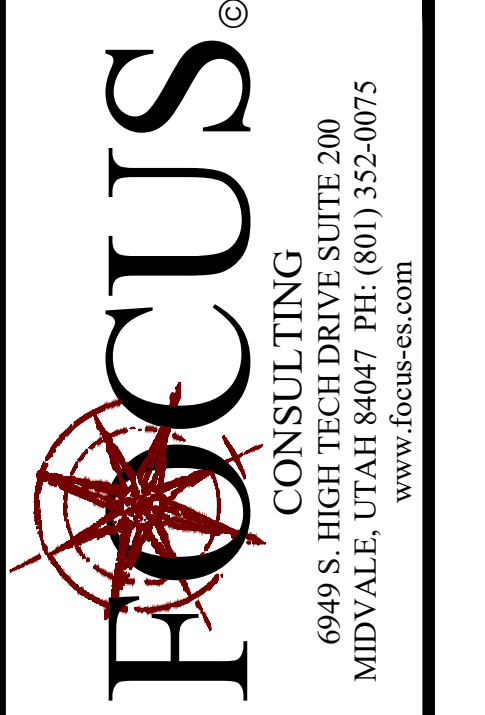


2.0' HIGHBACK
NTS

5Ø SDMH # 102
RIM = 4930.26



SDMH OUTLET DETAIL
NTS



FIVE.12 WAREHOUSE
170 S MAIN STREET, ALPINE, UT 84004
DETAILS

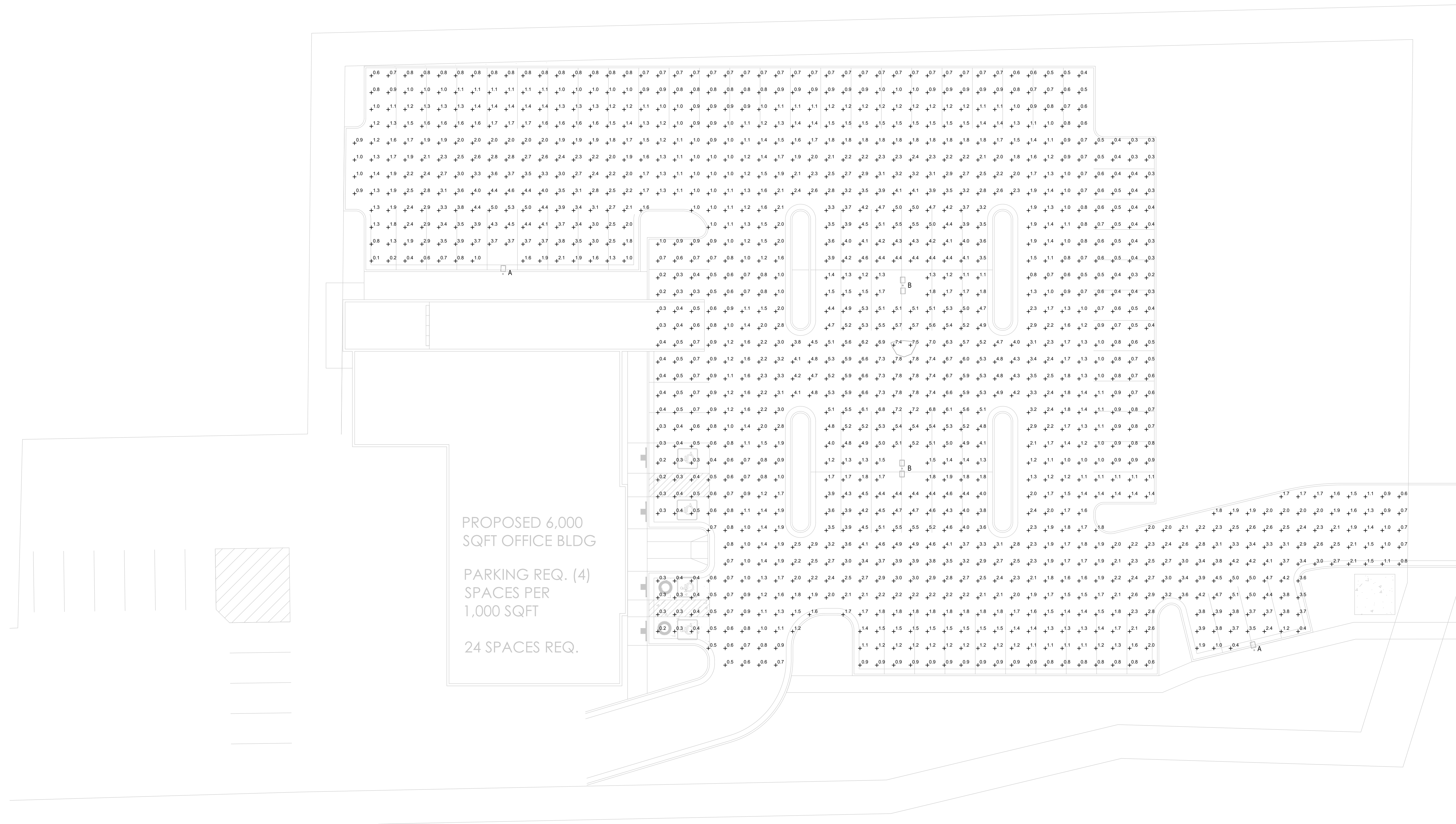
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DETAILS	
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Date:	Job #: 25-0307
Sheet:	D1.0



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**ALPINE SITE
PHOTOMETRIC**




A SITE PHOTOMETRIC PLAN
E1.1 SCALE: 1/32" = 1'-0"

DRAWN BY: PCH		
CHECKED BY: PCH		
PROJECT NO.: #####		
NO.	DATE	DESCRIPTION

SITE PHOTOMETRIC PLAN

DRAWING NO.
E1.1



D-Series Size 2 LED Area Luminaire

d-series

Specifications

EPA: 1.00 ft² (0.30 m²)

Length: 40.59" (1031 mm)

Width: 16.76" (426 mm)

Height H1: 6.11" (156 mm)

Height H2: 3.94" (100 mm)

Weight: 45 lbs (20.4 kg)

Introduction

The modern styling of the D-Series features a highly refined aesthetic that blends seamlessly with its environment. The D-Series offers the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire.

The outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. D-Series outstanding photometry aids in reducing the number of poles required in area lighting applications with typical energy savings of up to 80% vs. 1000W HID and expected service life of over 100,000 hours.

Ordering information EXAMPLE: DSX2 LED P7 40K 70CRI T3M MVOLT SPA NLTAR2 PIRHN DDBXD

Series	LEDs	Color temperature ¹	Color Rendering Index ²	Description	Voltage	Mounting
DSX2 LED	Forward optics					
	P1	P5	300K 3000K	70CRI	AFR Automation face only	T3M Type 3 medium
	P1	P6	400K 4000K	70CRI	T15 Type 1 short	T5L6 Type 1 low glare
	P3	P7	300K 3000K	70CRI	T2M Type 2 medium	T3M Type 3 medium
	P4	P8	300K 3000K	70CRI	T3M Type 3 medium	BLC1 Type 1 backlight control ³
	Related optics					
	P10 ⁴	P10 ⁴	300K 3000K	80CRI	T4L4 Type 4 low glare ⁴	BLC4 Type 4 backlight control ³
	P11 ⁴	P11 ⁴	300K 3000K	80CRI	T4L5 Type 4 low glare ⁴	T3M Type 3 medium
	P12 ⁴	P12 ⁴	300K 3000K	80CRI	T4L6 Type 4 low glare ⁴	LC02 Left corner cut-off ⁵
	P13 ⁴	P13 ⁴	300K 3000K	80CRI	T4L7 Type 4 low glare ⁴	RC02 Right corner cut-off ⁵
	P14 ⁴	P14 ⁴	300K 3000K	80CRI	T4L8 Type 4 low glare ⁴	
	P15 ⁴	P15 ⁴	300K 3000K	80CRI	T4L9 Type 4 low glare ⁴	

Control options **Other options** **Shipped separately** **Finish (default)**

NEAR2 PIRHN	Light 100 gpm 2 installed with 10 level medium 2 ambient sensors, 5-40 mounting height, ambient sensor mounted at 26'-11.5" ± 0.1"	PER7	Seven pin receptacle only (connect ambient sensor) ^{6,7}	SPR200 ⁸	200V single phase	00000	Dark Bronze
FA0	Field adjustable output ^{9,10}	FA0	Field adjustable output ^{9,10}	NS	Non-symmetrical field install required, matches housing finish	00000	Black
BL30	10 level switched dimming, 30% ± 0.1"	BL30	10 level switched dimming, 30% ± 0.1"	L90	Left raised optics ¹¹	00000	Special Aluminum White
BL50	10 level switched dimming, 50% ± 0.1"	BL50	10 level switched dimming, 50% ± 0.1"	R90	Right raised optics ¹¹	00000	Insulated Dark Bronze
DM6	10 level dimming, water pulled, ambient sensor mounted at 26'-11.5" ± 0.1"	DM6	10 level dimming, water pulled, ambient sensor mounted at 26'-11.5" ± 0.1"	CCE	Classical Concave optics ¹²	00000	Insulated Black
PER	NEAR2 four pin receptacle only (connect ambient sensor) ^{6,7}	NA	50° ambient operation ¹³	BAA	Bay Area (USA) and other Bay Area (USA) locations	00000	Insulated Natural Aluminum
PER5	Five pin receptacle only (connect ambient sensor) ^{6,7}	SA	Single arm (130, 277, 347V) ¹⁴	DF	Double face (228, 241, 400V) ¹⁴	00000	Insulated White
		SG	Vibration rated for 30" ¹⁵				

Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Parking Area	+	2.1 fc	7.8 fc	0.1 fc	78.0:1	21.0:1

Schedule

Symbol	Label	Image	QTY	Catalog Number	Description	Lamp	Number Lamps	Lumens per Lamp	LLF	Wattage	Polar Plot
A			2	DSX2 LED P1 30K 70CRI BLC4	D-Series Size 2 Area Luminaire P1 Performance Package 3000K CCT 70 CRI Type 4 Extreme Backlight Control		1	14042	1	134.5	
B			2	DSX2 LED P1 30K 70CRI BLC4	D-Series Size 2 Area Luminaire P1 Performance Package 3000K CCT 70 CRI Type 4 Extreme Backlight Control		1	14042	1	269	

Ordering information EXAMPLE: DSX2 LED P7 40K 70CRI T3M MVOLT SPA NLTAR2 PIRHN DDBXD

Shipped installed

SPR200⁸ 200V single phase

NS Non-symmetrical field install required, matches housing finish

L90 Left raised optics¹¹

R90 Right raised optics¹¹

CCE Classical Concave optics¹²

BAA Bay Area (USA) and other Bay Area (USA) locations

DF Double face (228, 241, 400V)¹⁴

SG Vibration rated for 30"¹⁵

Control options **Other options** **Shipped separately** **Finish (default)**

PER7 Seven pin receptacle only (connect ambient sensor)^{6,7}

FA0 Field adjustable output^{9,10}

BL30 10 level switched dimming, 30% ± 0.1"

BL50 10 level switched dimming, 50% ± 0.1"

DM6 10 level dimming, water pulled, ambient sensor mounted at 26'-11.5" ± 0.1"

PER5 Five pin receptacle only (connect ambient sensor)^{6,7}

NA 50° ambient operation¹³

SA Single arm (130, 277, 347V)¹⁴

DF Double face (228, 241, 400V)¹⁴

SG Vibration rated for 30"¹⁵

Ordering information EXAMPLE: DSX2 LED P7 40K 70CRI T3M MVOLT SPA NLTAR2 PIRHN DDBXD

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DF Double face (228, 241, 400V)¹⁴

SG Vibration rated for 30"¹⁵

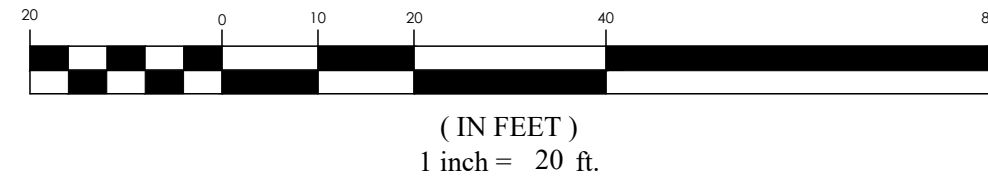
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 CHECKED BY: PCH
 PROJECT NO: #####
 NO. DATE DESCRIPTION

SITE PHOTOMETRIC DATA

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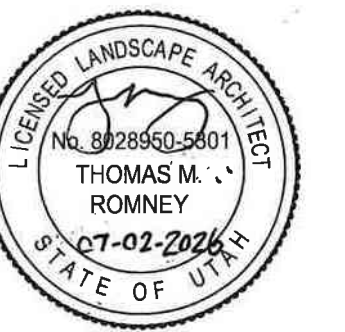


GRAPHIC SCALE

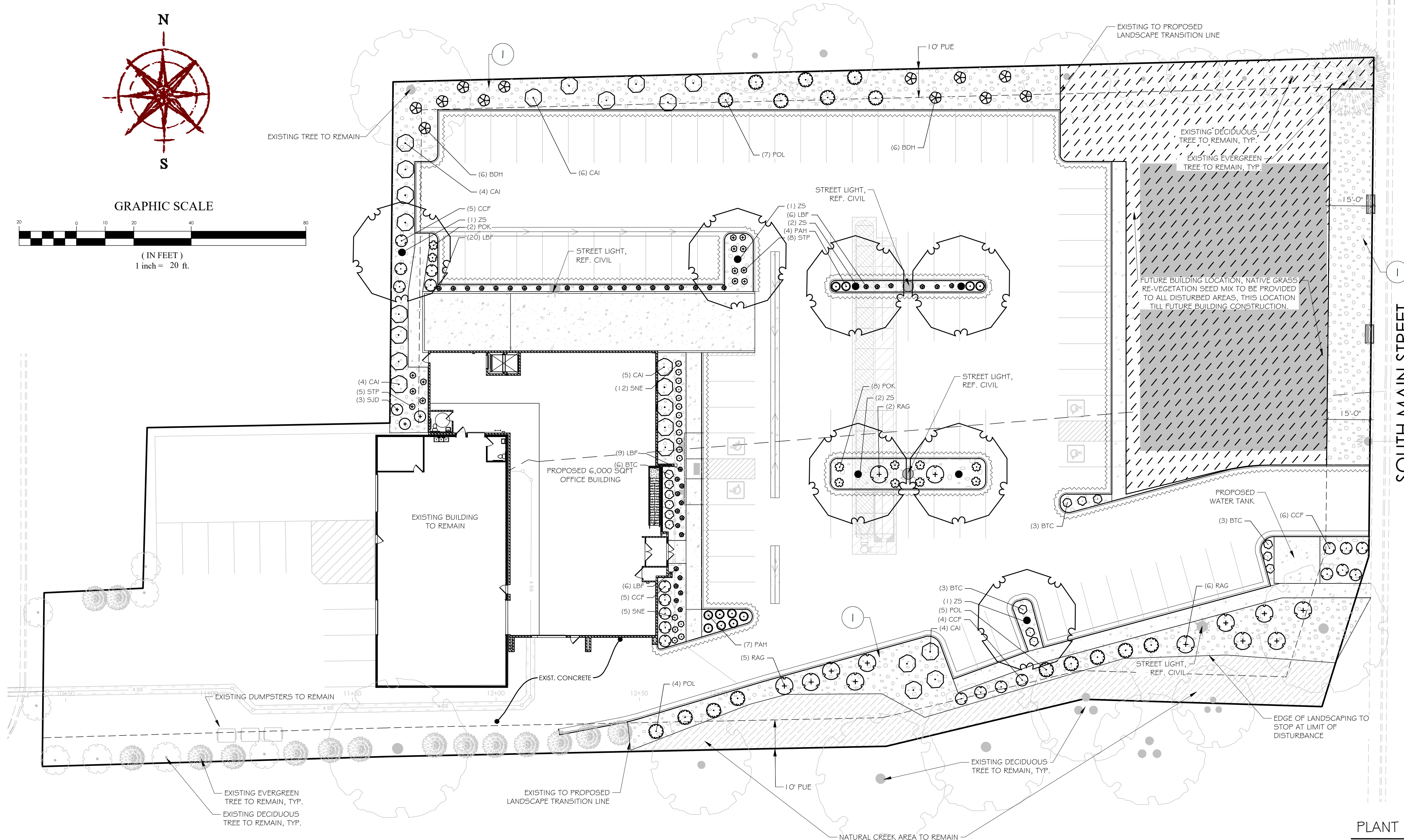


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FIVE.12 WAREHOUSE
170 S MAIN STREET, ALPINE, UT 84004
LANDSCAPE PLAN



LANDSCAPE TABLE

ITEM	AMOUNT	%
TOTAL LANDSCAPE AREA	22,881 SQ.FT.	100%
SHRUB BEDS WITH ROCK MULCH	11,782 SQ.FT.	51%
NATIVE GRASS REVEGETATIVE MIX	11,099.FT.	49%

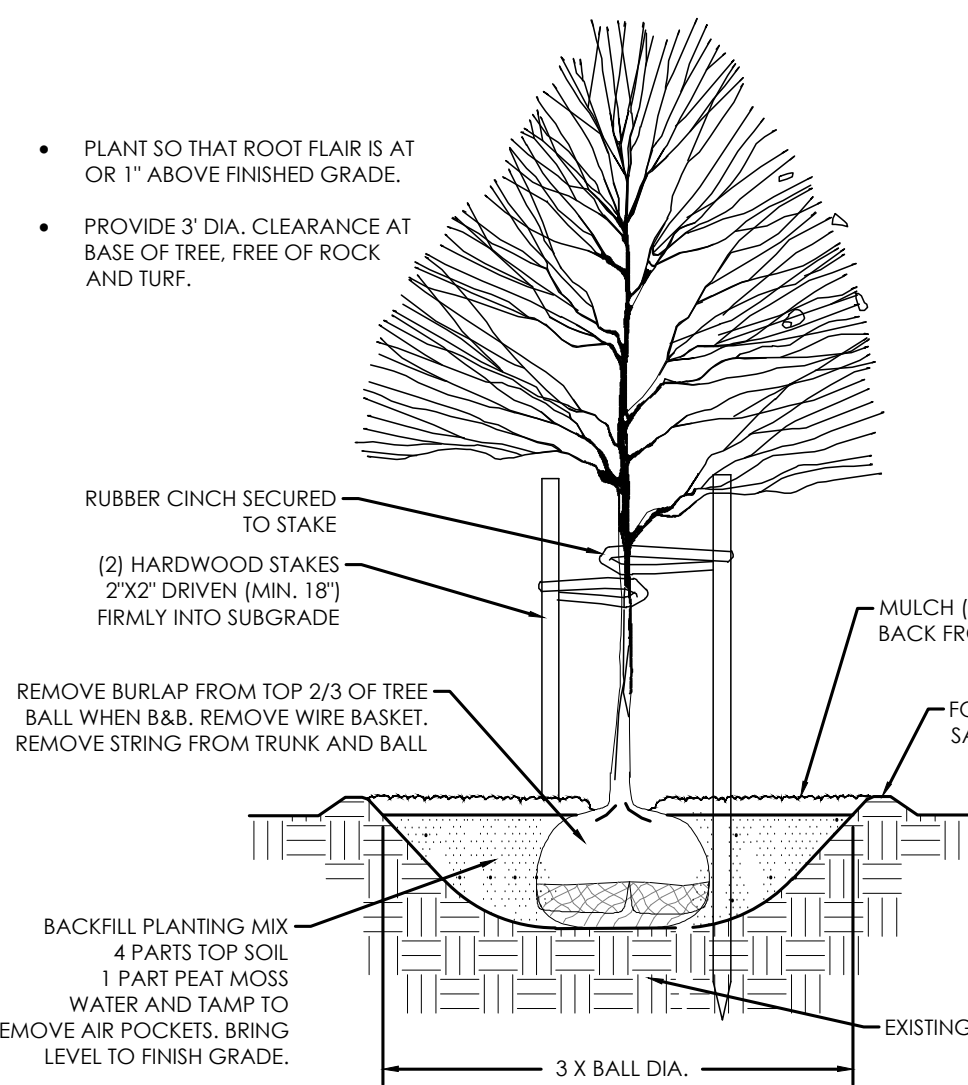
- LANDSCAPE NOTES**
- TOP DRESS ALL SHRUB BED AREAS AND OTHER AREAS LABELED ROCK MULCH WITH 4" DEEP OF ROCK TYPE(S) SPECIFIED IN THE REFERENCE NOTE SCHEDULE. PLACE ROCK OVER DEWITT PRO-5 WEED BARRIER FABRIC. FABRIC SHALL BE INSTALLED AFTER PRE-EMERGENT HAS BEEN APPLIED.
 - CONTRACTOR TO CONDUCT THEIR OWN QUANTITY TAKE-OFFS IN THE PLAN AND VERIFY ANY DISCREPANCIES WITH THE LANDSCAPE ARCHITECT.
 - CONTRACTOR SHALL VERIFY ALL UTILITIES SHOWN ON THE PLANS AS WELL AS HAVE THE SITE UTILITIES LOCATED ON THE GROUND PRIOR TO THE START OF CONSTRUCTION ACTIVITIES. IN THE EVENT THAT THE CONTRACTOR DISCOVERS AN UNDERGROUND UTILITY THAT IS NOT REPRESENTED WITHIN THE CONSTRUCTION DOCUMENTS OR AS MARKED ON THE SITE, HE SHALL IMMEDIATELY CONTACT THE OWNER'S REPRESENTATIVE TO DETERMINE NEXT STEPS PRIOR TO ANY CONSTRUCTION ACTIVITIES WITHIN THE AREA OF THE NEWLY DISCOVERED UNDERGROUND UTILITY.
 - THE CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE THROUGHOUT CONSTRUCTION ACTIVITIES FOR THE PROJECT. ACCUMULATION OF STANDING WATER WILL NOT BE PERMITTED.

PLANT SCHEDULE

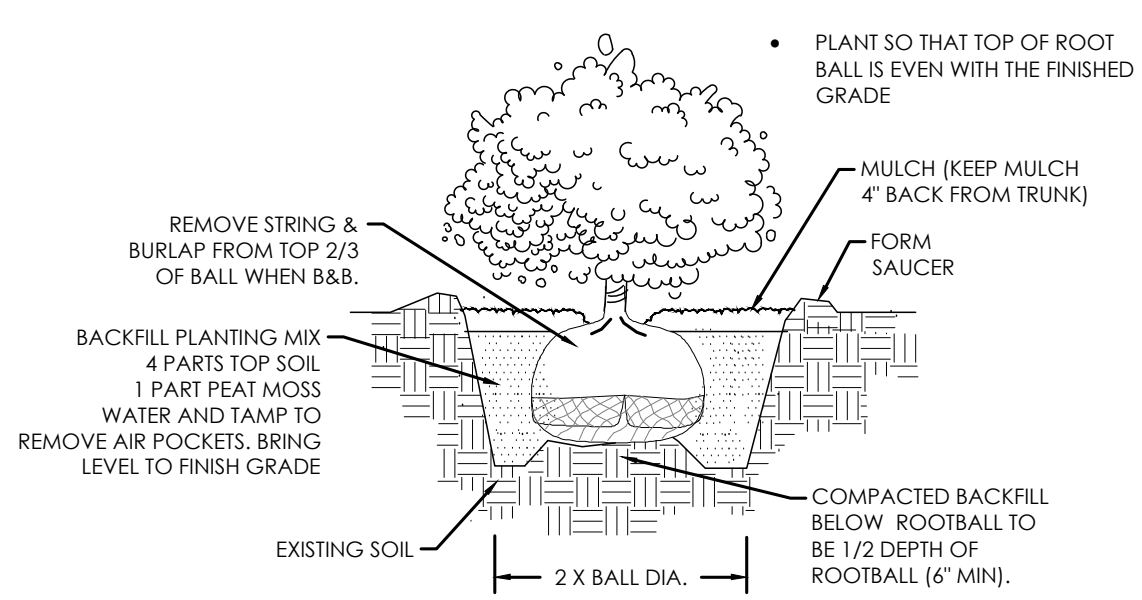
SYMBOL	CODE	BOTANICAL NAME	COMMON NAME	SIZE	QTY
TREES					
	ZS	Zelkova serrata 'Green Vase'	Green Vase Japanese Zelkova	1.5' Cal.	7
SHRUBS					
BTC	Berberis thunbergii 'Concorde'	Concorde Japanese Barberry	5 gal.	15	
BDH	Buddleja davidii 'Buzz Hot Raspberry'	Hot Raspberry Butterfly Bush	5 gal.	12	
CCF	Caryopterus x clandonensis 'First Choice'	First Choice Bluebeard	5 gal.	20	
CAI	Comus alba 'Bailhalo' TM	Ivory Halo Dogwood	5 gal.	23	
POL	Physocarpus opulifolius 'Donna May' TM	Little Devil Ninebark	5 gal.	16	
RAG	Rhus aromatica 'Gro-Low'	Gro-Low Fragrant Sumac	5 gal.	13	
SJD	Sorbaria sorbifolia 'Sem'	Ash Leaf False Spirea	5 gal.	3	
ORNAMENTAL GRASSES					
LBF	Cenchrus alopecuroides 'Little Bunny'	Little Bunny Fountain Grass	1 gal.	41	
PAH	Pennisetum alopecuroides 'Hameln'	Hameln Fountain Grass	1 gal.	11	
POK	Pennisetum alopecuroides 'Karley Rose'	Karley Rose Fountain Grass	1 gal.	10	
PERENNIALS					
SNE	Salvia nemorosa 'East Friesland'	East Friesland Meadow Sage	1 gal.	17	
STP	Salvia nemorosa 'Perfect Profusion'	Perfect Profusion Meadow Sage	1 gal.	13	

REFERENCE NOTES SCHEDULE

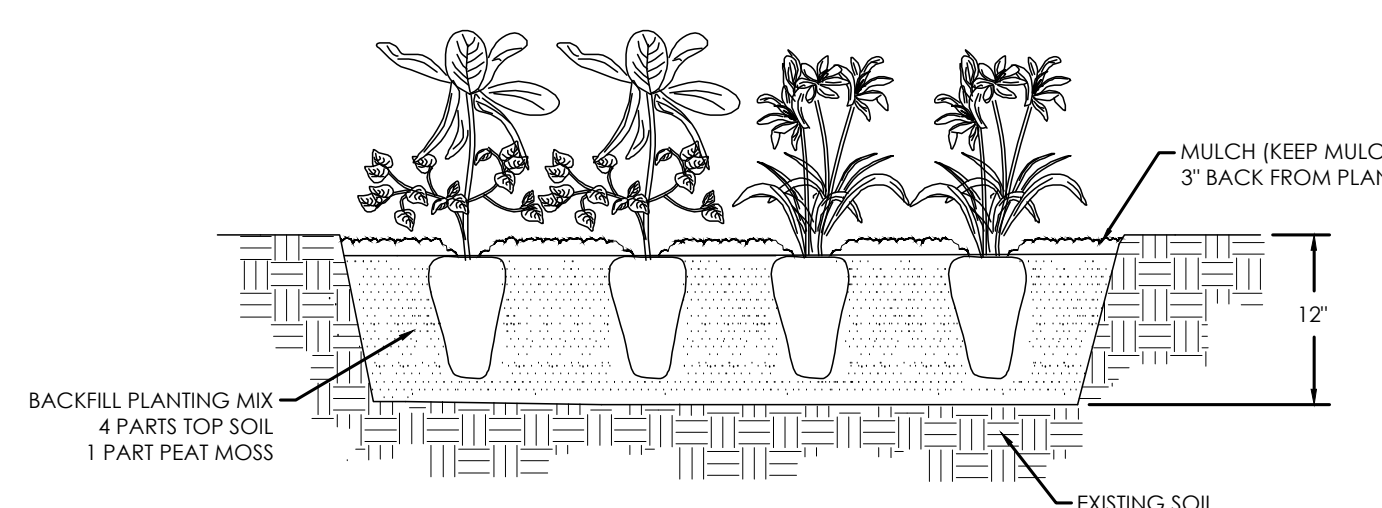
SYMBOL	CODE	DESCRIPTION	QTY
	I	4"-6" TAN RIVER ROCK MULCH	11,782 sf



A TREE PLANTING & STAKING
NOT TO SCALE



B SHRUB PLANTING
NOT TO SCALE



C PERENNIAL PLANTING
NOT TO SCALE

REVISION BLOCK

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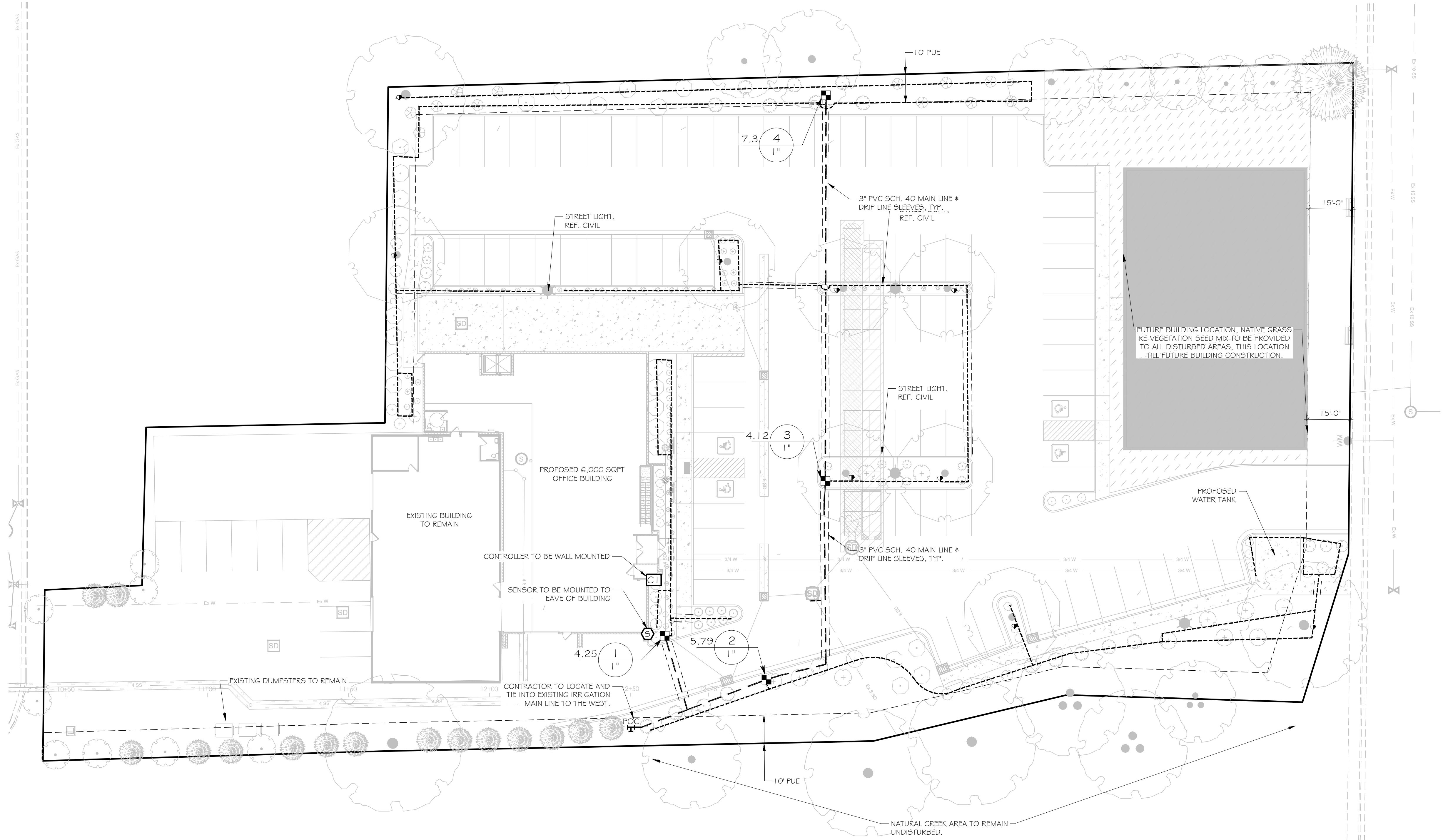
LANDSCAPE PLAN

Scale: 1"=20'
Date: 07/02/26
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Drawn: AH
Job #: 25-0307

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IRRIGATION SCHEDULE

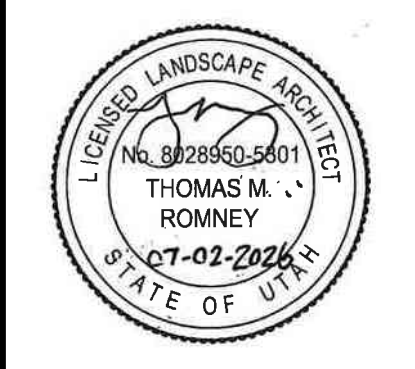
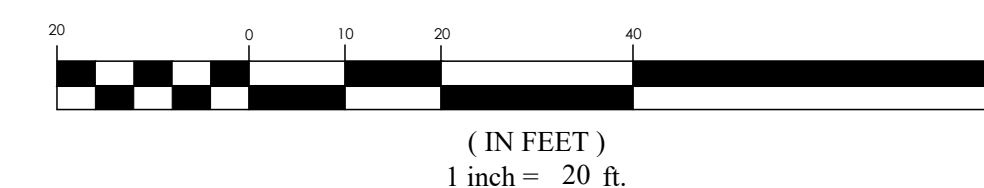
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
	Rain Bird XC2F-100-PRF 1" Medium Flow Drip Control Kit. 1 in. DV Valve with 1 in. Pressure Regulating Filter at , and MDCF Fitting. 3 GPM-15 GPM.	4
	Rain Bird XB-G Six-Outlet, Pressure Compensating, Drip Emmitter. Flow rates of 0.5 GPH=blue, 1.0 GPH=black, and 2.0 GPH=red, at each emitter outlet. Comes with Barb Inlet x Barb Outlet.	9
	Rain Bird ESFLXME2-LXMM 1/2 Station Traditionally-Wired, Commercial Controller. Indoor/Outdoor, Plastic Wall-Mount Enclosure. Install in LXMM Powder Coated, Metal Wall-Mounted Cabinet.	1
	Rain Bird WR2-RF5 Wireless Rain/Freeze Sensor.	1
	Point of Connection 1"	1
	Irrigation Mainline: PVC Schedule 40	301.9 lf
	Pipe Sleeve: PVC Schedule 40	271.0 lf
	Valve Callout # Valve Number # Valve Flow # Valve Size	
	RAINBIRD 3/4" XBS TUBING WITH 1/4" TUBING TO EMITTER	
	1" POLY PIPE CONNECTING DRIPLINE SECTIONS	
	3/4" MANUAL FLUSH VALVE IN 10" ROUND VALVE BOX	

IRRIGATION NOTES

1. THIS SYSTEM IS BASED UPON AN AVAILABLE STATIC PRESSURE OF 50 PSI MINIMUM. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL CONFIRM THE STATIC WATER PRESSURE AND THE SIZE OF THE POINT OF CONNECTION (POC).
2. COORDINATE AND LOCATE ALL EXISTING UTILITIES ON THE SITE PRIOR TO EXCAVATION.
3. THIS PLAN IS DIAGRAMMATIC. SOME EQUIPMENT MAY BE SHOWN IN PAVED AREAS AND BUILDINGS FOR PLAN CLARITY.
4. INSTALL PVC SCHEDULE 40 SLEEVES UNDER ALL PAVED SURFACES WHERE LINES AND CONTROL WIRES CROSS INCLUDING ALL SIDEWALKS. SLEEVE SIZE SHALL BE 2 TIMES LARGER THAN THE LINE. EXTEND 6" BEYOND THE PAVED SURFACE ON EACH SIDE. INSTALL A SEPARATE SLEEVE FOR THE CONTROL WIRE.
5. INSTALL MANUAL DRAIN VALVES AT ALL LOW POINTS ALONG IRRIGATION MAIN LINE AND EACH SIDE OF DRIVEWAY WHERE MAIN LINE CROSSES UNDER.
6. ALL PIPE FITTINGS SHALL BE SCHEDULE 80 ON MAIN LINE.
7. XBS TUBING SHALL BE INSTALLED UNDER ROCK MULCH.
8. INSTALL 3/4" MANUAL FLUSH VALVE IN AN 10" ROUND VALVE BOX AT THE END OF ALL DRIP LINES.
9. DRIP EMITTERS SHALL BE RAINBIRD XB-20PC (2 GPH)XERI-BUG EMITTER, 1 EMITTER PER PLANT FOR PERENNIALS AND ORNAMENTAL GRASSES AND 2 EMITTERS PER PLANT FOR SHRUBS.
10. RAINBIRD MULTI-OUTLET XERI-BUG EMITTER XB-20-6 (12 GPH) SHALL BE USED ON TREES IN PLANTING BEDS WITH DIFFUSER BUG CAP AT ENDS OF TUBING. DISTRIBUTE EMITTERS AROUND ROOTBALL OF TREE.



GRAPHIC SCALE



FIVE.12 WAREHOUSE
 170 S MAIN STREET, ALPINE, UT 84004
IRRIGATION PLAN

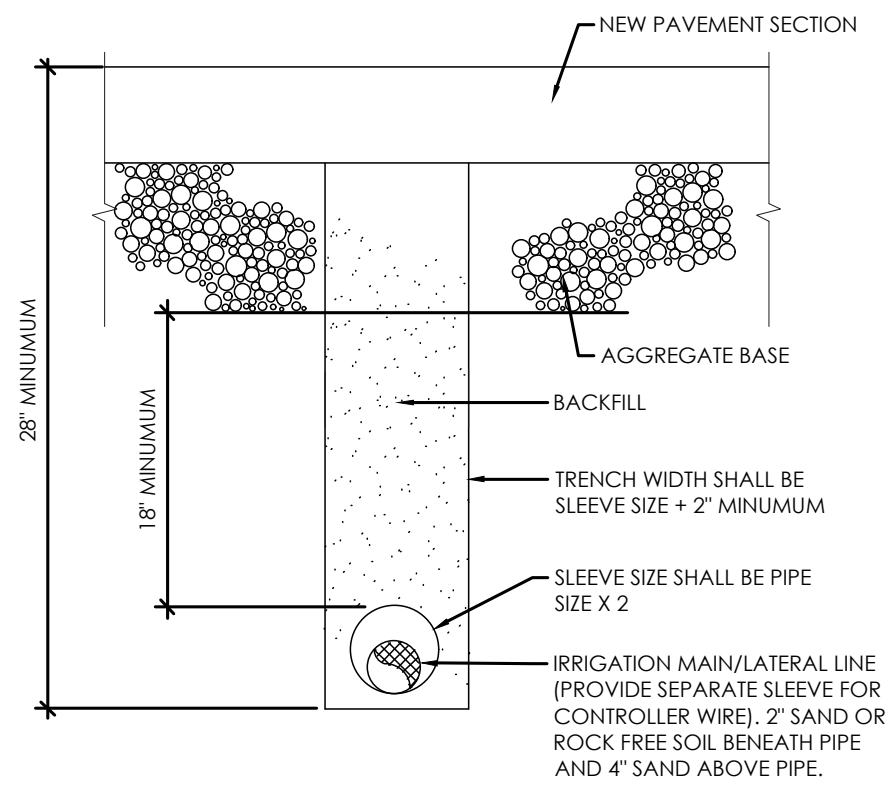
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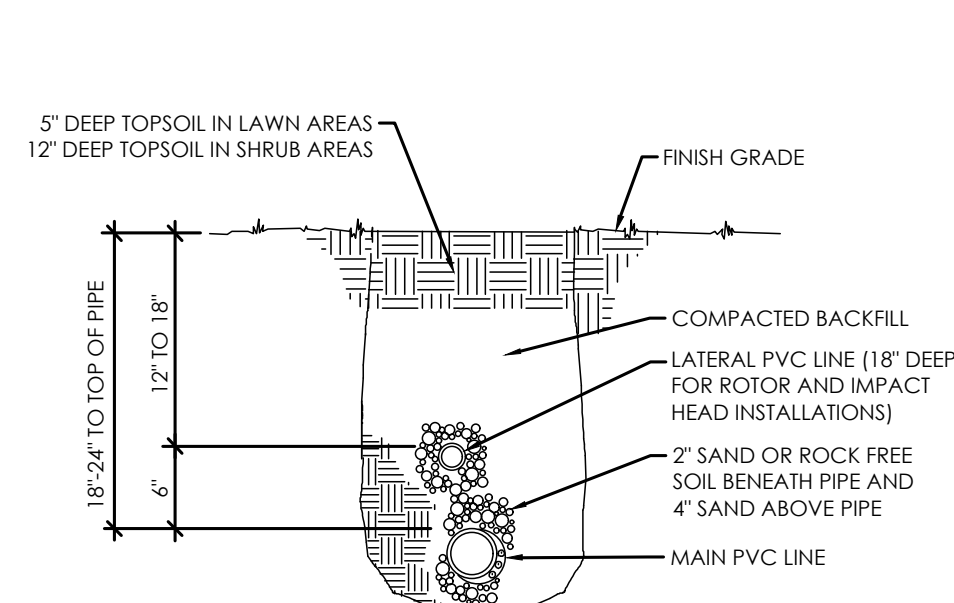
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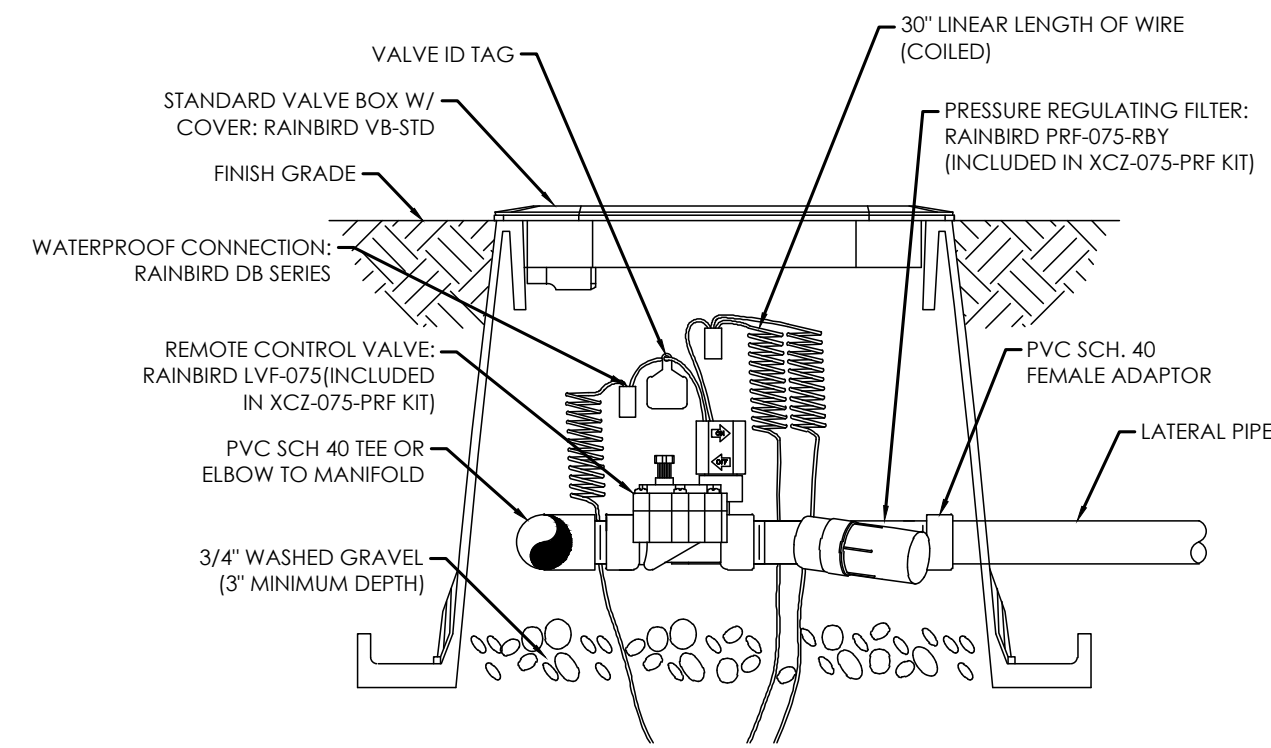
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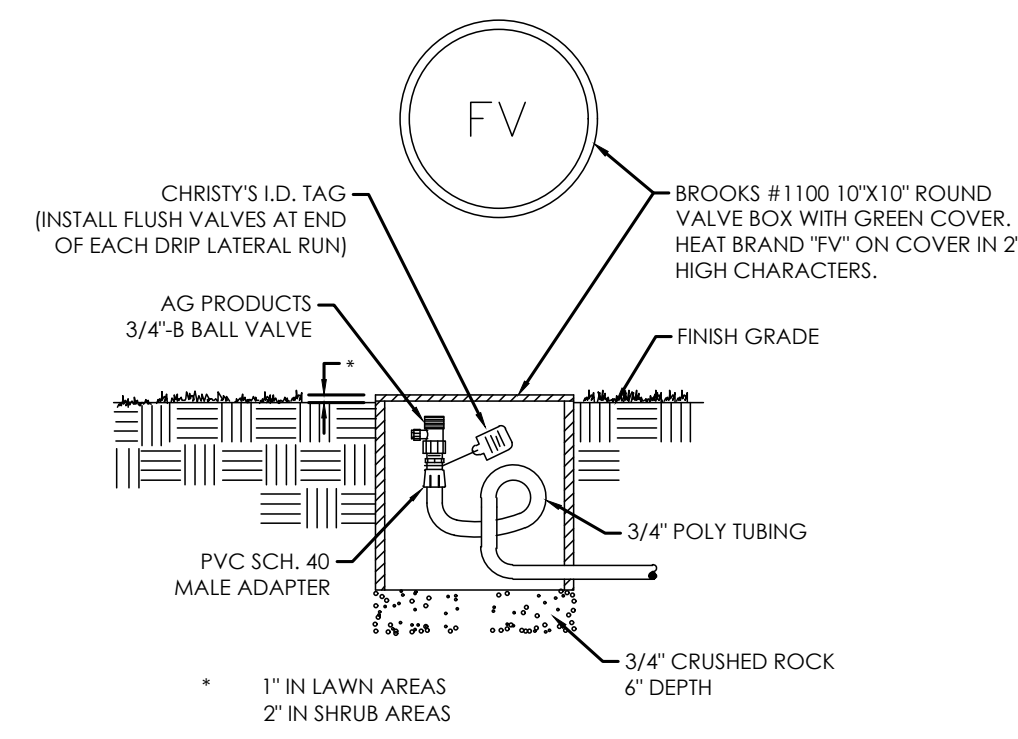
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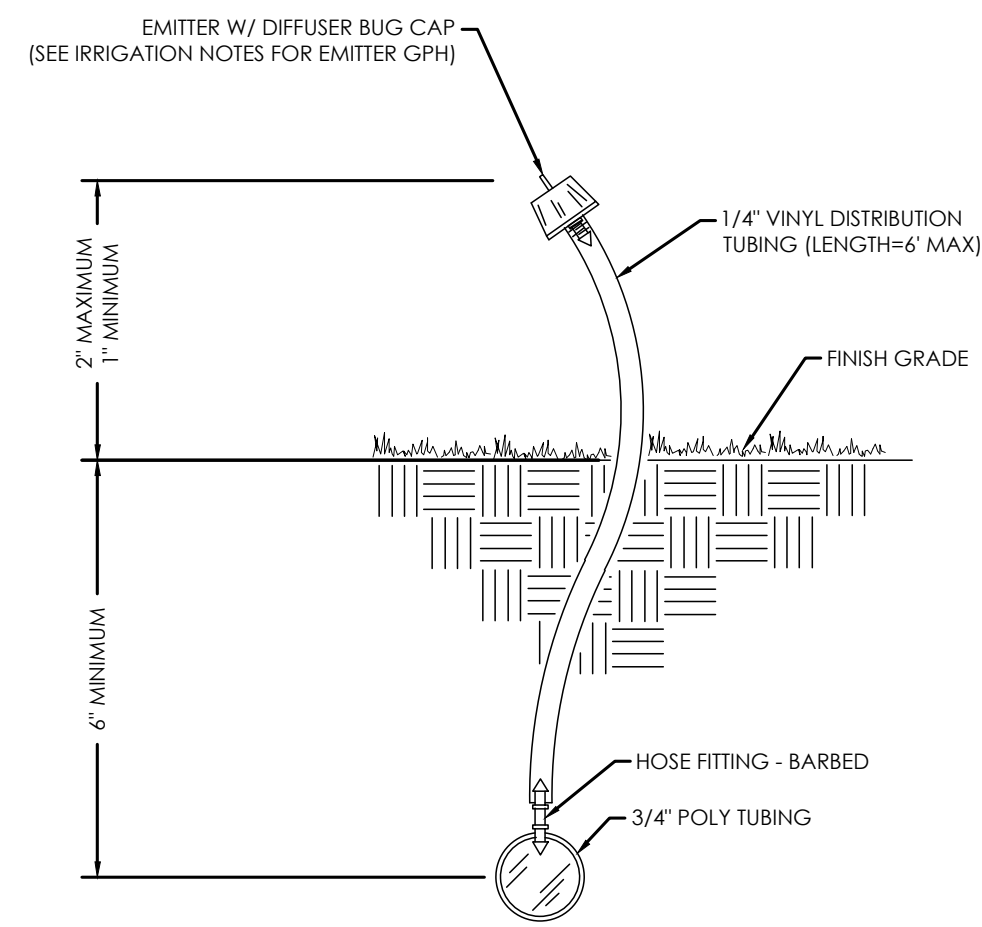
B TRENCH SECTION
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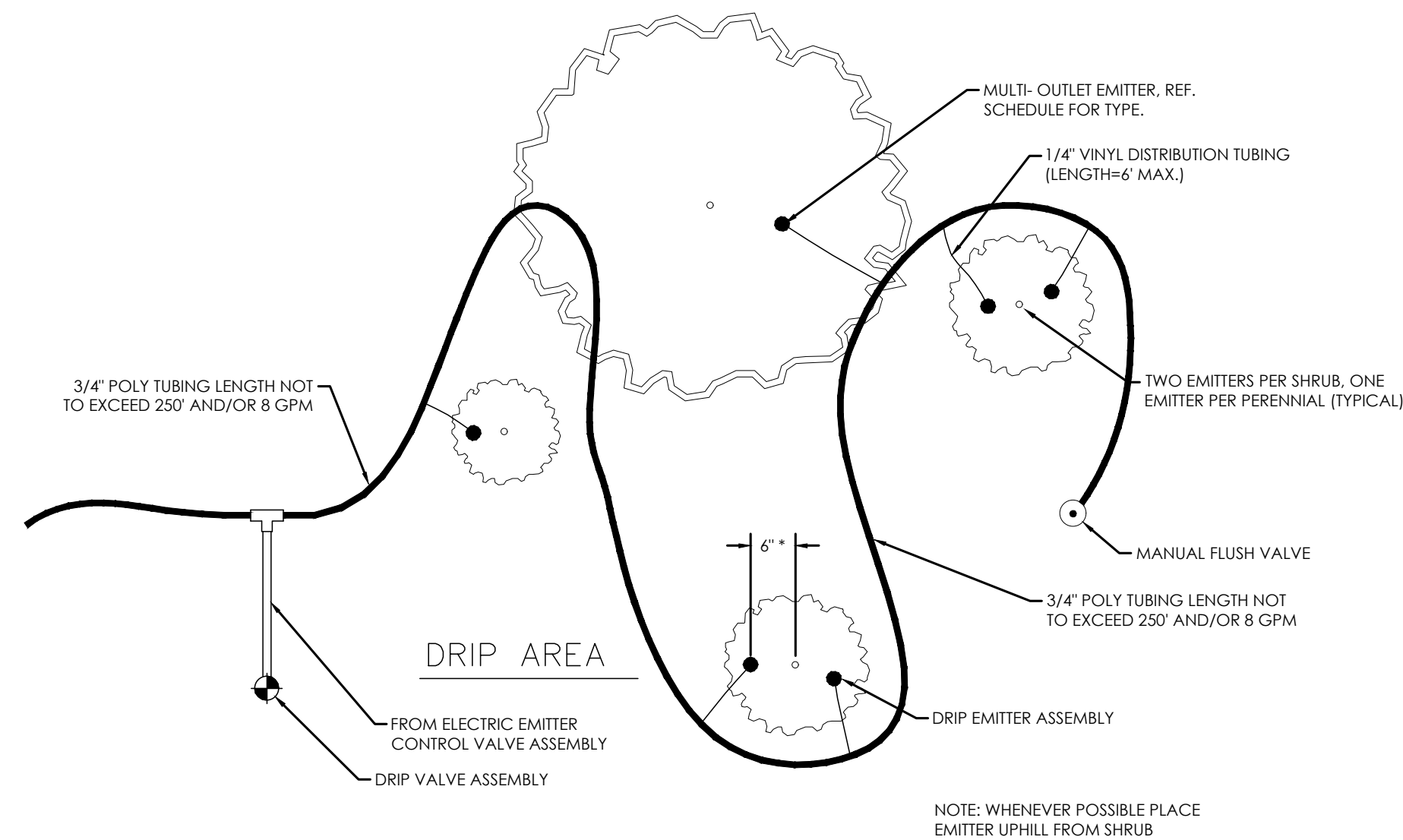
C CONTROL ZONE KIT
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D MANUAL FLUSH VALVE
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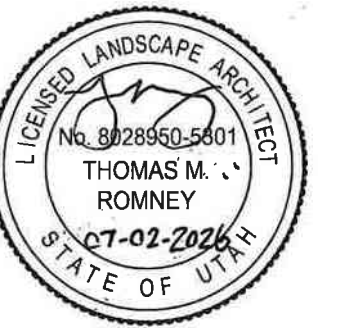
E DRIP EMITTER ON VINYL TUBING RISER
NOT TO SCALE



F TYPICAL DRIP EMITTER LAYOUT
NOT TO SCALE

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FIVE.12 WAREHOUSE
170 S MAIN STREET, ALPINE, UT 84004
IRRIGATION DETAILS

REVISION BLOCK	#	DATE	DESCRIPTION
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	6		

**IRRIGATION
DETAILS**

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Sheet:

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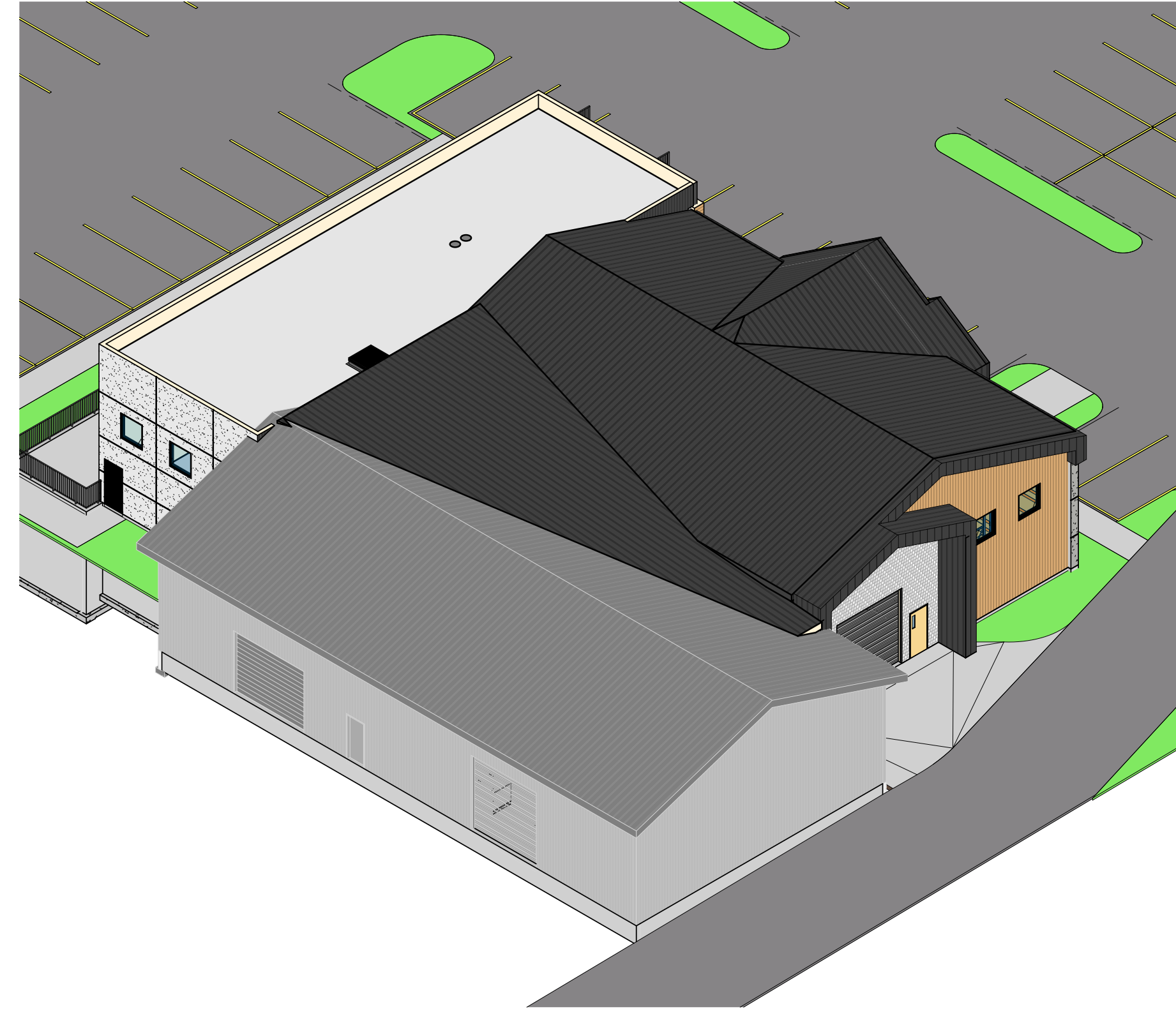
MARK	REVISION	DATE

A

B



B1 **VIEW 1**
A251 SCALE:



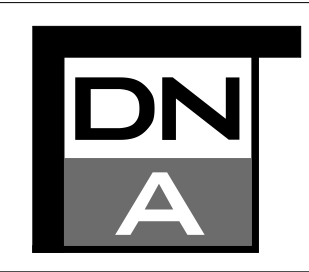
B4 **VIEW 2**
A251 SCALE:

C

D



D1 **VIEW 3**
A251 SCALE:

DALLAS NELSON ARCHITECTURE, INC. 801-953-3294 DALLAS@NELSON-ARCHITECTURE.COM 1912 CONCORD PLACE SARATOGA SPRINGS, UT 84045		DATE: 11 JUNE, 2026
		PROJECT #: 26-02 PROJ. MAN.: DBN CHECKED BY: DBN
PROJECT: <p style="text-align: center;">FIVE.12 ADDITION</p> <p style="text-align: center;">170 S MAIN ST. ALPINE, UT 84004</p>		<small>THE INFORMATION HEREIN IS THE PROPERTY OF DALLAS NELSON ARCHITECTURE, INC. AND MAY NOT BE REPRODUCED WITHOUT WRITTEN CONSENT. © 2026 D.N.A., INC.</small>
SHEET DESCRIPTION: <p style="text-align: center;">EXTERIOR VIEWS</p>		

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FIVE.12

1924

FIVE.12

FIVE TWELVE BUILDING



Gateway Historic District Design Guidelines

Adopted by Resolution 2015-11
Amended by Ordinance 2024-15

Purpose and Intent

Gateway Historic District will become a village of mixed uses, promoting a pedestrian friendly atmosphere and providing excellence in landscaping and architecture, in a setting that honors and preserves the past while promoting the future.

1. In the interest of preserving the character of the Gateway-Historic District, it is necessary to regulate to a certain extent the new construction that is built there. New structures should only affect the district in a positive manner, and not in detrimental ways.
2. Respecting the heritage of Alpine associated with the historical structures in the district.
3. Utilize approaches that have been shown to encourage the sustainability of historic districts and neighborhoods.

The guidelines for the following elements are intended to encourage compatible new construction. In the event that these guidelines conflict with the Alpine City Zoning Ordinance, the Zoning Ordinance will be followed.

Guidelines

1. New developments should:
 - a. Mimic details of older buildings
 - b. Use similar materials
 - c. Make mundane uses look good
 - d. Include design features on blank walls
2. All new development projects should achieve a determination of design appropriateness from the Planning Commission.
3. New construction should respect and build upon the historical legacy of downtown Alpine and borrow historic features from the area. It should be

designed for its specific context. Elements that should influence the design of new development include building form, massing, scale, materials and colors.

Gateway Historic District Design Criteria

1. Relation to the Surrounding Area (Massing, Scale, Orientation)
2. Height
3. Exterior Walls, Fences, and Surfaces
4. Windows and Doors
5. Exterior Trim and Decorative Detailing
6. Roofing
7. Materials (Texture, Color, Finishes)
8. Streetscaping

Relation to the Surrounding Area **(Massing, Scale, Orientation)**

New construction that utilizes appropriate massing and scale can affect historic districts in a positive manner. New structures should take their own place in time.

Design Standards

- New structures should relate to the fundamental characteristics of the district, but may use their own style and method of construction.
- Orientation of new construction should be to the street to establish a pedestrian-friendly quality.
- One major entrance should orient to each street to which the building abuts for easy access by pedestrians from the street and sidewalk.
- Corner entrances may be used for buildings orienting to two streets at an intersection.
- New construction should not be dramatically greater in scale than surrounding structures in the district.
- The perceived width of new construction should be visually compatible with adjacent structures. Wider buildings should be divided into modules to convey a sense of traditional construction.
- The building form of new construction should be similar to surrounding structures but should not necessarily be a direct imitation.



2

Height

New construction should respect the overall height limits established in the city code for the underlying zone.

Design Standards

- The height of buildings should be compatible with adjacent historic structures.
- Creative historic design elements fitting for the area can be considered.



Exterior Walls, Fences, and Surfaces

The type of materials used for new construction can greatly enhance the relationship to surrounding historical structures while maintaining individual identity.

Design Standards

- The use of stone, brick, wood, or stucco is encouraged for use as the primary exterior material.
- Innovative use of other materials that mimic the primary exterior materials listed may be considered.
- The use of chain link, vinyl, or wire fencing shall be prohibited.



Windows and Doors

Windows and doors of new construction should relate to the general character of the area.

Design Standards

- Windows with a vertical emphasis shall be encouraged over a horizontal orientation.
- Scale, proportion, and character of windows and doors should be carefully considered and should relate to the intended general character of the area.
- The simple shape of windows is encouraged.
- If new construction is built to the sidewalk, the use of awnings or canopies should be considered for providing protection to the pedestrian.
- The ground floor of the primary façade should include transparency at the pedestrian level.



Exterior Trim and Decorative Detailing

New construction can be enhanced by the wise use of exterior trim and decorative detailing. Using these details to break up uninspiring solid surfaces can help avoid the box-like appearance often seen in new construction.

Design Standards

- Trim and detailing should be simple in material and design.
- Materials that are compatible to the primary exterior material should be used.
- Excessive ornamentation is not recommended.
- The following factors should be considered in determining whether or not a particular finishing material is acceptable:
 1. Durability and low maintenance characteristics.
 2. Consistency with the overall design goals.
 3. Location on the building.
 4. Potential shielding by landscaping or other feature.
 5. The visibility of the site from public streets and neighboring uses.
 6. A mansard roof is prohibited



6

Roofing

The style and form of the roof on new construction can contribute to the success of blending in with surrounding historic structures.

Design Standards

- Traditional rooflines are preferred.
- Smaller structures should use a hip, gable, or shed roof.
- Flat roofs may be considered for use on structures where the context is appropriate.
- Flat roofs shall provide a cornice or other decorative treatment.
- The character or design of the front and rear façades of all buildings shall demonstrate a variety in depth, relief, rhythm and roof line height, with changes occurring in all of these areas at least every forty feet.
- Mechanical equipment shall not be visible from the street.



Materials – Texture, Color, Finishes

Good attention to design and color is expected in the Gateway Historic District to help all buildings become more complimentary to each other and assist the creation of a unique and cohesive environment. The materials used for the finish of the exterior surface of new construction should be compatible with the nature of the surrounding area.

Design Standards

- The use of color schemes should be compatible with the surrounding area. Simplicity is encouraged – excessive amounts of different colors should not be used.
- Avoid pure white as a façade color, and if masonry must be painted, it should be done in a natural hue.
- The natural colors of brick masonry, stone, or other existing building materials should dominate the color scheme of the building. Other colors should be respectful of adjacent buildings.
- A predominant color should be used with one or two other accent colors.
- The texture and finish of new construction should attempt to convey a modern building while still respecting the historic character of the area.
- The cornice, window frames, ornamental details, signs and storefronts should all blend in as an attractive harmonious unit.



8

Streetscaping

Streetscapes should be incorporated in sidewalk areas adjacent to Main Street.

Design Standards

- At least one streetscape feature should be installed and maintained every thirty (30) linear feet along sidewalks, nearest to the curb.
- Acceptable streetscape features include, but are not limited to, the following: trees, planters, benches, drinking fountains, decorative garbage canisters, outdoor clocks, bike racks, and water features.
- Businesses are encouraged to coordinate the installation of streetscape elements with surrounding properties.
- Installation of plazas and gathering spaces where people may linger is encouraged.
- Installation of planters with trees and shrubs to create areas to sit are encouraged.
- Providing benches in strategic areas to encourage mingling and gathering is encouraged.



ALPINE CITY PLANNING COMMISSION MEETING
Alpine City Hall, 20 North Main, Alpine, UT
June 16, 2026

I. GENERAL BUSINESS

A. **Welcome and Roll Call:** The meeting was called to order at 6:00 p.m. by Chair Alan Macdonald. The following were present and constituted a quorum:

Chair: Alan Macdonald

Commission Members: Michelle Schirmer, John MacKay, Troy Slade, Susan Whittenburg, Jeff Davis, Greg Butterfield

Excused:

Staff: Caden Lyon, Marla Fox, Jason Judd

Others: Linda Mattfeldt, Rick Christensen, Bryce Bergen, Karl Clegg, Spencer Manghan, Emily Birch-Manghan, Ross Welch, John Ambuehl, Mara Ambuehl, Dristen Johnson, Lucy Johnson Wilkes, Scott Johnson, Laurie Payne

B. **Prayer/Opening Comments:** Greg Butterfield

C. **Pledge of Allegiance:** John MacKay

II. REPORTS AND PRESENTATIONS

None

III. ACTION ITEMS

A. **Action Item: Review of Five 12 Commercial Site Plan**

Caden Lyon said The Five.12 Commercial Site Plan has been postponed giving the owner more time to work on his plans. He said we need a motion to postpone.

MOTION: Planning Commission member Susan Whittenburg moved to postpone the proposed site plan for the new Five 12 building at 170 S Main Street.

Jeff Davis seconded the motion. There were 7 Ayes and 0 Nays (recorded below). The motion passed.

Ayes:

Nays:

Excused:

- Michelle Schirmer
- John MacKay
- Troy Slade
- Alan Macdonald
- Susan Whittenburg
- Jeff Davis
- Greg Butterfield

B. **Action Item: Review of Long Range Shooters of Utah Commercial Site Plan**

Caden Lyon said the Long-Range Shooters of Utah Commercial Site Plan is proposed for parcel number 02:011:0045 off of 200 North and Main St in Alpine. The building proposed is to provide space for a small retail gun shop (rifles, accessories, bipods, etc), a warehouse, a space for an office and a space to film content in for the shop. The building will also include a 1 bedroom apartment above the office area.

1 The applicant has provided a site plan that overall meets the code requirements for §3.06
2 Business Commercial Zone and §3.11 Gateway/Historic Zone. There might be some
3 adjustment needed to the materials to those materials that are permitted in the
4 Gateway/Historic Design Guidelines. Parking requirements are met with 3.5 stalls needed
5 per 1000 sq/ft, including parking for employees and 2 spots inside the building for the
6 apartment. It is required that the one-bedroom apartment above the office be owner occupied
7 only, so it would be good to get clarification from the applicant on their intent
8 to meet that requirement. DCA §4.07, 4.08, and 4.10 have also been evaluated and
9 affirmed compliance as long as there is a 10ft PUE along the front property line.

10
11 Staff recommend that the Planning Commission consider sending a positive recommendation to the City
12 Council for the proposed site plan for the new Long-Range Shooters of Utah commercial site plan,
13 subject to the following conditions:

- 14 • That all exterior materials of the building match what is permitted in the Gateway/Historic Design
15 Guidelines.
- 16 • That a 10ft PUE be placed along the front property line as required in DCA §4.07 Design Standards.

17
18 Caden Lyon said the applicant met the requirements for parking and landscaping. He showed a rendering
19 of the design of the exterior of the building. The materials show stucco, ACM panels and brick.

20
21 Alan Macdonald asked what ACM panels were. Caden Lyon said he will invite the applicant to come
22 forward to explain the rendering in more detail. Alan Macdonald explained that this new building sits in
23 the Historic District and asked if the applicant was aware of the guidelines. He said the design standards
24 are the use of stone, brick, wood, or stucco is encouraged for as use as primary exterior materials. He said
25 it looks like the plans comply with setbacks and the PUE but the Planning Commission has questions about
26 the exterior building materials.

27
28 Rick Christensen, applicant, said the ACM panels that they are proposing are made of flat black metal with
29 folded gap lines and really sharp looking. He said it looks like a recessed panel when it is hung. The
30 material overlaps so water can't get in and it's used in a lot of commercial buildings. He said they will
31 have black framed windows.

32
33 Alan Macdonald asked if a gun shop is a permitted use. Caden Lyon said this will be a permitted use in the
34 BC Zone. Troy Slade asked if gun sales would be allowed if it is across the street from a preschool. The
35 applicant said Ryan Robinson took this issue to the City Attorney and he said there're aren't any laws
36 prohibiting this and said he currently sells this product out of his home.

37
38 Alan Macdonald asked about the apartment. The applicant said he is trying to maximize the space and he
39 has teenage boys that will be helping run the business and may someday use the apartment when married.

40
41 Alan Macdonald said he likes the materials used such as the brick and black windows but wasn't sure about
42 the ACM metal panels.

43
44 Susan Whittenburg asked if this would be a retail sales store. Rick Christensen said it would but on a low
45 volume. He said they do a lot of online sales that they mail merchandise or customers come in and pick it
46 up.

47
48 Susan Whittenberg said the building looks really good. She likes it better than stucco and said it looks good
49 with the brick. She said the metal is also on other buildings on Main Street.

1 Greg Butterfield asked if there was going to be a shooting range in the building, the applicant said there
2 was not. Alan Macdonald asked about traffic. Rick Christensen said in a month he may have a dozen
3 customers coming to the building.
4

5 Michelle Schirmer asked about the parking lot and if there was a buffer between the street and the parking
6 lot. Rick Christensen said there will not be a buffer, the parking lot will ramp down into the street. Caden
7 Lyon said it will be similar to the parking lot we have here at City Hall. There will be a sidewalk, but you
8 will drive over it.
9

10 Jeff Davis said ACM is not a listed material so we need to discuss that. We could say the building is not
11 on Main Street so are we going to consider it because we have a dilemma. Alan Macdonald said the property
12 is still in the Historic Gateway. He said projects from the past, including the fitness center do have metal
13 siding. John MacKay said other materials can be used along with the primary materials.
14

15 Susan Whittenburg said this material compliments the brick and the stucco. Jeff Davis said we have talked
16 about this for two years, this material is beautiful, but it is not part of the approved list we've come up with.
17 John MacKay said we have to go by today's ordinance and this material would be approved under the
18 current law. Alan Macdonald said we are in a transitional period of working with the current guidelines
19 and future guidelines, but today, we are working off the current guidelines. He said we have been working
20 on an architectural look that includes red brick, stucco, wood, and black framed windows with a traditional
21 Utah look.
22

23 John MacKay said he spoke with City Councilwoman Chrissy Hanneman about coming up with different
24 architectural elements we want to see on the buildings. Things like black window framing, black doors,
25 awnings, and decorative elements, lighting, trim etc. He said we don't want all the buildings to look the
26 same but would like to see some of these elements on all of the buildings.
27

28 Michelle Schirmer said the flat roof is making this building look modern. She said we don't have buildings
29 with an all-flat roof. She would like to see part of it be a gable roof. Susan Whittenburg said we didn't talk
30 about material that was weather tight, which is important in our climate.
31

32 Greg Butterfield asked Jeff Davis if he would be okay with adding brick to the middle area and allowing
33 ACM around the windows. Jeff Davis said he would be okay with that. Rick Christensen said he could
34 change the metal siding to a wood siding, but he would paint it black. Greg Butterfield said there is a lot
35 of maintenance with wood that you don't have with ACM siding. The wood will look bad in a few years
36 if it is not taken care of. He asked if the code would allow a simulated material that looked like wood.
37

38 Rick Christensen said the ACM has a twenty-year stain on it and said the wood needs to be maintained.
39 Troy Slade said you're not going to see a difference between the wood and the ACM. Alan Macdonald
40 said the current verbiage states that an applicant can use other materials. Susan Whittenburg said when the
41 ordinance was written, the ACM product probably didn't exist. It makes sense to use a better material if it
42 meets the look we want. Alan Macdonald said this building would be consistent with the red brick buildings
43 in Pleasant Grove that he used as examples.
44

45 **MOTION:** Planning Commission member Greg Butterfield moved to recommend approval of the Long-
46 Range Shooters of Utah County Commercial Site Plan with the following conditions:
47

- 48 1. City and State laws allow guns to be sold near residences or school.
- 49 2. Compliant with sidewalks so there is a sidewalk going into the parking lot.
- 50
- 51 3. That all exterior materials of the building match what is permitted in the

Gateway/Historic Design Guidelines. Change the ACM in the center section of the building to stained wood but allow ACM around the windows.

Michelle Schirmer seconded the motion. There were 2 Ayes and 5 Nays (recorded below). The motion was denied.

<u>Ayes:</u> Michelle Schirmer Greg Butterfield	<u>Nays:</u> John MacKay Troy Slade Alan Macdonald Susan Whittenburg Jeff Davis	<u>Excused:</u>
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MOTION: Planning Commission member John MacKay moved to recommend approval of the Long-Range Shooters of Utah County commercial Site Plan with the following conditions:

1. That all exterior materials of the building substantially comply with the Historic Gateway Design Guidelines. Specifically, the ACM material mimics the treatment of a wood cladding and is compliant with Historic District Design Guidelines.
2. The apron leading into the parking lot be clearly identified and integrated with a sidewalk.
3. The city confirms that there are no state or federal laws that prohibit firearm sales adjacent to residential and school buildings.

Troy Slade seconded the motion. There were 5 Ayes and 2 Nays (recorded below) the motion passed.

<u>Ayes:</u> John MacKay Troy Slade Alan Macdonald Susan Whittenburg Greg Butterfield	<u>Nays:</u> Michelle Schirmer Jeff Davis	<u>Excused:</u>
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C. Action Item: Review of Page Senior Housing Preliminary Plat

Caden Lyon said the Page Senior Housing Preliminary Plan consists of 20 lots on 3.23 Acres of Total Area. The development is located at 242 and 243 E Red Pine Dr and in the Business Commercial (BC) zone with the Senior Housing Overlay Zone (SHOZ). Based on DCA 4.04.010, Planning Commission is the Land Use Authority for any Preliminary Subdivision Application. The application is for preliminary approval.

Page Senior Housing Preliminary is on approximately one and a half separate parcels of land both owned by Patterson. There are stubbed road connections on the south side of the parcel along Red Pine Dr. The parcel went through a rezoning process with the City and received the Senior Housing Overlay Zone for the parcel, thus allowing this development. The parcel abuts another Senior Housing project, River Meadows PRD, to the east.

There is no minimum lot size for lots in the Senior Housing Overlay Zone, but rather a minimum acreage of 2 and maximum of 6 for the project, and only 8 units allowed per acre. The SHOZ allows for attached dwellings of no more than two attached. There are no width or area requirements. As far as lot shape is concerned, all lots meet the numbers of sides allowed; five or less sides, excluding the front property line.

The developer is proposing that the lots be used for single-unit attached dwellings, i.e. twin

1 homes, which is consistent with the permitted uses for the SHOZ.

2
3 There is a proposed private trail along Dry Creek, but due to constraints might have to be
4 relocated to someone else between Red Pine Dr and 100 S. The precise location of the trail
5 should be determined before Final Plat approval.

6
7 Parking requirements need to be met before the final plat is approved.

8
9 The developer will need to provide Alpine Irrigation Company water shares to satisfy the City's
10 water requirements. The water policy will need to be met before the final plat can be recorded. A
11 Developer's Agreement, as required per the Senior Housing Overlay Zone, will also required to
12 be entered into with the City Council before the final plat can be approved.

13
14 The analysis section in the body of this report serves as the Planning and Zoning Department
15 review. Lone Peak Fire Department will review prior to Commission meeting

16
17 All frontage is shown to be improved with curb/gutter and sidewalk per Alpine City Standards.
18 Roadway widths and cul-de-sac also meet city code.
19 Street grades meet current code with a minimum of 1% slope (DCA 4.07.090.2). The road
20 grades shown are between 0.50% & 0.94%.

21
22 Each utility system will be discussed in more detail below but in general, the development fits
23 well within the city's adopted master plans; no issues regarding utilities were noted. Horrocks
24 reviewed and approved a previous submitted plan for culinary water, pressurized irrigation, and
25 sewer. For culinary waterline sizing, Horrocks had the following comment for the developer to
26 consider: "*Fire flow available in the area surrounding the proposed improvements should be*
27 *over 1750 gallons per minute at 20 psi for the proposed lines. If developer wishes to have*
28 *greater fire flow for larger homes then water line should be looped to the east or a larger size*
29 *installed to Healey Drive on High Bench road.*"

30
31 The subdivision is well below the 5,350-foot elevation, which is the highest elevation the
32 existing water system can serve and still provide the minimum 40 psi required by ordinance.
33 The culinary water master plan does not call for the need to upsize any mains within the
34 development area but as noted in the Horrocks review, if the developer wishes to have greater
35 fire flow for larger homes (larger than 4,800 sf), lines bigger than 8-inch would need to be
36 installed. Staff will work with the developer to see what their desires are in terms of home sizes
37 for the area.

38
39 1-inch laterals with ¾-inch meters are required, and shown, for each new lot.
40 The Fire Chief will review plans prior to Commission meeting and prior to final plan approval.

41
42 Horrocks modeled the site and found no issues regarding the proposed development in terms of
43 pressurized irrigation. The development can be served by the existing 8-inch main in High
44 Bench Road. New 1-inch laterals are shown to be installed for each new lot. There is one
45 existing 2-inch service that will be required to be removed and capped at the main line

46
47 The storm water system design and drainage report has been submitted, reviewed, and approved.
48 The storm water system consists of six sumps that will retain the 100-yr (1% Annual Chance)
49 storm. Each lot within the development will also be required to retain the 80th percentile storm
50 on its lot. All stormwater from this development will be retained onsite.

51 March 1, 2016, the State of Utah implemented into the General MS4 Permit (Small Municipal

1 Separate Storm Sewer Systems) the requirement of all developments to evaluate Low Impact
2 Development (aka - LID) for their site. LID is a measure of handling storm water and improving
3 water quality.

4
5 LID emphasizes conservation and the use of on-site natural features to protect
6 water quality. There are many ways to meet the LID requirement. LID can be met by the use of
7 drainage swales, rainwater harvesting, curb cuts to direct water to smaller local basins, and so on.
8 The developer shows in the storm water calculations that LID will be implemented at the
9 building permit level with each new lot retaining the 90th percentile storm, which equates to
10 about a 2-year, 1-hr rainfall event for Alpine City. Recently, the state changed this requirement
11 from the 90th percentile storm to the 80th percentile storm event. Retention of the 80th percentile
12 storm is something Alpine is doing for all new homes within the city as required by the State.
13 This is not just done as a measure of protecting water quality but also helps protect against runoff
14 from one property to another.

15
16 The development can be served and is shown to connect to the existing 8-inch sewer system in
17 High Bench Road. All lots are shown to gravity flow to that main line. The sewer master plan
18 does not show the need to upsize any mains within the development. A new 4-inch sewer lateral
19 is shown to be constructed to each new lot.

20
21 The provided geotechnical report covers the standard items required by ordinance. No hazards
22 were noted in the report or discovered in the process.

23
24 The proposed development does not fall within the Geologic Hazards Overlay Zone or the
25 Urban/Wildland Interface and therefore no hazard reports were required of the developer.

26
27 There are some minor redlines to correct on the plans.

28
29 A. The proposed plan complies with the zoning ordinances of the BC and SHOZ, design
30 standards and ordinances;

31 B. All new construction is outside of the flood zone (AE)

32 C. The plan requires no exceptions to ordinance.

33
34 Staff recommend that the Planning Commission review the plans and make a motion to approve
35 the proposed preliminary plat for the Page Senior Housing Plat A subdivision, with the
36 conditions that:

37 - The trail location be determined before final plat approval

38 - The developer's agreement be entered into with the City before final plat approval

39 Staff Report Preliminary – Smooth Canyon Subdivision Phase 2

40 - Any minor redlines on the plat be corrected before final plat approval

41
42 Troy Slade asked if the homes would be one or two-story homes. Caden Lyon showed a rendering of a
43 proposed plan, and it showed two story homes. Alan Macdonald said as long as the homes meet the
44 height requirements, he didn't see a problem with the two-story homes.

45
46 Caden Lyon said visitor parking may encroach into the setback, and they would need an exception for
47 that. Michelle Schirmer said she does not like parking encroaching into the setback.

48
49 Ross Welch, Patterson Homes, said the standard plan for these homes is to be one level, but the dormers
50 are there for aesthetics. There would be an option to put a bonus room in the dormer. He said they
51 reduced the plan down to twenty homes to have larger homes.

1
2 Ross Welch said they are fine to put in a trail, but so far, they are not sure where that will connect. He
3 said most of the ingress and egress will be off Red Pine Drive. He said he can adjust the property line, so
4 parking is not an issue. He asked why an asphalt parking stall is encroaching. Alan Macdonald said
5 usually in the setback we see grass, trees, landscaping, and our ordinance states parking can't be in the
6 setback.

7
8 Jeff Davis asked about water. Ross Welch said they have a lot of water shares with the city and it is not a
9 concern. Jason Judd said any home that comes into the city is required to provide water shares.

10
11 **MOTION:** Planning Commission member Jeff Davis moved to approve the Page Senior Housing
12 Preliminary application of the Page Court Plat A with the following conditions:

- 13
14 1. The trail location be determined before final plat approval.
15 2. The developer's agreement be entered into with the City before final plat approval.
16 3. An exception to the parking requirement be adjusted to meet code before final approval.
17 Parking spaces in the front be removed before final approval
18 4. Any minor redlines on the plat be corrected before final plat approval.

19
20 Susan Whittenburg seconded the motion. There were 7 Ayes and 0 Nays (recorded below). The motion
21 passed.

22
23 **Ayes:**

Nays:

Excused:

- 24 Michelle Schirmer
25 John MacKay
26 Troy Slade
27 Alan Macdonald
28 Susan Whittenburg
29 Jeff Davis
30 Greg Butterfield

31
32 **D. Action Item: Review of Page Court Preliminary Plat**

33 Caden Lyon said the Page Court Plat "A" Preliminary Plat consists of 3 lots on 1.53 Acres of Total Area.
34 The development is located at 242 E 100 S and is in the TR 10,000 Zone. Based on DCA 4.04.010,
35 Planning Commission is the Land Use Authority for this application for any Preliminary
36 Subdivision Application and based on the new road connection proposed. The application is for
37 preliminary approval.

38
39 Page Court is on half a parcel of land owned by Patterson. There are stubbed road connections on
40 the north side of the parcel along 100 S. The parcel to the south went through a rezoning process
41 with the City and received the Senior Housing Overlay Zone for the parcel, thus allowing half of
42 this parcel be dedicated with a new zoning classification and leaving the north half, this plat, in
43 the TR-10,000. The applicant is working with the neighboring parcel to the west to allow for the
44 new cul-de-sac.

45
46 There are no width or area requirements. As far as lot shape is concerned, all lots meet the numbers of
47 sides allowed; five or less sides, excluding the front property line.

48
49 The developer is proposing that the lots be used for single-unit attached dwellings, i.e. twin
50 homes, which is consistent with the permitted uses for the SHOZ.

1 There is a proposed private trail along Dry Creek, but due to constraints might have to be
2 relocated to someone else between Red Pine Dr and 100 S. The precise location of the trail
3 should be determined before Final Plat approval.
4

5 The proposed cul-de-sac is only meeting half of the requirements for cul-de-sac development.
6 Staff assume this is due to the applicant allowing the neighboring parcel to take on the
7 responsibility of finishing out the full width requirements of the ROW if/when it develops.
8 However, the applicant and neighboring parcel need to go through an exchange of property by
9 receiving approval on a boundary line adjustment application for the possibility of the cul-de-sac.
10 When doing the Adjustment, staff recommend that the boundary adjusted meet the ROW
11 requirements of cul-de-sacs in §4.07.040. If the boundary is not adjusted to meet the ROW
12 requirements, it will have to be readjusted later through a plat amendment.
13

14 The developer will need to provide Alpine Irrigation Company water shares to satisfy the City's
15 water requirements. The water policy will need to be met before the final plat can be recorded.
16

17 The analysis section in the body of this report serves as the Planning and Zoning Department
18 review. Lone Peak Fire Department will review prior to Commission meeting
19

20 All frontage is shown to be improved with curb/gutter and sidewalk per Alpine City Standards.
21 Roadway widths and cul-de-sac also meet city code.
22 Street grades meet current code with a minimum of 1% slope (DCA 4.07.090.2). The road
23 grades shown are between 0.50% & 0.94%.
24

25 Each utility system will be discussed in more detail below but in general, the development fits
26 well within the city's adopted master plans; no issues regarding utilities were noted. Horrocks
27 reviewed and approved a previous submitted plan for culinary water, pressurized irrigation, and
28 sewer. For culinary waterline sizing, Horrocks had the following comment for the developer to
29 consider: *"Fire flow available in the area surrounding the proposed improvements should be
30 over 1750 gallons per minute at 20 psi for the proposed lines. If developer wishes to have
31 greater fire flow for larger homes then water line should be looped to the east or a larger size
32 installed to Healey Drive on High Bench road."*
33

34 The subdivision is well below the 5,350-foot elevation, which is the highest elevation the
35 existing water system can serve and still provide the minimum 40 psi required by ordinance.
36 The culinary water master plan does not call for the need to upsize any mains within the
37 development area but as noted in the Horrocks review, if the developer wishes to have greater
38 fire flow for larger homes (larger than 4,800 sf), lines bigger than 8-inch would need to be
39 installed. Staff will work with the developer to see what their desires are in terms of home sizes
40 for the area.

41 1-inch laterals with ¾-inch meters are required, and shown, for each new lot.

42 The Fire Chief will review plans prior to Commission meeting and prior to final plan approval.
43

44 Horrocks modeled the site and found no issues regarding the proposed development in terms of
45 pressurized irrigation. The development can be served by the existing 8-inch main in High Bench Road.
46 New 1-inch laterals are shown to be installed for each new lot. There is one
47 existing 2-inch service that will be required to be removed and capped at the main line
48

49 The storm water system design and drainage report has been submitted, reviewed, and approved.
50 The storm water system consists of six sumps that will retain the 100-yr (1% Annual Chance)

1 storm. Each lot within the development will also be required to retain the 80th percentile storm
2 on its lot. All stormwater from this development will be retained onsite.

3
4 March 1, 2016, the State of Utah implemented into the General MS4 Permit (Small Municipal
5 Separate Storm Sewer Systems) the requirement of all developments to evaluate Low Impact
6 Development (aka - LID) for their site. LID is a measure of handling storm water and improving
7 water quality. LID emphasizes conservation and the use of on-site natural features to protect
8 water quality. There are many ways to meet the LID requirement. LID can be met by the use of
9 drainage swales, rainwater harvesting, curb cuts to direct water to smaller local basins, and so on.

10
11 The developer shows in the storm water calculations that LID will be implemented at the
12 building permit level with each new lot retaining the 90th percentile storm, which equates to
13 about a 2-year, 1-hr rainfall event for Alpine City. Recently, the state changed this requirement
14 from the 90th percentile storm to the 80th percentile storm event. Retention of the 80th percentile
15 storm is something Alpine is doing for all new homes within the city as required by the State.
16 This is not just done as a measure of protecting water quality but also helps protect against runoff
17 from one property to another.

18
19 The development can be served and is shown to connect to the existing 8-inch sewer system in
20 High Bench Road. All lots are shown to gravity flow to that main line. The sewer master plan
21 does not show the need to upsize any mains within the development. A new 4-inch sewer lateral
22 is shown to be constructed to each new lot.

23
24 The provided geotechnical report covers the standard items required by ordinance. No hazards
25 were noted in the report or discovered in the process.

26
27 The proposed development does not fall within the Geologic Hazards Overlay Zone or the
28 Urban/Wildland Interface and therefore no hazard reports were required of the developer.

29
30 There are some minor redlines to correct on the plans.

31
32 A. The proposed plan overall complies with the zoning ordinances of the TR-10,000 and
33 design standards and ordinances;

34 B. All new building footprints do not include areas of floodway but may include the flood
35 zone (AE) and require additional approval from FEMA. This should be a note on the plat.

36 C. The plan, if it meets the staff recommendation in this document, would not be requesting
37 any exception to the ordinance.

38
39 Staff recommend that the Planning Commission review the plans and make a motion to approve
40 the proposed preliminary plat for the Page Court Plat A subdivision, with the conditions that:

41 - The trail location be determined before final plat approval

42 - A boundary adjustment be completed between the applicant and the neighboring property
43 that allows the full size of the ROW before final plat approval

44 - The plat includes a plat note dedicated the proposed public street to Alpine City

45 - The plat includes a plat note that says that any building footprints into the flood zone
46 (AE) require additional approval from FEMA.

47
48 Ross Welch said until the neighbor to the west decides to subdivide, we will put up a fence across his
49 property for privacy. Once he decides to subdivide, the full cul-de-sac with sidewalk will be built. We
50 will stub utilities to that side for future use.

1 **MOTION:** Planning Commission member John MacKay moved to approve the Preliminary application
2 of the Page Court Plat A with the following conditions:

- 3
- 4 1. The trail location be determined before final plat approval.
- 5 2. A boundary adjustment be completed between the applicant and the neighboring property
- 6 shall reflect that ROW as shown.
- 7 3. The plat includes a plat note dedicating the proposed public street to Alpine City.
- 8 4. The plat includes a plat note that says that any building footprints into the flood zone require
- 9 additional approval from FEMA.

10
11 Jeff Davis seconded the motion. There were 7 Ayes and 0 Nays (recorded below). The motion passed.

<u>Ayes:</u>	<u>Nays:</u>	<u>Excused:</u>
Michelle Schirmer		
John MacKay		
Troy Slade		
Alan Macdonald		
Susan Whittenburg		
Jeff Davis		
Greg Butterfield		

22
23 **IV. COMMUNICATIONS**

24 Jeff Davis said Utah State Code states we can't prohibit gun sales in the city. Alan Macdonald asked about
25 proximity to a school. Jeff Davis said that does not matter.

26 Jeff Davis said the flood plain has been engineered.

27 Susan Whittenburg said the new development at the end of Bald Mountain needs to know about the trails
28 there. They need to provide or repair the trail. Caden Lyon said residents can come talk to him or Shane
29 Sorensen.

30 Next Planning commission meeting will be on July 7th.

31
32 **V. APPROVAL OF PLANNING COMMISSION MINUTES:** March 31, June 2, 2026, and combined
33 Planning Commission /City Council work session June 3, 2026

34
35 **MOTION:** Planning Commissioner John MacKay moved to approve the minutes for March 31, 2026, as
36 written.

37
38 Michelle Schirmer second the motion. There were 7 Ayes and 0 Nays (recorded below). The motion passed.

<u>Ayes:</u>	<u>Nays:</u>	<u>Excused:</u>
Michelle Schirmer		
John MacKay		
Troy Slade		
Alan Macdonald		
Susan Whittenburg		
Jeff Davis		
Greg Butterfield		

48
49 **MOTION:** Planning Commissioner Susan Whittenburg moved to approve the minutes for June 2, 2026, as
50 written.

1 John Mackay second the motion. There were 7 Ayes and 0 Nays (recorded below). The motion passed.

2

3

Ayes:

Nays:

Excused:

4

Michelle Schirmer

5

John MacKay

6

Troy Slade

7

Alan Macdonald

8

Susan Whittenburg

9

Jeff Davis

10

Greg Butterfield

11

12 **MOTION:** Planning Commission member Michelle Schirmer moved to approve the minutes for the
13 combined Planning Commission /City Council work session for June 3, 2026 as written.

14

15 John MacKay second the motion. There were 7 Ayes and 0 Nays (recorded below). The motion passed.

16

17

Ayes:

Nays:

Excused:

18

Michelle Schirmer

19

John MacKay

20

Troy Slade

21

Alan Macdonald

22

Susan Whittenburg

23

Jeff Davis

24

Greg Butterfield

25

26 **MOTION:** Planning Commission member Jeff Davis moved to adjourn the meeting.

27

28 Greg Butterfield seconded the motion. There were 7 Ayes and 0 Nays (recorded below). The motion
29 passed.

30

Ayes:

Nays:

Excused:

31

Michelle Schirmer

32

John MacKay

33

Troy Slade

34

Alan Macdonald

35

Susan Whittenburg

36

Jeff Davis

37

Greg Butterfield

38

39 The meeting was adjourned at 8:16 p.m.