



MUNICIPALITY OF  
**GREENSTONE**

**PUBLIC MEETING AGENDA**

Wednesday, June 24, 2026 6:00 PM

Greenstone Council Chambers, 1800 Main Street, Geraldton Ward

[View the Livestream](#)

Page

**1.1. CALL TO ORDER**

**1.2. LAND ACKNOWLEDGEMENT**

1.2.1. We respectfully acknowledge that the Municipality of Greenstone is situated on the traditional territory of Robinson Superior Treaty and James Bay Treaty No 9. To do so recognizes and respects Indigenous People's long-standing presence in the territory, which is a key step towards reconciliation. The Municipality is committed to its relationships and partnerships with First Nation, Metis, and Inuit people and their communities.

**1.3. VISION AND MISSION STATEMENT**

1.3.1. Vision: Greenstone strives to be an inviting and inclusive community of communities by fostering quality of life for all in an economically sustainable way.

Mission: Through collaboration and connection with rights holders, communities, and other partners, we will balance Greenstone's needs and expectations by adapting policies and programs to economic realities.

## 1.4. DISCLOSURES OF INTEREST

## 1.5. INTRODUCTION

517 Main Street, Geraldton

- 1.5.1. This Public Hearing has been called and is being held in accordance with Section 34(12) of the *Planning Act*, R.S.O. 1990, c.P. 13, as amended.

## 1.6. PURPOSE

517 Main Street, Geraldton


- 1.6.1. The purpose of this Public Hearing is to consider the proposed site-specific Zoning By-Law Amendment Application that would rezone the subject lands from General Commercial (C1) to Residential Medium Density Exception (R2-X) to permit two (2) single detached dwellings on the subject lands, which are existing, and to add site-specific provisions which reflect the existing building setbacks.

The subject land is legally described as M108 Lot 147 and 148 PCL. The civic address is 517 Main Street, Geraldton, Ontario, such property being within the corporate boundaries of the Municipality of Greenstone, District of Thunder Bay.

## 1.7. REPORTS

517 Main Street, Geraldton

5 - 30

- 1.7.1. Director of Planning, Communication and Economic Development,  For Your Information: Zoning By-Law Amendment - 517 Main St., Geraldton (File No. ZBLA-2026-03)

Anita Sott, WSP - Consultant Planner, Presentation

**Recommendation:** THAT Council receive Report 143-26 as information.

## 1.8. STATEMENTS

517 Main Street, Geraldton

Any person is welcome to make a verbal or written statement in either support or opposition to the proposed application.

- 1.8.1. Verbal statements in support.
- 1.8.2. Written statements in support.
- 1.8.3. Verbal statements in opposition.

- 1.8.4. Written statements in opposition.
- 1.8.5. Applicant response to submissions.
- 1.8.6. Declaration of Public Hearing for 517 Main Street Closed.

**1.9. INTRODUCTION**

Extension of Temporary Use By-Law 23-35

- 1.9.1. This Public Hearing has been called and is being held in accordance with Section 39 of the *Planning Act*, R.S.O. 1990, c.P. 13, as amended.

**1.10. PURPOSE**

Extension of Temporary Use By-Law 23-35


- 1.10.1. The purpose of this Public Hearing is to consider the proposed application for the extension of Temporary Use By-Law 23-35, previously approved by Council on April 24, 2023, for a duration of three (3) years, which would allow for the continuation of the existing work camp use on the subject land for an additional period of three (3) years. In addition, the application would allow for the reconfiguration of the existing 613 dormitory bed units on the subject land, and the construction of an additional four (4) dormitory wings to accommodate an additional 120 bed units, for a total of 733 bed units.

The subject land is legally described as 62413-0326: MINING CLAIM TB 10556 ERRI EXCEPT SRO IN LPA37493; S/T LPA30672, the civic address being 107 Old Arena Road, Geraldton, Ontario, within the corporate boundaries of the Municipality of Greenstone, District of Thunder Bay.

**1.11. REPORTS**

Extension of Temporary Use By-Law 23-35

31 - 96

- 1.11.1. Director of Planning, Communication and Economic Development,  
 For Your Information: Extension of Temporary Use By-Law 23-35

Anita Sott, WSP - Consultant Planner, Presentation

**Recommendation:** THAT Council receive Report 176-26 as information.

**1.12. STATEMENTS**

Extension of Temporary Use By-Law 23-35

- 1.12.1. Verbal statements in support.
- 1.12.2. Written statements in support.
- 1.12.3. Verbal statements in opposition.
- 1.12.4. Written statements in opposition.
- 1.12.5. Applicant response to submissions.
- 1.12.6. Declaration of Public Hearing for Extension of Temporary Use By-Law Closed.

### **1.13. CONFIRMATORY BY-LAW**

- 97
- 1.13.1. **Recommendation: THAT** By-Law 26-35, being a By-Law to confirm the proceedings of a Public Meeting of Council be approved for passage and enactment.

### **1.14. ADJOURNMENT**

- 1.14.1. **Recommendation: THAT** having reached the hour of \_\_\_\_\_ we now adjourn.



## REPORT

To: Mayor and Council  
From: Director of Planning, Communication, and Economic Development  
Subject: For Your Information: Zoning By-Law Amendment - 517 Main St.,  
Geraldton (File No. ZBLA-2026-03)  
Date: June 24, 2026

---

### Issue

An application has been received for a Zoning By-Law Amendment (ZBLA) for the property located at 517 Main Street, Geraldton Ward.

### Facts

- An application has been submitted pursuant to Section 39 of the *Planning Act*, R.S.O. 1990, c. P.13, as amended, requesting a Zoning By-Law Amendment (ZBLA) for the property located at 517 Main Street, Geraldton Ward.
- The application is essentially a site-specific rezoning to legalize an existing residential property configuration consisting of two detached dwellings and a garage on one lot. The proposal does not create new development but seeks to recognize existing conditions and establish zoning standards that reflect the buildings as they currently exist.
- In accordance with Section 39 of the *Planning Act*, this Statutory Public Meeting has been scheduled for June 24, 2026, to provide the public, agencies, Indigenous communities, and other interested parties an opportunity to comment on the proposal.
- Notice of the Statutory Public Meeting has been provided in accordance with the requirements of the *Planning Act* and the Municipality's public notice procedures. Staff are satisfied that all required notice requirements have been completed.
- Ontario Land Tribunal Appeal Rights
  - Council's decision regarding the proposed Temporary Use By-Law extension may be appealed to the Ontario Land Tribunal in accordance with the provisions of the *Planning Act*.

- Generally, the applicant, the Minister, specified persons, public bodies, and other eligible parties who have made oral submissions at the Statutory Public Meeting or written submissions before Council makes a decision may have the right to appeal Council's decision.
- A "specified person" is an individual, corporation, agency, utility, or other organization prescribed by Ontario Regulation 543/06 under the *Planning Act* that has a recognized interest in planning matters. Examples may include public utilities, railway companies, school boards, government agencies, and other organizations identified by regulation.
- Individuals or organizations who do not make oral submissions at the Statutory Public Meeting or submit written comments before Council makes its decision may lose the ability to appeal Council's decision to the Ontario Land Tribunal.
- Notice of Council's decision will be provided in accordance with the requirements of the *Planning Act*, and any appeal must be filed within the legislated appeal period and accompanied by the prescribed appeal fee.
- The attached Planning Report has been prepared by WSP to assess the proposed application for a Zoning By-Law Amendment for 517 Main Street, Geraldton, to determine its conformity with applicable planning policies and regulations, and provide a recommendation to Council on the application.
- If the ZBLA is approved, all relevant buildings permits for a "change of use" will be required and the applicant will be responsible to ensure these permits are granted before proceeding.
- At the June 22, 2026, Regular Meeting of Council, Council was presented with a report recommending that Council direct staff to bring back a report with a recommendation for decision regarding the application of a Zoning By-Law Amendment for 517 Main Street, Geraldton, a at the July 13, 2026 Regular Meeting of Council.

### **Analysis**

- The purpose of the Statutory Public Meeting is to provide an opportunity for members of the public, government agencies, Indigenous communities, and other interested stakeholders to review and comment on the application before Council renders a decision.
- A detailed planning evaluation has been undertaken by a Registered Professional Planner. As part of the Statutory Public Meeting, the planner's report will be presented, including an analysis of the proposal in relation to the relevant requirements of the *Planning Act*, the Provincial Planning Statement, 2024, the Municipality of Greenstone Official Plan, and other applicable planning policies and considerations.
- The planning review and any recommendations provided by the Registered Professional Planner are based on land use planning principles and the applicable legislative and policy framework. The analysis considers the technical studies and supporting materials submitted with the application, comments received from reviewing agencies, and input provided by the public throughout

the planning process. These recommendations are intended to support Council in carrying out its decision-making responsibilities under the *Planning Act*.

- Following the Statutory Public Meeting, municipal staff will prepare a follow-up report for Council that summarizes the planning review, agency feedback, public comments, and staff recommendations regarding the approval or refusal of the application. This report will be presented for Council's consideration at the Regular Meeting scheduled for July 13, 2026.

### **Summary of attached planning report**

#### Key Recommendation

- Approve the rezoning of the property from General Commercial (C1) to Residential Multiple Exception (R2-X4).

#### Planning Rationale for Approval

- The proposal is considered:
  - Consistent with the Provincial Planning Statement (2024).
  - Conforming with the Growth Plan for Northern Ontario (2011).
  - Conforming with the Municipality of Greenstone Official Plan.
- The amendment recognizes and legalizes the existing residential use of the property, which contains:
  - Two existing single detached dwellings (Unit A and Unit B).
  - One detached garage.
- The existing dwellings contribute to the local housing supply and make efficient use of:
  - Existing municipal water services.
  - Existing municipal wastewater services.
  - Existing infrastructure within the Geraldton settlement area.
- The use is considered compatible with surrounding development, which includes a mix of residential, commercial, and institutional uses along Main Street.
- No new construction or site alterations are proposed.

#### Site-Specific Exceptions Recommended

- The planner recommends approving exceptions to recognize the existing buildings and setbacks, including:
  - Permitted Uses
    - Permit two main single detached dwellings on one lot (Unit A and Unit B), plus a detached garage.

### **Recommendation**

THAT Council receive Report 143-26 as information.



**Municipality of Greenstone**  
**Zoning By-law Amendment Application – 517 Main Street**  
**File No. 2026-03**  
**Planning Report, June 18, 2026 (Issued for Statutory Public Meeting)**

## 1 Introduction

An Application for a Zoning By-law Amendment was filed by Shawn Piskovic, DZigner Man & Associates, on behalf of the property owner Michelle Giolet (“the Applicant”) on April 20, 2026. Supplementary materials and information were submitted on May 14, May 20, May 30, June 13, and June 18, 2026. The Application was deemed complete on May 28, 2026. The Application proposes to rezone the lands located at 517 Main Street, Geraldton (the “Site”) in the Municipality of Greenstone (the “Municipality”) from the General Commercial (C1) Zone to a Residential Multiple Exception (R2-X4) Zone, to permit two (2) existing single detached dwellings and an existing detached garage on the subject lands, and to add site-specific provisions which reflect the existing building setbacks (“the existing development”).

The purpose of this Report is to evaluate the Application for consistency with the Provincial Planning Statement, 2024 (“PPS”), conformity with the Growth Plan for Northern Ontario (2011), conformity with the Municipality of Greenstone Official Plan (Approved by the Ministry of Municipal Affairs and Housing [MMAH] with Modifications on November 15, 2022) (“OP”), and compliance with the Municipality of Greenstone Zoning By-law 23-77 (Adopted by Council November 27, 2023).

## 2 Description of the Site

The Site, as outlined in yellow on **Figure 1**, is an interior lot and rectangular in shape. It has an area of approximately 652.2 m<sup>2</sup> (Site Plan, dated April 7, 2026, prepared by DZigner Man & Associates) (see **Appendix A**). The Site has 19.8 m of frontage along Main Street, which is a two-lane local road under the jurisdiction of the Municipality of Greenstone. The northern side of the Site is currently occupied by two existing buildings – Unit A (99.8 m<sup>2</sup>) fronting Main Street, and Unit B (99 m<sup>2</sup>) at the rear of the property. Both buildings are now vacant; previously, Unit A was used for commercial purposes, and Unit B was used for residential purposes. There is also a detached accessory garage in the southeastern corner of the Site. Surrounding properties include a mix of commercial, residential, and institutional uses.

## 3 Description of the Proposed Amendment

The purpose of the Application is to permit the existing use and buildings on the lot, which include two (2) existing single detached dwellings and a detached garage, by rezoning from General Commercial (C1) to Residential Multiple (R2). Site-specific exceptions are also proposed to reflect the existing building setbacks which do not comply with the requirements of the R2 Zone being applied for. The existing dwellings are connected to municipal water and wastewater services. No new exterior development or construction is proposed.

There is one (1) existing driveway access to the site from Main Street, which is proposed to be maintained.

## 4 Site Visit

A site visit was not conducted due to the remote nature of the Planning Consulting Services contract with the Municipality of Greenstone. The Application was reviewed based on existing and available mapping, including Google Earth and the



Municipality of Greenstone GIS Application, and through discussions with Haley Garvie, the Municipality's Director of Development, Communication, and Economic Development.

Figure 1: Site Location



## 5 Consistency and Conformity with Legislated Policy

### 5.1 Provincial Planning Statement, 2024 (PPS)

The proposed development is consistent with policies of the PPS, including the following:

- Policy 2.2.1 provides that planning authorities shall provide for an appropriate range and mix of housing options and densities to meet projected needs of current and future residents by:
  - (b) permitting and facilitating (1) all housing options, and (2) all types of residential intensification, including the development and redevelopment of underutilized commercial sites for residential use; and
  - (c) promoting densities for new housing which efficiently use land, resources, infrastructure, and public service facilities.
- Policy 2.3.1.1 states that settlement areas shall be the focus of growth and development.
- Policy 2.3.1.2 directs that land use patterns within settlement areas should be based on densities and a mix of land uses which: (a) efficiently use land and resources; and (b) optimize existing and planned infrastructure and public service facilities [...].
- Policy 3.6.2 identifies that municipal sewage services and municipal water services are the preferred form of servicing for settlement areas.



The proposed amendment seeks to permit the existing residential uses on the Site. The existing dwellings contribute to residential housing stock with the Geraldton settlement area. They represent an efficient use of land and existing municipal infrastructure, as they are connected to existing municipal water and wastewater services.

The proposed amendment is consistent with the policies of the PPS.

## 5.2 Growth Plan for Northern Ontario, 2011

The proposed development conforms with policies of the Growth Plan for Northern Ontario, 2011, including the following:

- Section 3.4.3 encourages municipalities to support and promote healthy living by providing for communities with a diverse mix of land uses, a range and mix of employment and housing types, high-quality public open spaces, and easy access to local stores and services.

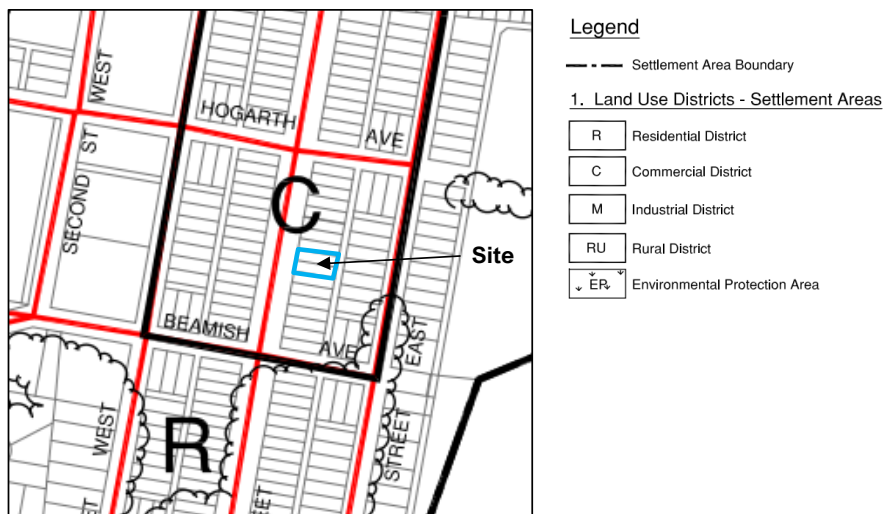
The proposed amendment would permit the existing dwellings in the Geraldton settlement area, which is characterized by a mix of residential, commercial, and institutional lands uses. As the Site is located on Main Street, the existing residential dwellings benefit from access to local stores and services.

The proposed amendment conforms with the Growth Plan for Northern Ontario.

## 5.3 Municipality of Greenstone Official Plan (MMAH Approved with Modifications on November 15, 2022)

The Site is within the Geraldton Settlement Area and is designated “Commercial District” on Schedule E – Land Use Plan of the Official Plan, as illustrated in **Figure 2**.

Figure 2: Site location within the Commercial District designation (Excerpt of Schedule E - Land Use Plan, Municipality of Greenstone Official Plan (MMAH Approved November 15, 2022))



Official Plan Section 3.9 Settlement Areas provides principles according to which the Settlement Areas will be developed. These include, among others, optimizing the use of available infrastructure (Policy 3.9(3)), and land use compatibility



(Policy 3.9(5)). Relevant objectives for development within Settlement Areas include facilitating the provision of sufficient land for projected housing and employment growth within the Settlement Areas (4.3(2)) and avoiding and/or mitigating land use conflicts (4.3(5)).

**The proposed amendment permits the existing residential dwellings on the Site, which make use of existing municipal water and wastewater services, thereby optimizing available infrastructure. The existing uses are compatible with and do not conflict with surrounding land uses and built form within the Geraldton settlement area and along Main Street, which are characterized by a mix of low-rise commercial, residential, and institutional land uses.**

Section 4.6 provides policies for the Commercial District designation, including establishing permitted uses which include, but are not limited to, existing residential uses and new residential uses where they can be compatibly integrated (i.e., mixed use and standalone buildings) (Policy 4.6.1(c)). Further, accessory uses may include parking, loading and storage facilities, among other uses.

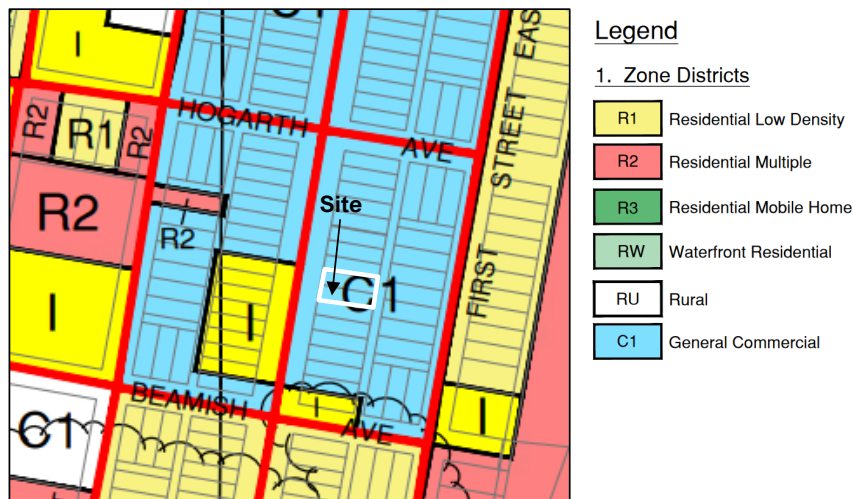
**The proposed amendment conforms with the permitted uses in the Commercial District designation, which include existing residential uses and accessory uses to accommodate parking, such as the existing detached garage.**

**The proposed amendment conforms with the policies of the Official Plan.**

#### 5.4 Municipality of Greenstone Zoning By-law 23-77 (Adopted by Council November 27, 2023)

The Site is zoned General Commercial (C1) on Schedule E of the Zoning By-law 23-77 (the “By-law”), as illustrated in Figure 55.

Figure 5: Site location within the General Commercial (C1) Zone (Excerpt of Schedule E, Zoning By-law 23-77 (Adopted by Council November 27, 2023))



Section 10 General Commercial (C1) Zone sets out the permitted uses for lands zoned C1, which do not include residential uses other than an accessory dwelling unit, including a mobile home, and a home based business. The Application seeks to rezone the Site to the Residential Multiple (R2) Zone, with site-specific exceptions, to permit residential uses on the Site, consisting of one (1) residential unit within each of the existing single detached dwellings. The



Applicant is seeking R2 zoning, as the R2 Zone permits multi-unit residential development with greater densities than the Residential Low Density (R1) Zone.

The permitted uses in the R2 Zone were recently amended by the Municipality of Greenstone By-law 26-24 (Adopted by Council May 11, 2026) to include single detached dwellings, among other low density residential uses which are permitted in the R1 Zone. **As such, the existing single detached dwellings on the Site are a permitted use in the proposed R2 Zone.**

Under Section 7 Residential Multiple (R2) Zone, Section 7.3 Additional Regulations, provision 5 states that “For regulations governing all uses in this zone not identified on the R2 zone regulations schedule, the R1 zone regulations schedule shall be used.” Therefore, the compliance of the existing single detached dwellings on the Site must be assessed against the R1 Zone regulations for single detached dwellings, rather than the R2 regulations.

**Table 1** provides a review of the R1 Zone regulations which are applicable to the proposed amendment. It assesses the compliance of the existing single detached dwellings on the Site with the regulations, as illustrated on the Applicant’s Site Plan (dated April 7, 2026, prepared by DZigner Man & Associates).

**Table 1: Residential Low Density (R1) Zone Regulations Compliance**

Zone Provision	R1 Zone Requirements		Compliance
	Single Detached Dwelling	Accessory Use, Building or Structure	
Minimum Lot Area (1. Municipal Water and/or Sewage System) (Section 6.2)	350 m <sup>2</sup> (3,767.4 ft <sup>2</sup> )	N/A	Yes – 652.2 m <sup>2</sup>
Minimum Lot Frontage (1. Municipal Water and/or Sewage System) (Section 6.2)	10.5 m (34.4 ft)	N/A	Yes – 19.8 m
Minimum Front Yard (Section 6.2)	6 m (19.6 ft)	6 m (19.6 ft)	<b>Unit A: No – 0.61 m</b> Unit B: Yes – 21.5 m Detached Garage: Yes – 19.5 m
Minimum Rear Yard (Section 6.2)	7.5 m (24.6 ft)	1.2 m (3.93 ft)	Unit A: Yes – 20.24 m <b>Unit B: No – 0 m</b> Detached Garage: Yes – 4.87 m
Minimum Interior Side Yard (Section 6.2)	1.2 m (3.93 ft)	1.2 m (3.93 ft)	<b>Unit A: No – 0 m (north) &amp; 11.53 m (south)</b> <b>Unit B: No – 0 m (north) &amp; 10.8 m (south)</b> <b>Detached Garage: No – 14.98 m (north) &amp; 0.6 m (south)</b>
Maximum Height (Section 6.2)	10.5 m (34.4 ft)	6 m (19.6 ft)	Unit A: Yes – 6.4 m Unit B: Yes – 7.2 m Detached Garage: Yes –



Zone Provision	R1 Zone Requirements		Compliance
	Single Detached Dwelling	Accessory Use, Building or Structure	
			3.84 m
Maximum Lot Coverage (1. Municipal Water and/or Sewage System) (Section 6.2)	40%	10%, included in total	Unit A: Yes – 15.3% Unit B: Yes – 15.2% Detached Garage: Yes – 5.6%  Total: Yes – 36%
Maximum No. Dwellings per lot (excluding a Garden Suite or Additional Residential Unit) (Section 6.2)	1	N/A	<b>No – 2 dwellings</b>
Separation Distance between the main building and any accessory building (Section 6.2)	2 m (6.56 ft)	2 m (6.56 ft)	Yes – 5.9 m between Unit B and Detached Garage

Section 4.22 Parking, Motor Vehicles and Drive-through Facilities establishes general zoning provisions related to parking requirements. According to Table 4.22, 2 parking spaces are required per single detached dwelling. As indicated on the Site Plan, a total of five (5) parking spaces are provided on the lot as follows:

- Two (2) parking spaces at the rear of Unit A, and located between Units A and B;
- Two (2) parking spaces in front of the detached garage; and
- One (1) parking space at the rear of the detached garage.

Section 4.24 Permitted Projections requires that porches be no closer than 0.5 m to any lot line in a side yard, and a project a maximum of 3 m into the required front yard. **For Unit A, the existing porch projects 5.5 m into the required front yard. For Unit B, the existing porch is located 0 m from the northern interior side lot line.**

**Therefore, site-specific exceptions shall be required to permit:**

- Maximum number of dwellings per lot: Two (2) main single detached dwellings (Unit A at the front of the property, and Unit B at the rear of the property) and a detached garage on the same lot;
- Development standards - Unit A:
  - Front yard setback: 0.61 m;
  - Interior side yard setback (north): 0 m; and
  - Porch projection into the required front yard: 5.5 m.
- Development standards - Unit B:
  - Rear yard setback: 0 m;
  - Interior side yard setback (north): 0 m; and
  - Porch projection to be located 0 m from interior side lot line (north).
- Development standards - Detached Garage:
  - Interior side yard setback (south): 0.6 m.



## 6 Results of Interdepartmental and Agency Circulation

At this time of this Report, no comments or concerns were received from:

- Municipality of Greenstone Chief Administrative Officer
- Municipality of Greenstone Director of Public Services
- Municipality of Greenstone Fire Chief
- Municipality of Greenstone Clerk
- Animiigoo Zaagi'igan Anishinaabek Lake, Nipigon Ojibway
- Aroland First Nation
- Bingwi Neyaashi Anishinaabek, Sand Point First Nation
- Ginoogaming First Nation
- Long Lake #58 First Nation, Chief
- Métis Nation of Ontario
- Rocky Bay First Nation
- Ministry of the Environment, Conservation, and Parks
- Ministry of Municipal Affairs and Housing
- Ministry of Natural Resources
- Ministry of Transportation
- Bell Canada
- Enbridge Gas
- Hydro One
- Infrastructure Ontario
- Tbay Tel
- Thunder Bay District Health Unit
- TransCanada Pipelines

## 7 Public Comments

Notice of the Application was given in accordance with Section 34 of the Planning Act:

- The Application was circulated to persons and public bodies as legislated on June 3, 2026;
- Notification was mailed to property owners within 120 m of the Site on June 3, 2026; and
- A property notification sign was posted on June 3, 2026.

A Statutory Public Meeting is scheduled to be held by Council on June 24, 2026. Notice of the Statutory Public Meeting was given in accordance with Section 34(13) of the Planning Act, whereby it was published in the Times Star and on the Municipal Website on June 3, 2026. As of the date of this Report (June 18, 2026), no inquiries have been received. Together with Municipal staff, Council will have the opportunity to evaluate the proposal in lieu of public comments.

## 8 Recommendations

As a professional planner retained by the Municipality of Greenstone to assist with this Application, it is my professional planning opinion that the following amendments as proposed for the Application for Zoning By-law Amendment, File No. 2026-03, be approved, in lieu of public comments that may yet be received.

### **Proposed Zoning By-law Amendment:**

1. That the lands be rezoned from the General Commercial (C1) Zone to the Residential Multiple Exception (R2-X4) Zone.



2. Notwithstanding the provisions of the Zoning By-law, that the following site-specific exceptions be permitted, as set forth in the implementing By-law:
- a. Maximum number of dwellings per lot: Two (2) main single detached dwellings (Unit A at the front of the property, and Unit B at the rear of the property) and a detached garage on the same lot;
  - b. Development standards - Unit A:
    - i. Front yard setback: 0.61 m;
    - ii. Interior side yard setback (north): 0 m; and
    - iii. Porch projection into the required front yard: 5.5 m.
  - c. Development standards - Unit B:
    - i. Rear yard setback: 0 m;
    - ii. Interior side yard setback (north): 0 m; and
    - iii. Porch projection to be located 0 m from interior side lot line (north).
  - d. Development standards - Detached Garage:
    - i. Interior side yard setback (south): 0.6 m.

Respectfully submitted,

A handwritten signature in black ink, appearing to read 'A. Sott'.

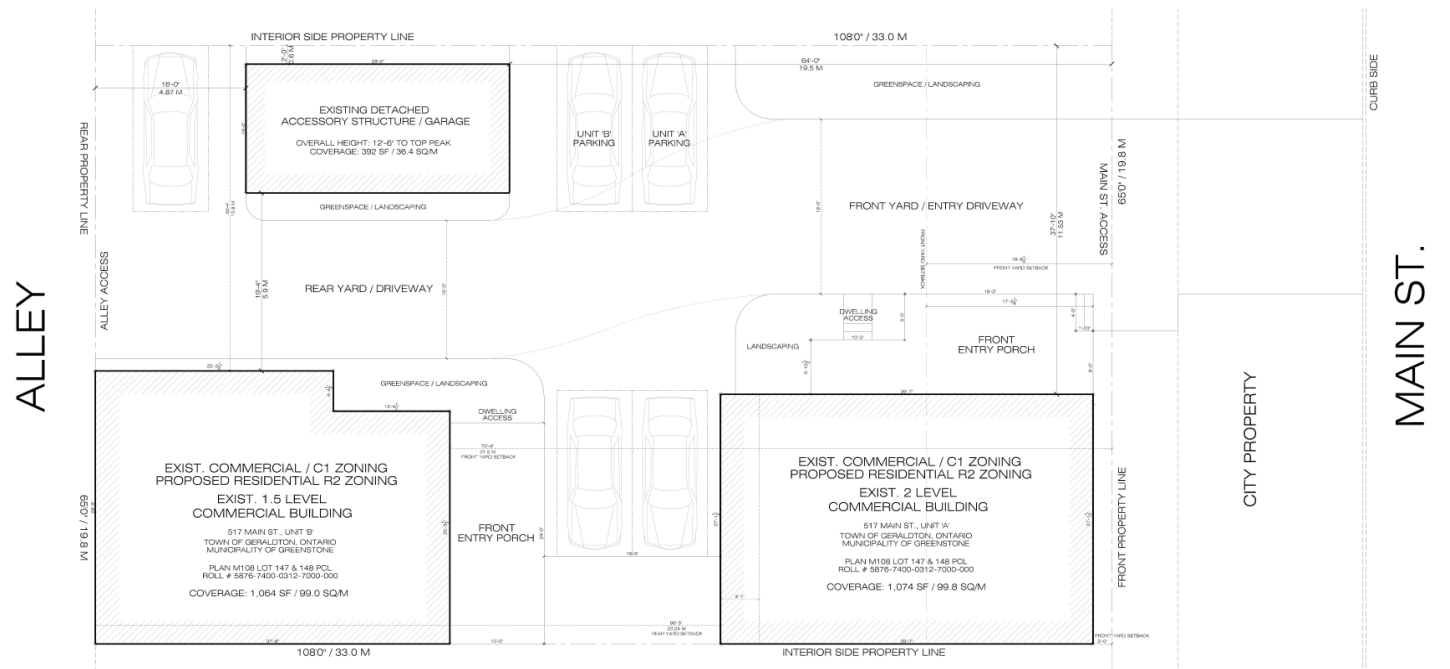
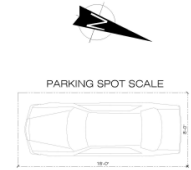
Anita Sott, MCIP, RPP  
Consulting Planner, WSP



## Appendix A – Site Plan

SITE ANALYSIS: PROPOSED R2 ZONE	IMPERIAL	METRIC	MIN LOT AREA	MIN LOT FRONTAGE
TOTAL PROPERTY SIZE:	7,020 SF	652.2 SQM	300 SQ/M	25 M
EXIST. UNIT 'A' COVERAGE:	1,074 SF	99.8 SQM		
EXIST. UNIT 'B' COVERAGE:	1,064 SF	99.0 SQM		
EXIST. DETACHED GARAGE COVERAGE:	392 SF	36.4 SQM		
<b>TOTAL COVERAGE:</b>	<b>2,530 SF</b>	<b>235.2 SQM</b>		

COMPLIANCE ANALYSIS	EXISTING
<b>BUILDING 'A'</b> MIN. FRONT YARD SETBACK: 19.6' / 6M MIN. REAR YARD SETBACK: 24.6' / 7.5 M MIN. INTERIOR SIDE YARD SETBACK: 13.1' / 4 M MAXIMUM HEIGHT: 49.2' / 15M MAXIMUM LOT COVERAGE: 40% SEPARATION DISTANCE BETWEEN BUILDINGS: 13.1' / 4M	20' / 0.61 M 680' / 20.7 M 0' / 0.0 M & 320' / 11.9 M 210' / 6.4 M (PEAK) 15.3 % 320' / 9.75 M
<b>BUILDING 'B'</b> MIN. FRONT YARD SETBACK: 19.6' / 6M MIN. REAR YARD SETBACK: 24.6' / 7.5 M MIN. INTERIOR SIDE YARD SETBACK: 13.1' / 4 M MAXIMUM HEIGHT: 49.2' / 15M MAXIMUM LOT COVERAGE: 40% SEPARATION DISTANCE BETWEEN BUILDINGS: 13.1' / 4M	20' / 0.61 M 300' / 0.9 M 0' / 0.0 M & 310' / 11.3 M 238' / 7.2 M (PEAK) 15.2 % 320' / 9.75 M



**S-1 Site Plan**  
517 MAIN ST., GERALDTON, ONTARIO  
PERMIT PLAN

PROPERTY MAINTENANCE ARRANGEMENT:  
OWNER OF THE PROPERTY WILL BE RESPONSIBLE FOR THEIR OWN IN HOUSE MAINTENANCE  
OF THE PROPERTY YEAR ROUND USING IN HOUSE EQUIPMENT AND OPERATING PROCEDURES

ENGINEER STAMP

Company Logo: **MAN** (Municipal Assessment Network)

Professional Engineer: **Shawn Pollock**

Project Information:  
 Project Name: 517 Main St., Unit A & B  
 Location: 517 Main St., Unit A & B, Geraldton, Ontario  
 Date: 04/27/2024  
 Drawing No: 01

Shawn Pollock & Associates assumes no liability for any changes or modifications made to these plans by others.



# 517 Main Street, Geraldton Zoning By-law Amendment

File No. 2026-03

**Planning Report Presentation**

Statutory Public Meeting – June 24, 2026

Presented by Anita Sott, MCIP, RPP, Consulting Planner, WSP



MUNICIPALITY OF  
**GREENSTONE**

Subject Property 



# Outline

- 1** Purpose of the Application
- 2** Site Description
- 3** Proposed Amendment
- 4** Consistency / Conformity with Legislated Policy

- 5** Compliance with Zoning By-law
- 6** Interdepartmental and Agency Circulation
- 7** Public Comments
- 8** Recommendations

# Purpose of the Application

- To permit the existing use and buildings on the lot, which include two (2) existing single detached dwellings and a detached garage



# Site Description

- Located at 517 Main Street, Geraldton, with an area of approx. 652.2 m<sup>2</sup>
- 19.8 m of frontage along Main Street
- Northern side of the Site is currently occupied by two existing, vacant single detached dwellings – Unit A (99.8 m<sup>2</sup>) fronting Main Street, and Unit B (99 m<sup>2</sup>) at the rear of the property
- Detached accessory garage in the southeastern corner
- One (1) existing driveway access to the site from Main Street, which is proposed to be maintained
- Existing dwellings are connected to municipal water and sanitary sewer services



# Proposed Amendment

- To rezone the property from General Commercial (C1) to Residential Multiple (R2), to permit the existing use and buildings on the lot – two (2) single detached dwellings and a detached garage
- To add site-specific exceptions to reflect the existing building setbacks, which do not comply with the requirements of the R2 Zone being applied for

# Consistency / Conformity with Legislated Policy

## Provincial Planning Statement, 2024 (PPS)

- **Proposed amendment is consistent with the policies of the PPS:**
  - Policy 2.2.1: Provide for an appropriate range and mix of housing options and densities by:
    - (b) permitting and facilitating (1) all housing options, and (2) all types of residential intensification, including the development and redevelopment of underused commercial sites for residential use; and
    - (c) Promoting densities for new housing which efficiently use land, resources, infrastructure, and public service facilities
  - Policy 2.3.1.1: Settlement areas shall be the focus of growth and development
  - Policy 2.3.1.2: Land use patterns within settlement areas should be based on densities and a mix of land uses which: (a) efficiently use land and resources; and (b) optimize existing and planned infrastructure and public service facilities
  - Policy 3.6.2: Municipal sewage services and municipal water services are the preferred form of servicing for settlement areas

## Growth Plan for Northern Ontario, 2011

- **Proposed amendment conforms with the Growth Plan for Northern Ontario:**
  - Section 3.4.3 encourages municipalities to support and promote healthy living through a diverse mix of land uses, a range and mix of housing types, and easy access to local stores and services.

# Consistency / Conformity with Legislated Policy

## Municipality of Greenstone Official Plan (MMAH Approved with Modifications on November 15, 2022)

- **Proposed amendment conforms with the policies of the Official Plan.**
- Site is designated “Commercial Area” on Schedule E – Land Use Plan of the Official Plan
- Proposed development conforms with the following policies:
  - Section 3.9 Settlement Areas:
    - Optimize the use of available infrastructure (i.e., municipal water / wastewater)
    - Ensure land use compatibility
  - Section 4.3 Community Development Objectives:
    - Provide sufficient land for projected housing growth with the Settlement Areas
    - Avoid and/or mitigate land use conflicts
  - Section 4.6 Commercial District:
    - Permitted uses include, but are not limited to, existing residential uses and new residential uses where they can be compatibly integrated (i.e., mixed-use or standalone buildings)
    - Permits accessory uses (e.g., parking, storage, etc.)



--- Settlement Area Boundary

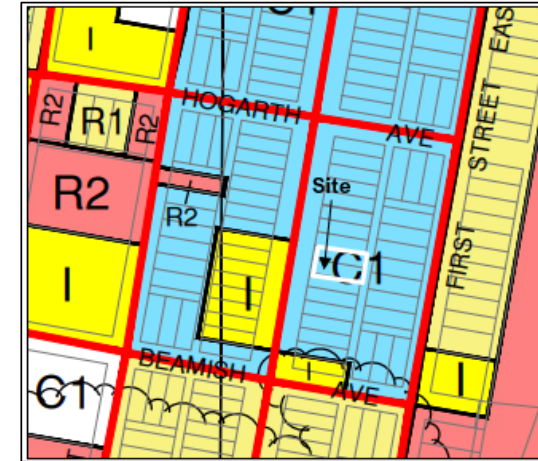
### 1. Land Use Districts - Settlement Areas

R	Residential District
C	Commercial District

# Compliance with Zoning By-law

## Municipality of Greenstone Zoning By-law 23-77 (Adopted by Council November 27, 2023)

- Site is zoned General Commercial (C1) on Schedule E of the Zoning By-law, which does not permit residential uses, other than an accessory dwelling unit and a home based business.
  - **Proposed development requires a Zoning By-law Amendment to permit residential uses on the Site, consisting of one (1) residential unit within each of the existing single detached dwellings, for a total of two (2) dwellings on one lot.**
- Applicant is seeking R2 zoning, as the R2 Zone permits multi-unit residential development with greater densities than the Residential Low Density (R1) Zone.
- The permitted uses in the R2 Zone were recently amended by the Municipality of Greenstone By-law 26-24 (Adopted by Council May 11, 2026) to include single detached dwellings, among other low density residential uses which are permitted in the R1 Zone.
- As such, **the existing single detached dwellings on the Site are a permitted use in the proposed R2 Zone.**



### Legend

#### 1. Zone Districts

R1	Residential Low Density
R2	Residential Multiple
R3	Residential Mobile Home
RW	Waterfront Residential
RU	Rural
C1	General Commercial

# Compliance with Zoning By-law

## Municipality of Greenstone Zoning By-law 23-77 (Adopted by Council November 27, 2023)

- Section the R2 Zone, Section 7.3 Additional Regulations, provision 5 states: “For regulations governing all uses in this zone not identified on the R2 zone regulations schedule, **the R1 zone regulations schedule shall be used.**”
- Therefore, the compliance of the existing single detached dwellings on the Site must be assessed against the R1 Zone regulations for single detached dwellings, rather than the R2 regulations.
- The existing single detached dwellings and detached garage require **site-specific exceptions to the R1 Zone provisions** to recognize the following existing conditions on the Site:
  - Maximum number of dwellings per lot: Two (2) main single detached dwellings (Unit A at the front of the property, and Unit B at the rear of the property) and a detached garage on the same lot;
  - Development standards - Unit A:
    - Front yard setback: 0.61 m;
    - Interior side yard setback (north): 0 m; and
    - Porch projection into the required front yard: 5.5 m
  - Development standards - Unit B:
    - Rear yard setback: 0 m;
    - Interior side yard setback (north): 0 m; and
    - Porch projection to be located 0 m from interior side lot line (north)
  - Development standards - Detached Garage:
    - Interior side yard setback (south): 0.6 m

# Interdepartmental and Agency Circulation

- The Application was circulated to internal Municipal departments and to external technical agencies for review and comment on June 3, 2025.
- Comments from the WSP Planning Consultant, on behalf of the Municipality of Greenstone, were provided to the Applicant by email for consideration and response.
  - The comments required some updated to the Site Plan to address matters of zoning compliance. A revised Site Plan and Zoning Amendment Report were submitted by the Applicant on June 13 and 18, 2026.
- As of the date of this presentation, no other comments have been received.

# Public Comments

- Notice of the Application was given in accordance with Planning Act, including:
  - Notification mailed to property owners within 120 m of the Site on June 3, 2026;
  - Property notification sign posted on June 3, 2026; and
  - Notice of Statutory Public Meeting was published in the Times Star and on the municipal website on June 3, 2026.
- As of the date of this presentation, no public comments have been received.



# Recommendations

## Proposed Zoning By-law Amendment

**That the following amendments proposed for the Application for Zoning By-law Amendment, File No. 2026-03 be approved, in lieu of public comments that may yet be received:**

1. That the lands be rezoned from the General Commercial (C1) Zone to the Residential Multiple Exception (R2-X4) Zone.
2. Notwithstanding the provisions of the Zoning By-law, that the following site-specific exceptions be permitted, as set forth in the implementing By-law:
  - a. Maximum number of dwellings per lot: Two (2) main single detached dwellings (Unit A at the front of the property, and Unit B at the rear of the property) and a detached garage on the same lot;
  - b. Development standards - Unit A:
    - i. Front yard setback: 0.61 m;
    - ii. Interior side yard setback (north): 0 m; and
    - iii. Porch projection into the required front yard: 5.5 m.
  - c. Development standards - Unit B:
    - i. Rear yard setback: 0 m;
    - ii. Interior side yard setback (north): 0 m; and
    - iii. Porch projection to be located 0 m from interior side lot line (north).
  - d. Development standards - Detached Garage:
    - i. Interior side yard setback (south): 0.6 m.



**Thank You**

**517 Main Street, Geraldton  
Zoning By-law Amendment  
File No. 2026-03  
Planning Report Presentation  
Statutory Public Meeting – June 24, 2026**



**MUNICIPALITY OF  
GREENSTONE**

**Comments may be submitted to:**

**Haley Garvie  
Director of Planning, Communication and Economic  
Development  
Municipality of Greenstone  
Box 70, 1800 Main Street  
Geraldton, ON P0T 1M0  
P: 807-854-1100  
E: [haley.garvie@greenstone.ca](mailto:haley.garvie@greenstone.ca)**



## REPORT

To: Mayor and Council  
From: Director of Planning, Communication, and Economic Development  
Subject: For Your Information: Extension of Temporary Use By-Law 23-35  
Date: June 24, 2026

---

### Issue

An application has been received from Greenstone Mine for an extension of Temporary Use By-Law 23-35

### Facts

#### Planning Review Framework

- The Registered Professional Planner's analysis and recommendation are required to be based on the applicable legislative and policy framework, including the Planning Act, the Provincial Planning Statement, 2024, the Municipality of Greenstone Official Plan, relevant technical studies, agency comments, and applicable public input received through the planning process to date.
- The recommendation represents an independent professional planning opinion founded on sound land use planning principles and conformity with applicable planning policy and legislation.

#### Application Overview

- An application has been submitted pursuant to Section 39 of the *Planning Act*, R.S.O. 1990, c. P.13, as amended, requesting an extension of Temporary Use By-Law 23-35.
- Temporary Use By-Law 23-35 was approved by Council on April 24, 2023, permitting the establishment and operation of a temporary work camp on the subject lands for a period of three (3) years. The first Temporary Use By-Law for the construction work camp for the mine was permitted under by-law 19-49 and as amended by by-law 19-49.

- The subject lands are legally described as: 62413-0326: MINING CLAIM TB 10556 ERRI EXCEPT SRO IN LPA37493; S/T LPA30672 and are municipally known as: 107 Old Arena Road, Geraldton, Ontario.
- The application proposes to:
  - Extend the temporary use permission for an additional three (3) years;
  - Permit the continued operation of the existing work camp;
  - Reconfigure the existing 613 dormitory bed units;
  - Construct four (4) additional dormitory wings; and
- Increase the accommodation capacity by 120 dormitory bed units.
- If approved, the total number of dormitory bed units permitted on the property would increase from 613 to 733.
- In accordance with Section 39 of the *Planning Act*, a Statutory Public Meeting has been scheduled for June 24, 2026, to provide the public, agencies, Indigenous communities, and other interested parties an opportunity to comment on the proposal.
- Notice of the Statutory Public Meeting has been provided in accordance with the requirements of the *Planning Act* and the Municipality's public notice procedures. Staff are satisfied that all required notice requirements have been completed.
- Ontario Land Tribunal Appeal Rights
  - Council's decision regarding the proposed Temporary Use By-Law extension may be appealed to the Ontario Land Tribunal in accordance with the provisions of the *Planning Act*.
  - Generally, the applicant, the Minister, specified persons, public bodies, and other eligible parties who have made oral submissions at the Statutory Public Meeting or written submissions before Council makes a decision may have the right to appeal Council's decision.
  - A "specified person" is an individual, corporation, agency, utility, or other organization prescribed by Ontario Regulation 543/06 under the *Planning Act* that has a recognized interest in planning matters. Examples may include public utilities, railway companies, school boards, government agencies, and other organizations identified by regulation.
  - Individuals or organizations who do not make oral submissions at the Statutory Public Meeting or submit written comments before Council makes its decision may lose the ability to appeal Council's decision to the Ontario Land Tribunal.
  - Notice of Council's decision will be provided in accordance with the requirements of the *Planning Act*, and any appeal must be filed within the legislated appeal period and accompanied by the prescribed appeal fee.
- The attached Planning Report has been prepared by WSP to assess the proposed extension of the Temporary Use By-law for the Greenstone Mine Work Camp, determine its conformity with applicable planning policies and regulations, and provide a recommendation to Council on the application.
- At the June 22, 2026, Regular Meeting of Council, Council was presented with a report recommending that Council direct staff to bring back a report with a recommendation for decision regarding the application an extension of Temporary Use By-Law 23-35 at the July 13, 2026 Regular Meeting of Council.

- Staff will prepare the report and recommendation for Council based on the Registered Professional Planner's analysis and recommendations, applicable planning policy and legislation, agency comments, and applicable public input received through the planning process that are relevant to the current Application.

### **Analysis**

- The purpose of the Statutory Public Meeting is to receive comments from the public, agencies, Indigenous communities, and other interested parties prior to Council making a decision on the application.
- A comprehensive planning review has been completed by a Registered Professional Planner. The planner's report, including an assessment of the proposal against the applicable provisions of the *Planning Act*, the Provincial Planning Statement, 2024, the Municipality of Greenstone Official Plan, and other relevant planning considerations, is attached.
- The planning analysis and any recommendations presented by the Registered Professional Planner are provided from a land use planning perspective and are based on the applicable legislative and policy framework, technical information submitted in support of the application, agency comments, and public input received through the planning process. These recommendations are intended to assist Council in fulfilling its decision-making responsibilities under the *Planning Act*.

### **Summary of attached planning report:**

#### Key Recommendations

- Approve a new Temporary Use By-Law allowing the construction work camp to continue operating on the site.
- Extend the temporary use period for three years, from April 24, 2026 to April 23, 2029.
- Permit:
  - Continued operation of the existing work camp.
  - Reconfiguration of the existing 613 dormitory beds.
  - Construction of four additional dormitory wings.
  - Increase total accommodation capacity to 733 beds.

#### Planning Rationale for Approval

- The proposal is considered:
  - Consistent with the Provincial Planning Statement (2024).
  - Conforming with the Growth Plan for Northern Ontario (2011).
  - Conforming with the Municipality of Greenstone Official Plan.
  - Generally compliant with the applicable Zoning By-law regulations.
    - The proposal is considered to “generally” comply because the use is not permitted in the RU zone and requires approval for an additional three years. Site-specific regulations were established

through this application and By-law 23-35. The proposal complies with all other applicable Zoning By-law requirements, including barrier-free access, loading spaces, and minimum distance separation.

- The work camp supports the ongoing operation of the Greenstone Gold Mine, a major employer and economic driver in the region.
- The site is more than 1 km from the mine, exceeding the minimum separation distance requirements for land-use compatibility.
- Existing infrastructure can support the development:
  - Municipal water system can provide required fire flow.
  - Existing access roads remain unchanged.
  - Parking, loading, and zoning standards are met.

#### Conditions of Approval

The planner recommends that the applicant enter into a Development Agreement that includes:

1. Installation of sewage holding tank aeration/blower systems by Greenstone Gold Mines to address sewage odour and treatment concerns.
2. If the aeration system does not adequately solve the sewage issue, Greenstone Gold Mines must implement an alternative solution within 90 days of approval.
3. Any future application to make the work camp permanent must be supported by:
  - A Stormwater Management Report.
  - A Transportation Impact Assessment.

#### Notable Concern Identified from a Formal Planning Perspective

- The primary outstanding issue relates to septic/rotting sewage being hauled to the Geraldton Wastewater Treatment Facility, causing odour complaints and operational concerns.
- The Municipality stated that a satisfactory sewage solution is required for project consideration to proceed.

#### **Recommendation**

THAT Council receive Report 176-26 as information.



Subject Property





## Municipality of Greenstone

Zoning By-law Amendment Application – Temporary Use By-law Extension – Greenstone Mine Work Camp

File No. 2026-02

Planning Report, June 18, 2026

### 1 Introduction

A Zoning By-law Amendment Application was filed on February 27, 2026 by Greenstone Gold Mines (“the Applicant”) for an extension to Temporary Use By-law 23-35 pertaining to the lands located at 107 Old Arena Road (“the Site”) in the Municipality of Greenstone (“the Municipality”), which are currently occupied by an existing work camp. The Site is legally described as 62413-0326: MINING CLAIM TB 10556 ERRI EXCEPT SRO IN LPA37493; S/T LPA30672. By-law 23-35 was previously approved by Council on April 24, 2023, for a duration of three (3) years, and expired on April 23, 2026. The Application is seeking a three-year extension of By-law 23-35 to allow for the:

- Continuation of the existing work camp use;
- Reconfiguration of the existing 613 dormitory bed units on the Site; and
- Construction of an additional four (4) dormitory wings to accommodate an additional 120 bed units, for a total of 733 dormitory bed units (“the proposed development”).

Following submission of the Application, the following key milestones occurred:

- The Applicant submitted additional information by email on March 26, 2026.
- The Application was deemed complete on March 27, 2026; however, it was placed on hold pending completion of a water modelling update by the Municipality of Greenstone’s consultant EXP Services Inc. The update was documented in the Water Distribution System Modelling Report, completed on April 20, 2026. This Report was circulated to the Applicant with a request to update the submitted Sanitary and Water Site Servicing Summary (prepared by Stantec, February 27, 2026) accordingly.
- A Technical Review Memo was submitted to the Proponent on May 29, 2026, with comments to be addressed from the Municipality and WSP, the Municipality’s Planning, Transportation, and Engineering Services Consultant.
- The Applicant made a resubmission on June 11, 2026, which included a revised Site Plan, prepared by Stantec, dated June 11, 2026, and responses to technical review comments.
- The Applicant provided a revised Site Plan on June 17, 2026 and additional clarification related to matters of zoning compliance on June 18, 2026.

The purpose of this Report is to evaluate the Application for consistency with the Provincial Planning Statement, 2024 (“PPS”), conformity with the Growth Plan for Northern Ontario (2011), conformity with the Municipality of Greenstone Official Plan (Approved by the Ministry of Municipal Affairs and Housing [MMAH] with Modifications on November 15,

Suite 300  
2611 Queensview Drive  
Ottawa, ON, Canada K2B 8K2

T: +1 613 829-2800  
F: +1 613 829-8299  
wsp.com



2022) (“OP”), and compliance with the Municipality of Greenstone Zoning By-law 23-77 (Adopted by Council November 27, 2023).

If approved, the extension of the temporary use will be implemented through a By-law of Council, while the proposed development will be implemented through a Development Agreement.

## 2 Description of the Site and Existing Development

The Site, as outlined in yellow on **Figure 1**, is located on the south side of Old Arena Road in Geraldton, with a frontage of approximately 366 m. It is irregular in shape and has an area of approximately 7 hectares (Site Plan, dated June 11, 2026, received June 17, 2026 – see **Appendix A**). The Site is currently occupied by a temporary work camp, consisting of a central building with a kitchen, cafeteria, gym, and recreation area, parking areas, and 16 dormitory wings that accommodate 613 bed units.

Figure 1: Site Location and Existing Work Camp



## 3 Description of the Proposed Development

The purpose of the Application is to allow for a three-year extension of Temporary Use By-law 23-35 (now expired), for the period of April 24, 2026, to April 23, 2029, inclusive. The Application would permit the continuation of the existing temporary work camp use on the Site, which is currently zoned Mining (MIN) Temporary Use Zone, with site-specific zone regulations. In addition, the Application would allow for the reconfiguration of the existing 613 dormitory bed units on the Site, and the construction of an additional four (4) dormitory wings to accommodate an additional 120 bed units, for a total of 733 dormitory bed units (“the proposed development”).

The Applicant is not seeking any amendments to the “Construction Work Camp” definition or the site-specific zone regulations established through Provision 5 of Temporary Use By-law 23-35.



The Site has three (3) existing access points from Old Arena Road, all of which are proposed to be maintained. As shown on the Site Plan, one access is for delivery vehicle entry, one for light vehicle entry, and one for an exist-only access for light vehicles. No new access points are proposed. Snow storage is proposed to be located along the Site perimeter. The existing main building housing the kitchen, cafeteria, gym, and recreational area is proposed to be maintained. Proposed parking areas are to be located in the centre of the Site, north of the existing main building and on the eastern side of the Site, including a large truck parking area (i.e., for sewage hauling trucks). A loading area is proposed at the rear of the Site, south of the existing main building.

The proposed development would continue to be serviced by on-site sewage disposal (septic systems) comprising of sanitary holding tanks. The tanks are located east of the existing waste shelter on the eastern side of the Site, as shown on the Site Plan (see **Appendix A**). Sewage stored in these tanks will continue to be hauled off-site to the Geraldton Wastewater Treatment Facility by a specialty waste disposal provider, Environmental 360 Solutions. The maximum frequency of sewage hauling is proposed to increase from 9.5 trucks per day to 10.5 trucks per day, due to the proposed increased number of bed units. Based on the Applicant's response, this reflects an increase of approximately one additional sewage hauling truck per day compared to current average operations. Stantec has provided the following information on the sewage hauling increase in their response to the technical review comments received June 11, 2026:

“Based on the memorandum titled “Temporary Construction Camp Sewage Collection System Description” (dated August 15, 2019, prepared by Greenstone Gold Mines), it was originally forecasted that a maximum of 9.5 trucks per day would be required to dispose of sewage off-site. However, Greenstone Gold Mines [“GGM”] has advised that, as of now, they are averaging 3 loads of sewage off-site per day. Therefore, with an increase in beds corresponding to a 20% increase in occupancy, a proportional increase would forecast, on average, 4 trips per day (1 additional load) would be required to dispose of sewage offsite with additional occupancy. Even with an increase of 1 load per day, GGM is expected to average less trips than the originally forecasted trips in the above-referenced memorandum.”

Water services to the Site would continue to be provided through a 100mm diameter heat traced water service that connects to an existing hydrant located at the intersection of Old Arena Road and Michael Power Boulevard, approximately 250 m northeast of the Site. This service supplies water to surge tanks which would continue to be located on the eastern side of the Site. A water modelling update was completed by the Municipality of Greenstone's consultant EXP Services Inc. and documented in the Water Distribution System Modelling Report completed on April 20, 2026. The Report concluded that the existing system can provide the required fire flow (64 L/s) for the proposed development, while maintaining system pressure.

To accommodate the additional dormitory wings, the southwestern stormwater ditch alignment is proposed to be shifted to the southwest by approximately 38 m, and the detention volume of the realigned ditch would increase by 125 m<sup>3</sup> by widening the ditch bottom.

#### 4 Site Visit

A site visit was not conducted due to the remote nature of the Planning Consulting Services contract with the Municipality of Greenstone. The Application was reviewed based on existing and available mapping, including Google Earth and the Municipality of Greenstone GIS Application, and through discussions with Haley Garvie, the Municipality's Director of Development, Communication, and Economic Development.



## 5 Consistency and Conformity with Legislated Policy

### 5.1 Planning Act, R.S.O. 1990, c. P.13

Section 39 of the Planning Act establishes temporary use provisions and permits the Council of a municipality, in a by-law passed under Section 34, to authorize the temporary use of land, buildings or structure for any purpose set out therein that is otherwise prohibited by the Zoning By-law. Such temporary permissions shall not exceed three (3) years from the day of the passing of the by-law.

Further, the Council may by by-law grant further periods of not more than three (3) years each during which the temporary use is authorized. Therefore, the Application to permit the existing temporary work camp for an additional three-year period from April 24, 2026, to April 23, 2029, inclusive is permitted under the Planning Act.

The Municipality of Greenstone has advised the Applicant that no further applications to extend the temporary use will be considered, and that an Application for a Zoning By-law Amendment to request the use to be permitted permanently to support the existing mining operation would be required.

### 5.2 Provincial Planning Statement, 2024

The proposed development is consistent with policies of the Provincial Planning Statement, 2024 ("PPS"), including the following:

- Policy 2.2.1(b)(1) provides that planning authorities shall provide for an appropriate range and mix of housing options and densities to meet projected needs of current and future residents of the regional market area by permitting and facilitating all housing options required to meet the social, health, economic and well-being requirements of current and future residents, including additional needs housing and needs arising from demographic changes and employment opportunities [...].
  - The existing temporary work camp and proposed development provides on-site housing options to support employment and economic development opportunities at Greenstone Gold Mine, a key industrial operation in the Municipality of Greenstone and region.
- Policy 2.5.1(e) states that healthy, integrated and viable rural areas should be supported by promoting diversification of the economic base and employment opportunities through goods and services, including value-added products and the sustainable management or use of resources.
  - The existing temporary work camp and proposed development supports the continued operation of the Greenstone Gold Mine, a key resource-based employment use in the Municipality and the region.
- Policy 2.6.1 provides permitted uses on rural lands in municipalities, including: a) the management or use of resources; and c) residential development, including lot creation, where site conditions are suitable for the provision of appropriate sewage and water services.
  - The proposed development is proposed to continue to be serviced by on-site sewage services and municipal water services.
- In our opinion, the Site constitute rural land within a rural area, as defined by the PPS. Accordingly, the proposed development is evaluated against the rural lands policies of the PPS.



- Policy 2.6.4 directs planning authorities to support a diversified rural economy by protecting resource-related uses.
  - The existing temporary work camp and proposed development supports the continued operation of Greenstone Gold Mine, a resource-related use, by providing employee accommodation in proximity to the mining operation.
- Policy 3.5.1 requires that major facilities and sensitive land uses shall be planned and developed to avoid, or if avoidance is not possible, minimize and mitigate any potential adverse effects from odour, noise and other contaminants, minimize risk to public health and safety, and to ensure the long-term operational and economic viability of major facilities in accordance with provincial guidelines, standards and procedures. Where avoidance is not possible in accordance with Policy 3.5.1, planning authorities shall protect the long-term viability of existing or planned industrial, manufacturing or other major facilities that are vulnerable to encroachment by ensuring that the planning and development of proposed adjacent sensitive land uses is only permitted if potential adverse effects to the proposed sensitive land use are minimized and mitigated, and potential impacts to industrial, manufacturing or other major facilities are minimized and mitigated in accordance with provincial guidelines, standards and procedures.
- “Major facilities” are defined in the PPS as “facilities which may require separation from sensitive land uses, including but not limited to airports, manufacturing uses, transportation infrastructure and corridors, rail facilities, marine facilities, sewage treatment facilities, waste management systems, oil and gas pipelines, industries, energy generation facilities and transmission systems, and resource extraction activities.”
- “Sensitive land uses” means “buildings, amenity areas, or outdoor spaces where routine or normal activities occurring at reasonably expected times would experience one or more adverse effects from contaminant discharges generated by a nearby major facility. Sensitive land uses may be a part of the natural or built environment. Examples may include, but are not limited to: residences, day care centres, and educational and health facilities.”
  - The proposed development of additional dormitory wings to accommodate additional bed units represents a sensitive land use within proximity to the Greenstone Gold Mine, a major facility. The proposed development supports the viability and continued operation of Greenstone Gold Mine, by providing on-site residential accommodation for employees who must travel to the Mine from outside the region.
  - Regarding land use compatibility between the proposed development and the Greenstone Gold Mine, the existing temporary work camp and proposed development is located more than 1 km from the Mine site, which exceeds the minimum separation distance recommended by the Provincial D-Series Guidelines. As such, there are no anticipated adverse effects between the sensitive land use and the major facility.

**The proposed development is consistent with the policies of the PPS.**



### 5.3 Growth Plan for Northern Ontario, 2011

The proposed development conforms with policies of the Growth Plan for Northern Ontario, 2011, including the following:

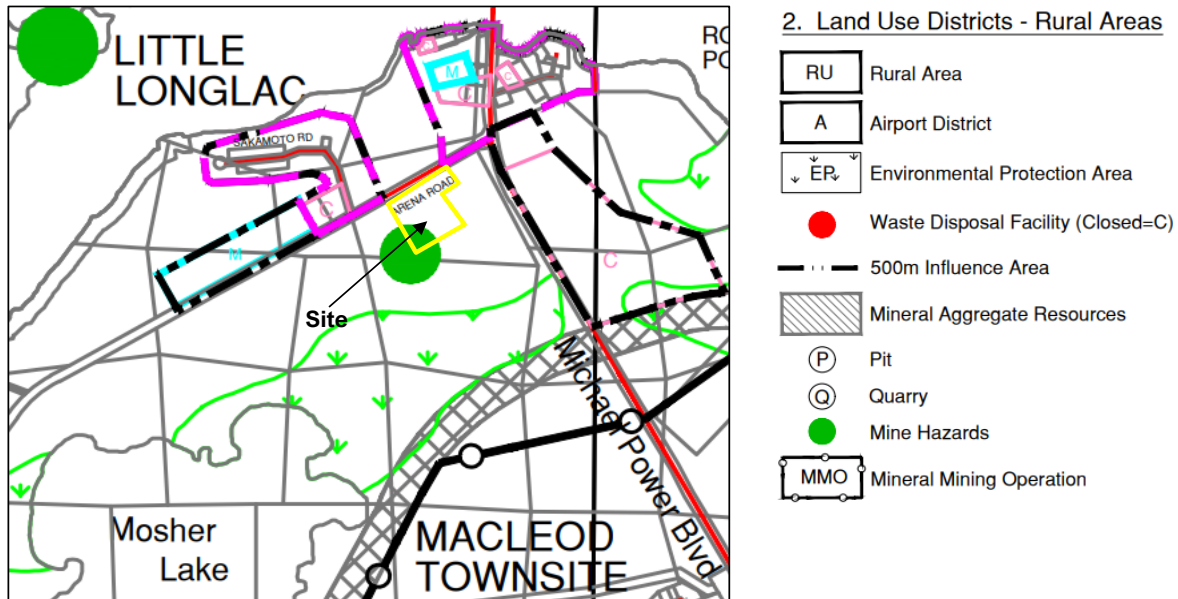
- The proposed development supports the minerals sector and mining supply and services industry, which are identified as a priority economic sector in Section 2.2 – An economic action plan for Northern Ontario and 2.3.8- Minerals Sector and Mining Supply and Services of the Growth Plan.
- The proposed development and the provision of on-site housing for employees supports labour market participation for Northern Ontario residents, and supports the attraction and retention of skilled workers, as identified in Section 2.5.1 of the Growth Plan.

**The proposed development conforms with the Growth Plan for Northern Ontario.**

### 5.4 Municipality of Greenstone Official Plan (MMAH Approved with Modifications on November 15, 2022)

The Site is designated “Rural Area” on Schedule B – Land Use Plan of the Official Plan, as illustrated in **Figure 2**.

Figure 2: Approximate Site location within the Rural Area designation (Excerpt of Schedule B - Land Use Plan, Municipality of Greenstone Official Plan (MMAH Approved November 15, 2022))



Section 3.10 Rural Area of the Official Plan provides that:

“The Rural Area will be conserved principally for the management or use of natural and renewable resources, principally **minerals**, mineral aggregate resources, forestry and the protection of natural heritage and water features. **Residential development** including lot creation **that is locally appropriate**, resource-based recreational uses (including recreational dwellings), and infrastructure and public service facilities appropriate to the rural setting (e.g.,



waste management facilities, communication facilities, energy facilities) and rural commercial, industrial and other rural uses may also be permitted [...].”

Further, Section 3.10 states that the Rural Area will be developed according to seven (7) principles. Principles relevant to this Application include:

- “1. Cost-effective and sustainable development.
2. Land use compatibility. [...].”

Section 4.11(1) Rural Area states that “The Rural Area will be conserved for land uses including: a. The management or use of natural and renewable resources, including agriculture, **mining**, mineral aggregate resources, forestry, water resources and peat extraction; b. **resource-related** commercial and **industrial uses** [...]; d. **rural residential uses** [...]”.

**The proposed development conforms with the intent of the Rural Area designation and permitted uses, as it provides residential development for employees of Greenstone Gold Mine. The proposed development conforms with the relevant principles of development in the Rural Area:**

- **In conformity with principle #1 for the Rural Area, it provides for cost-effective development, which takes advantage of the existing road network, and on-site sewage services and municipal water services. The proposed development does not anticipate an extension of public infrastructure;**
- **In conformity with principle #2, land use compatibility is achieved as the existing temporary work camp and proposed development are located more than 1 km to the north of the existing Greenstone Gold Mine, with no anticipated adverse effects on the residential use.**

Section 10.7(3) New Mineral Mining Operations states that mineral mining operations may include accessory uses, buildings and structures essential to the operation, including a mining dormitory equipped with lodging, eating and recreational facilities.

**The existing temporary work camp, and proposed development are permitted accessory uses.**

Section 4.10 Community Design Principles contains policies respecting land use compatibility. Although the Application is for a temporary construction work camp and associated dormitory accommodation, the proposed use is considered a sensitive land use for compatibility purposes because it includes residential accommodation. Accordingly, compatibility policies are relevant to determining whether the temporary work camp can continue to be appropriately located in proximity to the existing Greenstone Gold Mine. Section 4.10(5) requires that “Industrial uses with significant nuisance impacts should be directed away from sensitive land uses. Reference should be made to Ministry of the Environment, Conservation and Parks Guideline D-1: Land Use Compatibility, Guideline D-6: Compatibility between Industrial Facilities and Sensitive Land Uses, and Public NPC 300: Environmental Noise Guidelines, Stationery [sic] and Transportation Sources – Approval and Planning.” Further, Section 10.8 Incompatible Uses requires that sensitive land uses be directed away from mineral mining operations and/or by preventing or mitigating adverse effects.

**The existing temporary work camp and proposed development represents a sensitive land use, which is sensitive to noise and odour emissions. The compatibility analysis is relevant because the Site is located in proximity to the existing Greenstone Gold Mine, a major facility / mineral mining operation. A mineral mining operation would be**



considered Class III industrial uses, defined in the Province’s Guideline D-6 as “A place of business for large scale manufacturing or processing, characterized by: large physical size, outside storage of raw and finished products, large production volumes and continuous movement of products and employees during daily shift operations. It has frequent outputs of major annoyance and there is high probability of fugitive emissions.” The Guideline, referenced in Section 4.10(5) of the Official Plan, recommends a minimum separation distance of 300 m between sensitive land uses and Class III industrial uses, typically measured from the closest existing, committed or proposed property/lot line of the industrial land use to the property/lot line of the closest existing, committed or proposed sensitive land use.

The existing temporary work camp and proposed development is located over 1 km from the Greenstone Gold Mine, as illustrated in Figure 3. As such, the minimum distance separation is met.

Figure 3: Separation distance between Greenstone Gold Mine and the existing temporary work camp (Google Maps, 2026)



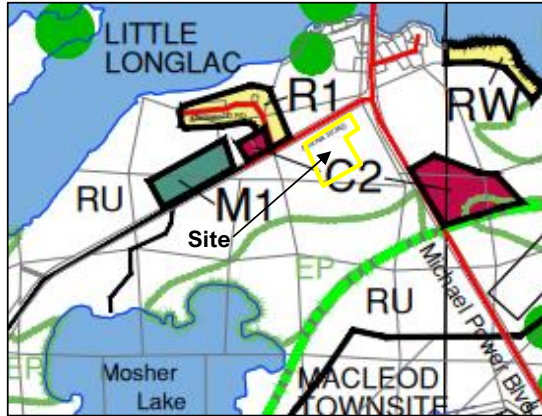
Section 12.15 Site Plan Control (Section 41, Planning Act) contains policies that designate the entire Municipality of Greenstone as a Site Plan Control area and requires Site Plan Control for all land uses or conversions, including industrial uses (12.15.1), residential intensification projects (12.15.2), and resource uses (12.15.4).

**As the Municipality of Greenstone does not currently have a Site Plan Control By-law in effect, a Development Agreement would be required for the proposed development.**

## **5.5 Municipality of Greenstone Zoning By-law 23-77 (Adopted by Council November 27, 2023)**

The Site is zoned Rural (RU) on Schedule B of the Zoning By-law 23-77, as illustrated in **Figure 4**; however, under By-law 23-35, the Site was temporarily zoned Mining (MIN) Temporary Use Zone.

Figure 4: Site location within the Rural (RU) Zone (Excerpt of Schedule B, Zoning By-law 23-77 (Adopted by Council November 27, 2023))



By-law 23-35 established “Construction Work Camp” as a temporary permitted use on the Site, with the following definition:

“Means an area of land including buildings and structures specifically designed as living quarters for person employed in a utility or resource-related construction project (i.e., pipeline, power transmission line, mining camp), and ancillary services, and may include dormitories, lodging or sleeping facilities, sanitary and eating facilities, administrative offices and accessory uses directly related to meeting the needs of occupants, including but not limited to a laundry facility, recreational facilities, storage facilities, on-site parking, and an on-site self-contained fuel storage facility.”

Further, By-law 23-35 established site-specific zoning regulations for the Site. The Applicant is not seeking any amendments to the “Construction Work Camp” definition or the site-specific zone regulations established through By-law 23-35. **Table 1** provides a review of the site-specific Mining (MIN) Temporary Use Zone and assesses the compliance of the proposed development with the regulations, as illustrated on the Applicant’s Site Plan (see **Appendix A**).

Table 1: Compliance with Mining (MIN) Temporary Use Zone Regulations (Temporary Use By-law 23-35)

Zone Provision	Mining (MIN) Temporary Use Zone Regulations, By-law 23-35	Compliance
	Construction Work Camp	
Minimum Lot Frontage	18 m	366.34 m
Minimum Lot Area	930 m <sup>2</sup>	Yes – 69,889 m <sup>2</sup>
Minimum Front Yard	10 m	Yes – 36.85 m
Minimum Rear Yard	10 m	Yes – 27.67 m
Minimum Side Yard	6 m	Yes – 19.96 m (east); 27.45 m (west)



Zone Provision	Mining (MIN) Temporary Use Zone Regulations, By-law 23-35	Compliance
	Construction Work Camp	
Maximum Lot Coverage	35%	Yes – 22.1%
Maximum Height	12 m	Yes – 3.7 m (main building); 4.3 m (garage)
Maximum Number of Main Uses	1	Yes – 1
Minimum number of parking spaces	1/three accommodation units  733 bed units: 245 spaces required	Yes – 292 spaces
Minimum parking space dimensions	2.8 m width by 6 m length	Yes – 3.2 m x 7.0 m
Minimum access aisle width	6.7 m	Yes - 8.5 m; 11.78 m

Section 4.16 Loading / Delivery Space Regulations requires that loading / delivery spaces be provided for every building or structure erected for an industrial use involving the receiving, shipping or unloading of merchandise or other goods.

**Table 2** demonstrates compliance of the proposed development with the regulations.

Table 2: Compliance with Section 4.16 Loading / Delivery Space Regulations of Zoning By-law 23-77

Zone Provision	Section 4.16 Loading / Delivery Space Regulations	Compliance
Minimum loading / delivery space height clearance	4.25 m	Yes – Proposed spaces are outdoors and not enclosed
Minimum loading / delivery space width	3.75 m	Yes – 3.75 m
Minimum loading / delivery space length	10 m	Yes – 10 m
Minimum aisle or driveway width leading to a loading / delivery space	6 m	Yes - > 6 m
Minimum no. of loading / delivery spaces	1 for net floor area of 200 m <sup>2</sup> -1,000 m <sup>2</sup> 1 for each additional 1,000 m <sup>2</sup>  Total net floor area (main building plus dormitories, excluding Arctic Corridor): 14,618.4 m <sup>2</sup> (based on <b>Appendix C</b> – Greenstone Camp Footprint)  Loading spaces required: 14.6, rounded up to 15 spaces	Yes – 16 loading spaces provided
All loading spaces shall be located within the property boundaries (lot lines) of the lot on which they are located		Yes



Zone Provision	Section 4.16 Loading / Delivery Space Regulations	Compliance
Minimum setback of any required loading/delivery space from any lot line	3 m	Yes

Section 4.22 Parking, Motor Vehicles and Drive-through Facilities establishes general zoning provisions related to parking requirements. Section 4.22.2 Barrier Free Parking of the Zoning By-law states that one (1) barrier free parking space shall be required for any use requiring 10 standard parking spaces or more. Barrier free parking spaces shall be provided at a ratio of (one) 1 barrier free parking space for each 25 standard parking spaces and shall be included as part of the total number of standard parking spaces required. As the proposed development is providing 292 standard parking spaces, 12 barrier-free spaces are required. **Twelve 12 barrier-free parking spaces are provided.**

Section 4.18.3(3) Industrial Uses of the Zoning By-law requires that the minimum separation distance from a sensitive land use and a Class III Industrial use shall be 300 m. The minimum separation distance shall be measured as the shortest horizontal distance between the lot line of the sensitive land use to the lot line of a Class III Industrial Use or a mine. Section 4.18.3(4) provides that where an industrial use or sensitive land use is an existing use and an expansion or extension is proposed, the minimum separation distance for a Class I, II, or III industry shall be measured from the nearest main wall of the building or structure occupied by the sensitive land use and the nearest main wall of the building, structure, processing area, assembly or manufacturing area occupied by the industrial use. **The existing temporary work camp and proposed development are located over 1 km from the Greenstone Gold Mine, as illustrated in Figure 3. As such, the minimum distance separation is met.**

**The proposed development generally complies with the zone regulations established for the Mining (MIN) Temporary Use Zone, and the applicable general provisions of the Zoning By-law.**

## 6 Results of Interdepartmental and Agency Circulation

The Application was circulated to internal departments, external agencies, and Indigenous communities for review and comment. **Table 3** summarizes the comments received through interdepartmental and agency circulation.

Table 3: Summary of Interdepartmental Agency Comments

Department / Agency	Comments Provided
WSP, Planning, on behalf of Municipality of Greenstone	<ul style="list-style-type: none"> <li>• Requested that the Applicant clarify the following on the Site Plan: lot area; lot frontage; lot coverage; building height; required number of barrier-free parking spaces and loading spaces; and snow storage locations.</li> </ul>
WSP, Transportation Planning, on behalf of the Municipality of Greenstone	<ul style="list-style-type: none"> <li>• Requested the following additional information be provided in an updated Traffic Memo:               <ul style="list-style-type: none"> <li>○ Specification of shift days and shift times;</li> <li>○ Proposed number and type of parking spaces;</li> <li>○ Confirmation that barrier-free parking space requirements are met;</li> </ul> </li> </ul>



Department / Agency	Comments Provided
	<ul style="list-style-type: none"> <li>○ Identification of the existing number and type of vehicle site accesses;</li> <li>○ Traffic count data source and traffic volumes (e.g., at peak hours at site accesses);</li> <li>○ Clarification of the breakdown of staff trips;</li> <li>○ A heavy vehicle schedule and frequency;</li> <li>○ Clarification regarding sewage hauling frequency increases due to the proposed increase in bed units, and whether trucks will be stationed on site, and a map of the sewage trucking route;</li> <li>○ Specification of on-site emergency access and circulation within the Site; and</li> <li>○ Details regarding any impacts related to construction on Old Arena Road (i.e., paving) on construction activities at the Site.</li> </ul>
<p>WSP, Municipal Engineering, on behalf of the Municipality of Greenstone</p>	<p><b>Stormwater:</b></p> <ul style="list-style-type: none"> <li>• Stormwater quality controls should be in accordance with MECP Stormwater Management Planning and Design Manual, Level 1 (80% TSS Removal) at minimum.</li> </ul> <p><b>Wastewater:</b></p> <ul style="list-style-type: none"> <li>• Requested the following additional information be provided in an updated Sanitary and Water Site Servicing Summary Memo:               <ul style="list-style-type: none"> <li>○ Details on food service components at the work camp, including grease management, be addressed, including confirmation of grease receptor provision, sizing, and design needs;</li> <li>○ Information regarding the Environmental Compliance Approval, holding tank capacity, estimated sewage generation, and haul frequency associated with the proposed increase in bed units;</li> <li>○ A solution to address the Municipality’s primary wastewater concern regarding the septic / rotting condition of the hauled sewage and associated odour complaints and operational impacts at the Geraldton Wastewater Treatment Facility, that are causing the facility to receive non-compliance notices from MECP due to excessive TAN effluent limits.</li> </ul> </li> </ul>
<p>Municipality of Greenstone, Director of Public Services</p>	<ul style="list-style-type: none"> <li>• The anticipated additional sewage volume should not be a factor. However, there is an ongoing issue with the sewage haulage with the sewage being frequently septic (rotting) which creates smells when dumping into the McKenzie lift station, and which upsets the biological process at the Wastewater Treatment Facility. The Municipality has received numerous complaints of bad odours from residents, and the MECP has noted the non-compliance of the Facility due to the condition of the Mine sewage being delivered.</li> <li>• The Mine has previously noted that holding tank aeration would be installed to ensure that the sewage does not turn septic, however this has not been completed to date. The</li> </ul>



Department / Agency	Comments Provided
	Proponent is required to make system improvements, as the Municipality's Treatment Facility cannot be running out of compliance.

On June 11, 2026, the Applicant submitted a revised Site Plan (see **Appendix A**) and responses to the technical review comments (see **Appendix B**), in lieu of a revised Traffic Memo and Sanitary and Water Site Servicing Summary Memo. The Municipality and WSP are satisfied with the revised Site Plan and responses to the technical review comments regarding stormwater management and transportation, recognizing that a Stormwater Management Report, and a full Transportation Impact Assessment will be required at the time of submitting a future Zoning By-law Amendment application to permit a permanent work camp.

Regarding the ongoing concern of the hauled sewage to the Municipality's Wastewater Treatment Facility, which is going septic and putting the facility into non-compliance, the Applicant has responded that they will be installing aerators / a blower system on the sewage holding tanks to reduce odours and start the digestion process. The applicant has advised that this system will be installed by the third week of June 2026, and the Ministry of the Environment, Conservation and Parks is aware of this addition; the recommendation for this work came from the Ontario Clean Water Agency (OCWA). **The Municipality requires a sewage solution to be found in order for the proposed development to proceed; if the proposed sewage aeration system does not satisfy the issue, then an alternative solution must be undertaken within 90 days from the time of approval of the proposed Temporary Use By-law.**

At this time of this Report, no comments or concerns were received from:

- Municipality of Greenstone Chief Administrative Officer
- Municipality of Greenstone Director of Public Services
- Municipality of Greenstone Fire Chief
- Municipality of Greenstone Clerk
- Animiigoo Zaagi'igan Anishinaabek Lake, Nipigon Ojibway
- Aroland First Nation
- Bingwi Neyaashi Anishinaabek, Sand Point First Nation
- Ginoogaming First Nation
- Long Lake #58 First Nation, Chief
- Métis Nation of Ontario
- Rocky Bay First Nation
- Ministry of the Environment, Conservation and Parks
- Ministry of Municipal Affairs and Housing
- Ministry of Natural Resources
- Ministry of Transportation
- Bell Canada
- Enbridge Gas
- Hydro One
- Infrastructure Ontario
- Tbay Tel
- Thunder Bay District Health Unit
- TransCanada Pipelines



## 7 Public Comments

Notice of the Application was given in accordance with Section 34 of the Planning Act; the Application was circulated to persons and public bodies as legislated on May 25, 2026, and a property notification sign was posted on May 27, 2026. Notification was mailed to one (1) property owner within 120 m of the Site on May 29, 2026.

A Statutory Public Meeting is scheduled to be held by Council on June 24, 2026. Notice of the Statutory Public Meeting was given in accordance with Section 34(13) of the Planning Act, whereby it was published in the Times Star, and on the Municipal Website on May 27, 2026. As of the date of this Report (June 18, 2026), no inquiries have been received from the public. Together with Municipal staff, Council will have the opportunity to evaluate the proposal in lieu of public comments.

## 8 Recommendations

As a registered professional planner retained by the Municipality of Greenstone to assist with this Application, it is my professional planning opinion that the following amendments, in the form of a new Temporary Use By-law, as proposed in the Zoning By-law Amendment Application, File No. 2026-02, be approved, in lieu of public comments that may yet to be received.

### **Proposed Zoning By-law Amendments – New Temporary Use By-law:**

1. That Schedule A” of By-law No. 23-77 is amended by permitting a construction work camp as a temporary use in the Mining (MIN) Temporary Use Zone on certain lands shown on Schedule “A” attached hereto, legally described as 62413-0326: MINING CLAIM TB 10556 ERRI EXCEPT SRO IN LPA37493; S/T LPA30672, located with frontage on Ola Arena Road in the Municipality of Greenstone, the civic address being 107 Old Arena Road, Geraldton, Ontario, such property being within the corporate boundaries of the Municipality of Greenstone, District of Thunder Bay.
2. That the zone boundaries of the Mining (MIN) Temporary Use Zone are shown on Schedule “A” to this by-law, which zone boundaries and map are hereby declared to form part of this by-law.
3. That the permitted uses in the Mining (MIN) Temporary Use Zone shall include a Construction Work Camp, which shall be defined as:

“Means an area of land including buildings and structures specifically designed as living quarters for person employed in a utility or resource-related construction project (i.e., pipeline, power transmission line, mining camp), and ancillary services, and may include dormitories, lodging or sleeping facilities, sanitary and eating facilities, administrative offices and accessory uses directly related to meeting the needs of occupants, including but not limited to a laundry facility, recreational facilities, storage facilities, on-site parking, and an on-site self-contained fuel storage facility.”

4. The following zone regulations shall apply to the Mining (MIN) Temporary Use Zone and construction work camp:

Minimum Frontage:	18 m
Minimum Lot Area:	930 m <sup>2</sup>
Minimum Front Yard:	10 m
Minimum Rear Yard:	10 m
Minimum Side Yard:	6 m



Maximum Lot Coverage:	35%
Maximum Height:	12 m
Maximum number of main uses:	1
Minimum number of parking spaces:	1 per three accommodation units
Minimum parking space dimensions:	2.8 m width by 6 m length
Minimum access aisle width:	6.7 m

Permitted uses shall include accessory uses, buildings, and structures.

5. That the period of the Mining (MIN) Temporary Use by-law shall be from April 24, 2026, to April 23, 2029, inclusive.

Provided that the Zoning By-law Amendment Application for the temporary use is approved, the Applicant shall enter into a Development Agreement under Section 51 (26) of the Planning Act; the said Agreement to provide for the following matters, and others that may arise prior to issuance of a Building Permit and Occupancy Permit:

- a. That the installation of aerators and a blower system on the sewage holding tanks be completed by Greenstone Gold Mines; and
- b. Should the installation of aerators and a blower system be found to be insufficient to address the sewage issue, that an alternative solution must be undertaken by Greenstone Gold Mines within 90 days from the time of approval of the proposed Temporary Use By-law.
- c. The Municipality of Greenstone will not consider any further applications to extend the temporary use. An Application for a Zoning By-law Amendment to request the work camp use to be permitted permanently would be required.
- d. That Greenstone Gold Mines acknowledge that any future Zoning By-law Amendment application to permit the work camp as a permanent use shall be supported by a Stormwater Management Report and a full Transportation Impact Assessment, each prepared to the satisfaction of the Municipality.

Respectfully submitted,

A handwritten signature in black ink, appearing to read 'ASott'.

Anita Sott, MCIP, RPP  
Consulting Planner, WSP



**Appendix A – Site Plan (prepared by Stantec, revised June 11, 2026, received June 17, 2026)**

# MINING CLAIM TB10556



Stantec Consulting Ltd.  
1283 Innovation Drive  
Thunder Bay ON P7B 0A2  
Tel: (807) 625-5640  
www.stantec.com

Copyright Reserved

The Contractor shall verify and be responsible for all dimensions. DO NOT scale the drawing - any errors or omissions shall be reported to Stantec without delay. The Copyrights to all designs and drawings are the property of Stantec. Reproduction or use for any purpose other than that authorized by Stantec is forbidden.

Key Map (NTS.)



## Details of Development

Site Details	Required	Provided
Existing Zoning	MN - Mining Use	
Proposed Zoning	MN - Mining Use	
Minimum Lot Area	930m <sup>2</sup>	69,889m <sup>2</sup>
Minimum Lot Frontage	18m	366.34m
Minimum Front Yard Setback	10m	36.85m
Minimum Side Yard Setback	6m	19.96m
Minimum Rear Yard Setback	10m	27.67m
Maximum Building Coverage	35%	15,454.2m <sup>2</sup> GFA / 22.1%
Maximum Building Height	12m	4.3m
Maximum Number of Main Uses	1	1
Minimum Number of Parking Spaces	1 per 3 accommodation units = 292	292
Accessible Parking Spaces	1 per 25 parking spaces = 12	12
Minimum Parking Space Dimensions	2.8m x 6m	3.2m x 7.0m
Minimum Access Aisle Width	6.7m	> 8.7m
Loading Spaces	1 per 1,000m <sup>2</sup> of GFA = 16	16

## Unit Calculation

Dormitories Type:  
A - 30 Rooms = 390  
B - 49 Rooms = 343  
Total Rooms = 733

Revision	By	Appd	YYYYMMDD
1	RT	TR	2026.06.11

Permit-Seal

Client/Project  
EQUINOX GOLD CORP.

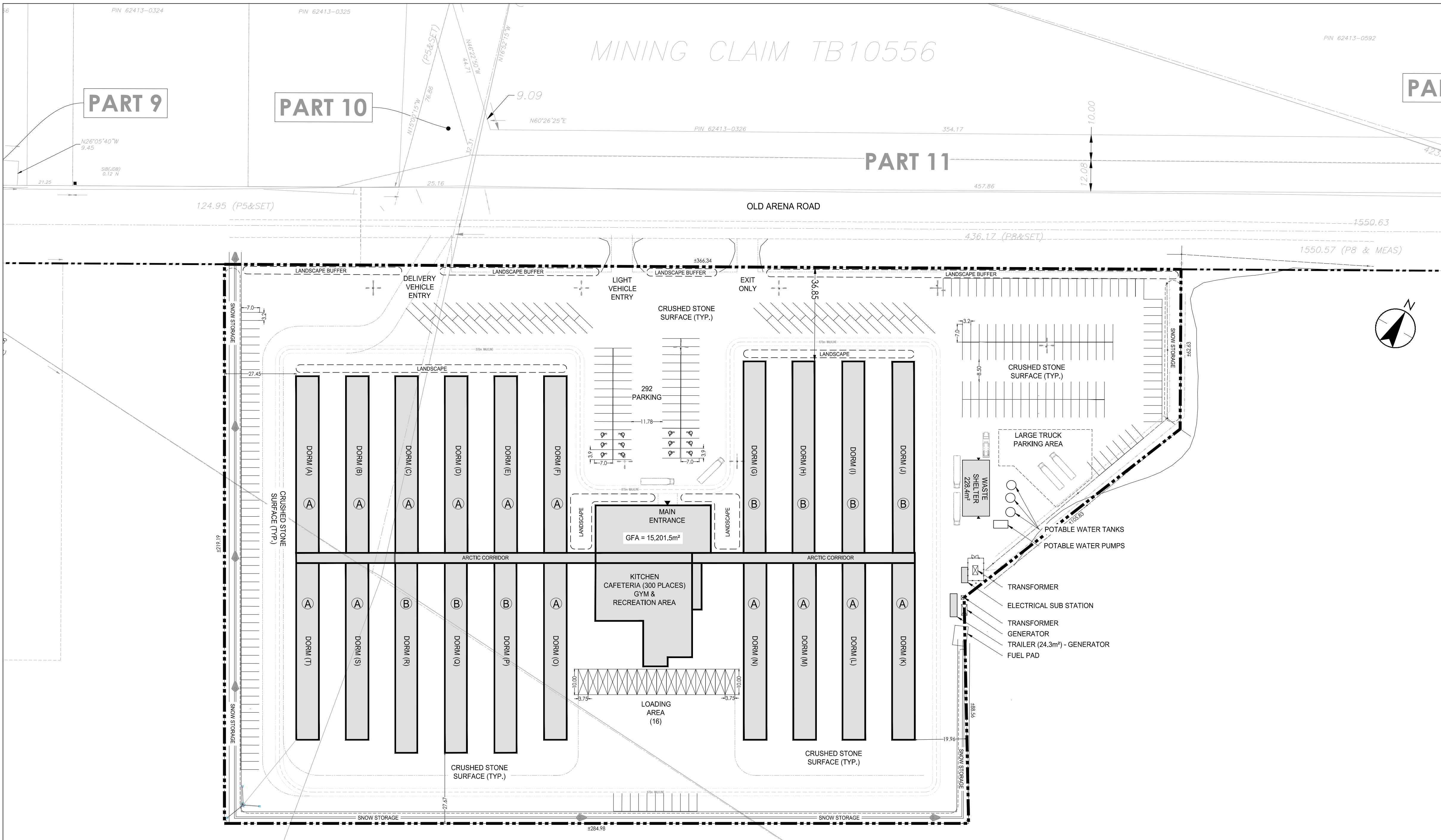
GREENSTONE MINE  
GA-BE-SHE-WIN LODGE  
GERALDTON, ON CANADA

Title  
SITE PLAN

Project No. 160901207 Scale 1:750 0 7.5 22.5 37.5m

Revision Sheet 1 of 1

Drawing No. 1



ORIGINAL SHEET - ARCHD



**Appendix B – Applicant Technical Review Comments Response Table  
(June 11, 2026)**



June 11, 2026

**RE: Review of Zoning By-law Amendment Application – Temporary Use By-law Extension – Application Review  
Comment Memo, File No. 2026-02**

Comments provided by: Anita Sott, MCIP, RPP, Project Manager, WSP  
 Niki Tsiolas, P.Eng., Consulting Transportation Engineer, WSP  
 Chris Wilson, P.Eng., Consulting Municipal Engineer, WSP  
 Imad Aouli, PMP, Consulting Municipal Engineer, WSP  
 Brian Aaltonen, Director of Public Services, Municipality of Greenstone

Source: Greenstone Gold Mine Work Camp, 107 Old Arena Road, Geraldton, ON, Municipality of Greenstone, Zoning By-law Amendment Application – Temporary Use By-law Extension – Application Review Comment Memo, File No. 2026-02

Comment #	Document Section Reference	Comment/Concern, Recommendation and GGM Response
<b>Planning – WSP Contact Info.: Anita Sott, MCIP, RPP, Consulting Planner for the Municipality of Greenstone</b>		
WPS_01	Comments on the Planning Rationale, dated February 27, 2026, and the Site Plan, dated February 20, 2026, prepared by Stantec Consulting Ltd.	<p><b>Comment/Concern:</b> Please clarify the lot area for the work camp. It appears that setbacks, lot area, lot frontage, and lot coverage are being measured to the larger 7 ha parcel referred to in the Planning Rationale.</p> <p><b>Response:</b> Refer to updated site plan, Attachment A.</p>

Comment #	Document Section Reference	Comment/Concern, Recommendation and GGM Response
WPS_02	Comments on the Planning Rationale, dated February 27, 2026, and the Site Plan, dated February 20, 2026, prepared by Stantec Consulting Ltd.	<p><b>Comment/Concern:</b> Indicate the actual lot coverage provided, as the Site Plan only states &lt;35% maximum building coverage.</p> <p><b>Response:</b> Lot coverage is 22% refer to updated site plan, Attachment A.</p>
WPS_03	Comments on the Planning Rationale, dated February 27, 2026, and the Site Plan, dated February 20, 2026, prepared by Stantec Consulting Ltd.	<p><b>Comment/Concern:</b> Indicate actual building height provided, as the Site Plan only states &lt;12 m.</p> <p><b>Response:</b> Please see updated site plan/zoning matrix provided in Attachment A. The main building is 12 ft (3.7 m) and garage is 14 ft (4.3m).</p>
WPS_04	Comments on the Planning Rationale, dated February 27, 2026, and the Site Plan, dated February 20, 2026, prepared by Stantec Consulting Ltd.	<p><b>Comment/Concern:</b> The required number of loading spaces should be confirmed and dimensioned on the Site Plan, in accordance with Section 4.16 Loading/Delivery Space Regulations of the Municipality of Greenstone Zoning By-law 23-77.</p> <p><b>Response:</b> Please see updated site plan provided in Attachment A.</p>

Comment #	Document Section Reference	Comment/Concern, Recommendation and GGM Response
WPS_05	Comments on the Planning Rationale, dated February 27, 2026, and the Site Plan, dated February 20, 2026, prepared by Stantec Consulting Ltd.	<p><b>Comment/Concern:</b> Any required accessible parking spaces should be confirmed and identified / dimensioned on the Site Plan, in accordance with Section 4.22.2 Barrier Free Parking, and dimensions specified in Section 4.22.1 (3) of the Municipality of Greenstone Zoning By-law 23-77.</p> <p><b>Response:</b> Please see updated site plan provided in Attachment A.</p>
<b>Transportation Planning – WSP Contact Info: Niki Tsiolas, P.Eng., Consulting Transportation Engineer for the Municipality of Greenstone</b>		
WPS_06	Comments on Traffic Memorandum, dated February 27, 2026, prepared by Stantec Consulting Ltd.  1.1 Introduction	<p><b>Comment/Concern:</b> Specify the shift days (e.g., Monday to Friday) and shift times.</p> <p><b>Response:</b> Mine shifts are 12 hours, with shift change occurring at 6:00 AM and 6:00 PM daily.</p>
WPS_07	Comments on Traffic Memorandum, dated February 27, 2026, prepared by Stantec Consulting Ltd.  1.1 Introduction	<p><b>Comment/Concern:</b> Include the proposed number of parking spaces in the site description.</p> <p><b>Response:</b> The Terms of Reference dated December 12, 2025 for the Temporary Use By-law Extension do not include a scope of work for a parking assessment. This scope of work is required for the full Traffic Study associated with the Zoning By-law Amendment / Development Agreement and will be completed at that stage. Site plan accommodates 292 spaces + 12 BF spaces. By-law requires 1 per 3 accommodation unites 245 spaces and 1 BF for every 25 spaces. See Attachment A</p>

Comment #	Document Section Reference	Comment/Concern, Recommendation and GGM Response
WPS_08	<p>Comments on Traffic Memorandum, dated February 27, 2026, prepared by Stantec Consulting Ltd.</p> <p>1.1 Introduction</p>	<p><b>Comment/Concern:</b> Has the number of parking spaces changed between the existing conditions and the proposed development because of the increase in bed units?</p> <p><b>Response:</b> The Terms of Reference dated December 12, 2025 for the Temporary Use By-law Extension do not include a scope of work for a parking assessment. This scope of work is required for the full Traffic Study associated with the Zoning By-law Amendment / Development Agreement and will be completed at that stage. Site plan accommodates 292 spaces + 12 BF spaces. By-law requires 1 per 3 accommodation unites 245 spaces and 1 BF for every 25 spaces. See Attachment A</p>
WPS_09	<p>Comments on Traffic Memorandum, dated February 27, 2026, prepared by Stantec Consulting Ltd.</p> <p>1.1 Introduction</p>	<p><b>Comment/Concern:</b> Update the Memorandum to:</p> <ul style="list-style-type: none"> <li>• Confirm whether the number of proposed parking spaces meets the minimum requirements of Temporary Use By-law 23-35;</li> <li>• Confirm the types of parking spaces proposed (e.g., number of barrier-free spaces, loading spaces, etc.);</li> <li>• Confirm whether the proposed parking spaces meet the barrier-free parking space requirements and loading space requirements in the Zoning By-law; and</li> <li>• Identify the existing number and type of vehicle site accesses.</li> </ul> <p><b>Response:</b> The Terms of Reference dated December 12, 2025 for the Temporary Use By-law Extension do not include a scope of work for a parking assessment. This scope of work is required for the full Traffic Study associated with the Zoning By-law Amendment / Development Agreement and will be completed at that stage. Site plan accommodates 292 spaces + 12 BF spaces. By-law requires 1 per 3 accommodation unites 245 spaces and 1 BF for every 25 spaces. See Attachment A</p>
WPS_10	<p>Comments on Traffic Memorandum, dated February 27, 2026, prepared by Stantec Consulting Ltd.</p> <p>1.2 Traffic Volumes</p>	<p><b>Comment/Concern:</b> Identify the source of the traffic count data and append the raw traffic volumes to the Memorandum.</p> <p><b>Response:</b> Available traffic data is provided in Attachment B to this response to comments.</p>

Comment #	Document Section Reference	Comment/Concern, Recommendation and GGM Response
WPS_11	Comments on Traffic Memorandum, dated February 27, 2026, prepared by Stantec Consulting Ltd.  1.2 Traffic Volumes	<p><b>Comment/Concern:</b> Identify where along Old Arena Road the traffic counts were collected, specify that these are bi-directional volumes, and indicate that the peak hour volumes correspond to weekdays.</p> <p><b>Response:</b> The exact location of the traffic counter is not available. The traffic volumes in the memo are bidirectional, and the peak hour volumes are for weekdays, which have higher daily traffic volumes than weekends.</p>
WPS_12	Comments on Traffic Memorandum, dated February 27, 2026, prepared by Stantec Consulting Ltd.  1.2 Traffic Volumes	<p><b>Comment/Concern:</b> Specify that based on the date of the traffic counts collected, there will be a net increase of 27 bed units (706 to 733) for the purposes of the traffic volume forecast.</p> <p><b>Response:</b> The increase of 27 bed units is noted in Section 1.1 of the Traffic Memorandum dated February 27, 2026.</p>
WPS_13	Comments on Traffic Memorandum, dated February 27, 2026, prepared by Stantec Consulting Ltd.  1.2 Traffic Volumes	<p><b>Comment/Concern:</b> To help clarify the staff trips, provide a table breakdown based on shift times and corresponding number of staff, trips in and out of the site, and transportation mode (i.e., personal vehicle or shuttle).</p> <p><b>Response:</b> This level of detail is not typically included in a Traffic Memorandum and was not understood to be required by the Terms of Reference for the Temporary Use By-law Extension. Some of the data is not currently available and will require further data collection such as more detailed turning movement traffic counts. Additionally, this data does not provide further insight to the conclusions in the Memorandum without completing a traffic operational analysis (which is not required for the Traffic Memorandum). This level of detail more closely matches with the scope of work for the Traffic Study required for the Zoning By-law Amendment / Development Agreement and will be provided at that stage.</p>

Comment #	Document Section Reference	Comment/Concern, Recommendation and GGM Response
WPS_14	<p>Comments on Traffic Memorandum, dated February 27, 2026, prepared by Stantec Consulting Ltd.</p> <p>1.2 Traffic Volumes</p>	<p><b>Comment/Concern:</b> It is understood that there is no flexibility in the sewage trucking frequency or schedule. However, are there specific times when food and equipment deliveries occur? A table showing the overall heavy vehicle schedule and frequency would be helpful.</p> <p><b>Response:</b> This level of detail is not typically included in a Traffic Memorandum and was not understood to be required by the Terms of Reference for the Temporary Use By-law Extension. Some of the data is not currently available and will require further data collection such as more detailed turning movement traffic counts. Additionally, this data does not provide further insight to the conclusions in the Memorandum without completing a traffic operational analysis (which is not required for the Traffic Memorandum). This level of detail more closely matches with the scope of work for the Traffic Study required for the Zoning By-law Amendment / Development Agreement and will be provided at that stage.</p>
WPS_15	<p>Comments on Traffic Memorandum, dated February 27, 2026, prepared by Stantec Consulting Ltd.</p> <p>1.2 Traffic Volumes</p>	<p><b>Comment/Concern:</b> Indicate whether carpooling occurs for shift work as part of the daily personal vehicle volume.</p> <p><b>Response:</b> This level of detail is not typically included in a Traffic Memorandum and was not understood to be required by the Terms of Reference for the Temporary Use By-law Extension. Some of the data is not currently available and will require further data collection such as more detailed turning movement traffic counts. Additionally, this data does not provide further insight to the conclusions in the Memorandum without completing a traffic operational analysis (which is not required for the Traffic Memorandum). This level of detail more closely matches with the scope of work for the Traffic Study required for the Zoning By-law Amendment / Development Agreement and will be provided at that stage.</p>

Comment #	Document Section Reference	Comment/Concern, Recommendation and GGM Response
WPS_16	<p>Comments on Traffic Memorandum, dated February 27, 2026, prepared by Stantec Consulting Ltd.</p> <p>1.2 Traffic Volumes</p>	<p><b>Comment/Concern:</b> Provide traffic volume figures for peak hours at the site accesses.</p> <p><b>Response:</b> This level of detail is not typically included in a Traffic Memorandum and was not understood to be required by the Terms of Reference for the Temporary Use By-law Extension. Some of the data is not currently available and will require further data collection such as more detailed turning movement traffic counts. Additionally, this data does not provide further insight to the conclusions in the Memorandum without completing a traffic operational analysis (which is not required for the Traffic Memorandum). This level of detail more closely matches with the scope of work for the Traffic Study required for the Zoning By-law Amendment / Development Agreement and will be provided at that stage.</p>
WPS_17	<p>Comments on Traffic Memorandum, dated February 27, 2026, prepared by Stantec Consulting Ltd.</p> <p>1.2 Traffic Volumes – Table 1 Mine Camp Traffic Volumes</p>	<p><b>Comment/Concern:</b> Confirm daily volume range to capture the heavy vehicle volumes throughout the week, as it is unclear if there will be overlap in shuttle trips and deliveries (4 times per week), for example.</p> <p><b>Response:</b> The daily volume outlined in the Traffic Memorandum dated February 27, 2026 is the top end of the daily volume range. It included traffic volumes for the heaviest shuttle trip day (Tuesday), the daily sewage hauling trips, and one food delivery (two trips) .</p>
WPS_18	<p>Comments on Traffic Memorandum, dated February 27, 2026, prepared by Stantec Consulting Ltd.</p> <p>1.2 Traffic Volumes – Table 1 Mine Camp Traffic Volumes</p>	<p><b>Comment/Concern:</b> Confirm if the percentage of heavy vehicles is correct. Based on the volumes listed, should this be closer to 12%?</p> <p><b>Response:</b> This calculation is confirmed to be correct, <math>23/223 = 10.3\%</math>.</p>

Comment #	Document Section Reference	Comment/Concern, Recommendation and GGM Response
WPS_19	<p>Comments on Traffic Memorandum, dated February 27, 2026, prepared by Stantec Consulting Ltd.</p> <p>1.2 Traffic Volumes – Table 1 Mine Camp Traffic Volumes</p>	<p><b>Comment/Concern:</b> While the daily personal vehicle volume for the 2026 Bed Addition Scenario has grown proportionally, is it realistic to apply this same rationale to the daily bus and heavy vehicle volume? Consider the required increase in sewage haulage frequency and state assumptions for deliveries and shuttles in terms of whether additional heavy vehicle trips are required to meet the demands of the additional bed units.</p> <p><b>Response:</b> It is expected that the increase in the daily bus and delivery vehicle volume will be similar or less than the increase in personal vehicle volume. Sewage trucking volumes are addressed in comments WPS_21 and WPS_22. However, a more detailed trip generation will be completed to confirm this assumption in the Traffic Study accompanying the Zoning By-law Amendment / Development Agreement application.</p>
WPS_20	<p>Comments on Traffic Memorandum, dated February 27, 2026, prepared by Stantec Consulting Ltd.</p> <p>1.2 Traffic Volumes – Table 1 Mine Camp Traffic Volumes</p>	<p><b>Comment/Concern:</b> Which types of trucks are utilizing the existing site (e.g., heavy single unit truck)? Describe on-site access and circulation for heavy vehicles.</p> <p><b>Response:</b> The vehicle type for non-passenger vehicles, i.e. heavy vehicles include: single trailer heavy trucks for sewage hauling and deliveries to the camp, Mercedes shuttles, coach buses, or school buses for staff shuttles, and a grader for snow removal and minor maintenance operations. On site circulation of heavy vehicles is not proposed to change. Shuttles perform a loop to the front of the mine camp building from Old Arena Road. Deliveries and sewage trucking utilize the western access and loop around the south and east side of the building to unload or load as shown on the site plan that is provided in Attachment A.</p>
WPS_21	<p>Comments on Traffic Memorandum, dated February 27, 2026, prepared by Stantec Consulting Ltd.</p> <p>1.3 Sewage Trucking</p>	<p><b>Comment/Concern:</b> Clarify whether sewage haulage frequency will increase because of the increase in the number of beds for the temporary mine work camp.</p> <p><b>Response:</b> Frequency of sewage hauling will increase to 10.5 trucks a day with the increase in number of beds at the mine camp. Based on the memorandum titled “Temporary Construction Camp Sewage Collection System Description” dated August 15, 2019, prepared by Greenstone Gold Mines, it was originally forecasted that a maximum of 9.5 trucks per day would be required to dispose of sewage offsite. However, GGM has advised Stantec that, as of now, they are averaging 3 loads of sewage offsite per day. Therefore, with an increase in beds corresponding to a 20% increase in occupancy, a proportional increase would forecast, on average, 4</p>

Comment #	Document Section Reference	Comment/Concern, Recommendation and GGM Response
		trips per day (1 additional load) would be required to dispose of sewage offsite with additional occupancy. Even with an increase of 1 load per day, GGM is expected to average less trips than the originally forecasted trips in the above-referenced memorandum
WPS_22	<p>Comments on Traffic Memorandum, dated February 27, 2026, prepared by Stantec Consulting Ltd.</p> <p>1.3 Sewage Trucking</p>	<p><b>Comment/Concern:</b> Ensure there is consistency in information regarding sewage haulage frequency included in the submitted Memorandums (i.e., Traffic, Planning Rationale, Sanitary and Water Site Servicing Summary). It is noted that Rachel Haggith's email from March 26, 2026 confirmed that sewage haulage frequency for disposal will increase as a result of the increase in bed units. Does the haulage frequency of three times per day on average documented within the Traffic Memorandum need to be revised?</p> <p><b>Response:</b> Sewage hauling frequency will be 4 loads per day from 3 loads per day. This increases the 2026 bus and heavy vehicle volume to 26, and the total daily volume to 234. No traffic operations issues are expected with this change, but further study will be completed in the Traffic Study accompanying the Zoning By-law Amendment / Development Agreement application.</p>
WPS_23	<p>Comments on Traffic Memorandum, dated February 27, 2026, prepared by Stantec Consulting Ltd.</p> <p>1.3 Sewage Trucking</p>	<p><b>Comment/Concern:</b> In addition, clarify whether this haulage frequency is provided by one truck or a few trucks, and whether the truck(s) will be stationed on site until it is time for disposal.</p> <p><b>Response:</b> There is a large truck parking area adjacent to the waste station where trucks are stationed until it is time for disposal.</p>
WPS_24	<p>Comments on Traffic Memorandum, dated February 27, 2026, prepared by Stantec Consulting Ltd.</p> <p>1.3 Sewage Trucking</p>	<p><b>Comment/Concern:</b> Include a map of the existing sewage trucking route.</p> <p><b>Response:</b> A map of the sewage trucking route is provided as Attachment C.</p>

Comment #	Document Section Reference	Comment/Concern, Recommendation and GGM Response
WPS_25	Comments on Traffic Memorandum, dated February 27, 2026, prepared by Stantec Consulting Ltd.  1.4 Traffic Operations and Safety	<b>Comment/Concern:</b> Confirm whether no existing traffic congestion, site circulation, or safety concerns are based on anecdotal observations, or a traffic operational analysis.
		<b>Response:</b> No traffic operational analysis has been completed for the Traffic Memorandum as it was confirmed to not be a required scope of work for the Temporary Use By-law Extension. Traffic operational analysis will be completed for the Traffic Study accompanying the Zoning By-law Amendment / Development Agreement application.
WPS_26	Comments on Traffic Memorandum, dated February 27, 2026, prepared by Stantec Consulting Ltd.  1.5 Emergency Access	<b>Comment/Concern:</b> Specify on-site emergency access and circulation for the emergency route within the Site.
		<b>Response:</b> Emergency access onto site is facilitated by three access points, providing alternate access in the case that one is blocked. There is sufficient circulation area around all sides of the building for emergency service access. The fuel pad, generators, electrical substation, water pumps and tanks, and waster shelter can be easily accessed from the east side of the building (most direct) or by looping around the west and south sides of the building in case the east side of the building is blocked.
WPS_27	Comments on Traffic Memorandum, dated February 27, 2026, prepared by Stantec Consulting Ltd.  1.6 Old Arena Road Construction Impacts	<b>Comment/Concern:</b> Clarify the paving limits along Old Arena Road. Will the 760 m paving section of Old Arena Road be between Michael Power Boulevard and 760 m west of Michael Power Boulevard?
		<b>Response:</b> Yes, the paving limits will be between Michael Power Boulevard and 760 m west of Michael Power Boulevard.

Comment #	Document Section Reference	Comment/Concern, Recommendation and GGM Response
WPS_28	<p>Comments on Traffic Memorandum, dated February 27, 2026, prepared by Stantec Consulting Ltd.</p> <p>1.6 Old Arena Road Construction Impacts</p>	<p><b>Comment/Concern:</b> Will the paving limits along Old Aren Road coincide with the work camp's vehicle accesses? If so, how will vehicle movements in and out of the Site will be facilitated (e.g., construction flagger)?</p> <p><b>Response:</b> Traffic accommodation during paving of Old Arena Road will follow Ontario Book 7 regulations. While one lane is closed, there will be flaggers and automatic arms to control traffic.</p>
WPS_29	<p>Comments on Traffic Memorandum, dated February 27, 2026, prepared by Stantec Consulting Ltd.</p> <p>1.6 Old Arena Road Construction Impacts</p>	<p><b>Comment/Concern:</b> Specify whether construction along Old Arena Road will coincide construction activities at the work camp.</p> <p><b>Response:</b> No, these two construction periods are not anticipated to overlap. Paving of Old Arena Road will be completed in June with construction activities at the work camp beginning mid July.</p>

Comment #	Document Section Reference	Comment/Concern, Recommendation and GGM Response
<b>Municipal Engineering – WSP, Chris Wilson, P.Eng., Consulting Municipal Engineer (Water and Stormwater) for the Municipality of Greenstone</b>		
WPS_30	Stormwater Memorandum, dated February 27, 2026, prepared by Stantec Consulting Ltd.	<p><b>Comment/Concern:</b> WSP provided an email to Stantec on January 26, 2026 noting that stormwater quality controls should be in accordance with MECP Stormwater Management Planning and Design Manual, Level 1 (80% TSS Removal) at minimum. An updated Stormwater Memorandum needs to be prepared to address this requirement.</p> <p><b>Response:</b> The existing stormwater design for the Mine Camp is based on Greater Golden Horseshoe Area (GGHA) Erosion and Sedimentation Control (ESC) Guideline that requires a minimum of 125 m<sup>3</sup>/ha of contributing drainage area (GGHA 2006; Sustainable Technologies 2019). The stormwater design is based on perimeter ditch and check dams for temporary sedimentation and storage. As requested in the Terms of Reference, the sufficiency of the existing stormwater management for the current design and layout of the Mine Camp was reviewed and deemed sufficient to operate under the temporary use by-law extension. This review was documented in the February 27, 2026 stormwater memorandum submitted as part of the Temporary Use By-Law Extension application to the Municipality.</p> <p>References: Greater Golden Horseshoe Area Conservation Authorities (GGHA). 2006. Erosion and Sedimentation Control Guideline. Sustainable Technologies. 2019. Erosion and Sedimentation Control Guidelines for Urban Construction (Update to the GGHA 2006).</p>

Comment #	Document Section Reference	Comment/Concern, Recommendation and GGM Response
<b>Municipal Engineering – WSP, Imad Aouli, PMP, Consulting Municipal Engineer (Wastewater) for the Municipality of Greenstone</b>		
WPS_31	Sanitary and Water Site Servicing Summary, dated February 27, 2026, prepared by Stantec Consulting Ltd.	<p><b>Comment/Concern:</b></p> <p>The Sanitary and Water Site Servicing Summary needs to be updated to:</p> <ul style="list-style-type: none"> <li>• Address food service components at the work camp, including grease management to prevent fats, oils, and grease from entering the sanitary system and potentially contributing to blockages, odour issues, or impacts to downstream lift station and treatment plant operations. Confirmation of grease interceptor provision, sizing, and design needs to be provided.</li> <li>• Include the information provided by Stantec in the March 26, 2026 email regarding the ECA, holding tank capacity, estimated sewage generation, and haul frequency associated with the increase in bed units;</li> <li>• Clarify the estimated sewage generation of approximately 183.25 m<sup>3</sup> / day, particularly since water demand information in the Water Distribution System Modelling Report (April 20, 2026, EXP Services Inc.) suggests a potentially higher screening level flow; and</li> <li>• Address the Municipality’s primary wastewater concern regarding the septic/rotting condition of the hauled sewage and the associated odour complaints and operational impacts at the Geraldton Wastewater Treatment Facility. The Municipality has received a non-compliance notice from the MECP which indicates that the Geraldton Wastewater Treatment Facility exceeded the TAN effluent limit and notes that elevated TAN levels were attributed to mine sewage being delivered multiple times daily and shocking the treatment process. Additional information needs to be provided regarding the proposed aeration system or equivalent septicity control measure, including installation timing, commissioning, operation and maintenance requirements, monitoring, record keeping, and communication protocols with the Municipality, OCWA, and MECP if issues continue. See also comments from the Municipality’s Director of Public Services.</li> </ul>

Comment #	Document Section Reference	Comment/Concern, Recommendation and GGM Response
		<p><b>Response:</b></p> <ul style="list-style-type: none"> <li>Analyses regarding food service components was not included in the original Terms of Reference dated December 12, 2025 for the Temporary Use By-law Extension and therefore has not been included in this memorandum.</li> <li>There are two holding tanks that are 21,000 gallons with provision in the Environmental Compliance Approval (ECA) to add a third tank. A proportional increase in sewage generation is anticipated, resulting in an estimated daily sewage volume of 183.25 m<sup>3</sup>/day, based on Stantec's interpretation of the information presented in GGM's Temporary Construction Camp Sewage Collection System Description memorandum dated August 15, 2019. Based on the stated truck capacity of 18 m<sup>3</sup>/day in the memorandum, the anticipated number of truck loads is about 10.5 truckloads a day. This is one extra truck load per day when compared to the maximum presented in the 2019 analysis by GGM. It was originally forecasted that a maximum of 9.5 trucks per day would be required to dispose of sewage offsite. However, GGM has advised Stantec that, as of now, they are averaging 3 loads of sewage offsite per day. Therefore, with an increase in beds corresponding to a 20% increase in occupancy, a proportional increase would forecast, on average, 4 trips per day (1 additional load) would be required to dispose of sewage offsite with additional occupancy.</li> <li>The water demand calculations included in the Water Distribution Model are theoretical and not measured generation volumes. GGM has advised that they are not producing more than the originally stated 168.75 cu.m sewage/day.</li> <li>GGM is installing aerators/a blower system on the sewage holding tanks to reduce odours and start the digestion process. This system will be installed by the third week of June 2026 and the MECP is aware of this addition. The recommendation for this work came from OCWA. The upgrades are on schedule and will be operational in the coming weeks.</li> </ul>

Comment #	Document Section Reference	Comment/Concern, Recommendation and GGM Response
<b>Municipality of Greenstone, Brian Aaltonen, Director of Public Services</b>		
WPS_32		<p><b>Comment/Concern:</b> The anticipated additional sewage volume should not be a factor. However, there is an ongoing issue with the sewage haulage with the sewage being frequently septic (rotting) which creates smells when dumping into the McKenzie lift station, and which upsets the biological process at the Wastewater Treatment Facility. The Municipality has received numerous complaints of bad odours from residents, and the MECP has noted the non-compliance of the Facility due to the condition of the Mine sewage being delivered.</p> <p><b>Response:</b> GGM is installing aerators/a blower system on the sewage holding tanks to reduce odours and start the digestion process. This system will be installed by the third week of June 2026 and the MECP is aware of this addition. The recommendation for this work came from OCWA.</p>
WPS_33		<p><b>Comment/Concern:</b> The Mine has previously noted that holding tank aeration would be installed to ensure that the sewage does not turn septic, however this has not been completed to date. The Proponent is required to make system improvements, as the Municipality’s Treatment Facility cannot be running out of compliance.</p> <p><b>Response:</b> The aerators/a blower system will be installed on the sewage holding tanks by the third week of June 2026 to reduce odours and start the digestion process.</p>



Should you have any questions regarding the responses provided, please do not hesitate to contact us.

Sincerely,

Kendra Button  
Environmental Superintendent  
Mobile: 613-250-9322  
Kendra.Button@equinoxgold.com

cc: Sarah Aho (GGM)

Attachments:  
Attachment A Site Plan  
Attachment B Traffic Count Data  
Attachment C Sewage Hauling Route



## Attachment A Site Plan

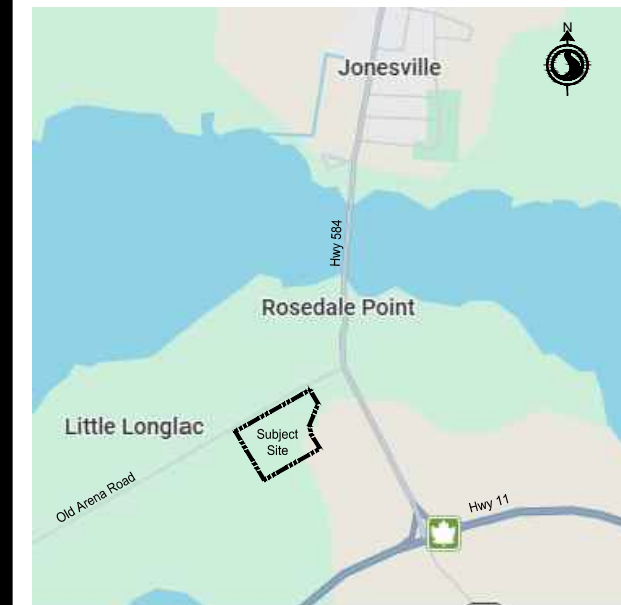


Stantec Consulting Ltd.  
1283 Innovation Drive  
Thunder Bay ON P7B 0A2  
Tel: (807) 625-5640  
www.stantec.com

Copyright Reserved

The Contractor shall verify and be responsible for all dimensions. DO NOT scale the drawing - any errors or omissions shall be reported to Stantec without delay. The Copyrights to all designs and drawings are the property of Stantec. Reproduction or use for any purpose other than that authorized by Stantec is forbidden.

Key Map (NTS.)



Details of Development

Site Details	Required	Provided
Existing Zoning	MN - Mining Use	
Proposed Zoning	MN - Mining Use	
Minimum Lot Area	930m <sup>2</sup>	69,889m <sup>2</sup>
Minimum Lot Frontage	18m	366.34m
Minimum Front Yard Setback	10m	36.85m
Minimum Side Yard Setback	6m	19.96m
Minimum Rear Yard Setback	10m	27.67m
Maximum Building Coverage	35%	22.1%
Maximum Building Height	12m	4.3m
Maximum Number of Main Uses	1	1
Minimum Number of Parking Spaces	1 per 3 accommodation units = 292	292
Accessible Parking Spaces	1 per 25 parking spaces = 12	12
Minimum Parking Space Dimensions	2.8m x 6m	3.2m x 7.0m
Minimum Access Aisle Width	6.7m	> 6.7m
Loading Spaces	1 per 1,000m <sup>2</sup> of GFA = 16	16

Unit Calculation

Dormitories Type:  
A - 30 Rooms = 390  
B - 49 Rooms = 343  
Total Rooms = 733

REVISION	RT	TR	2026.06.11
Revision	By	Appd	YYYY.MM.DD
File Name: 160901207_r-db	RT	TR	2026.06.11
	Dwn	Dsgn	Chkd
			YYYY.MM.DD

Permit-Seal

Client/Project  
EQUINOX GOLD CORP.

GREENSTONE MINE  
GA-BE-SHE-WIN LODGE  
GERALDTON, ON CANADA

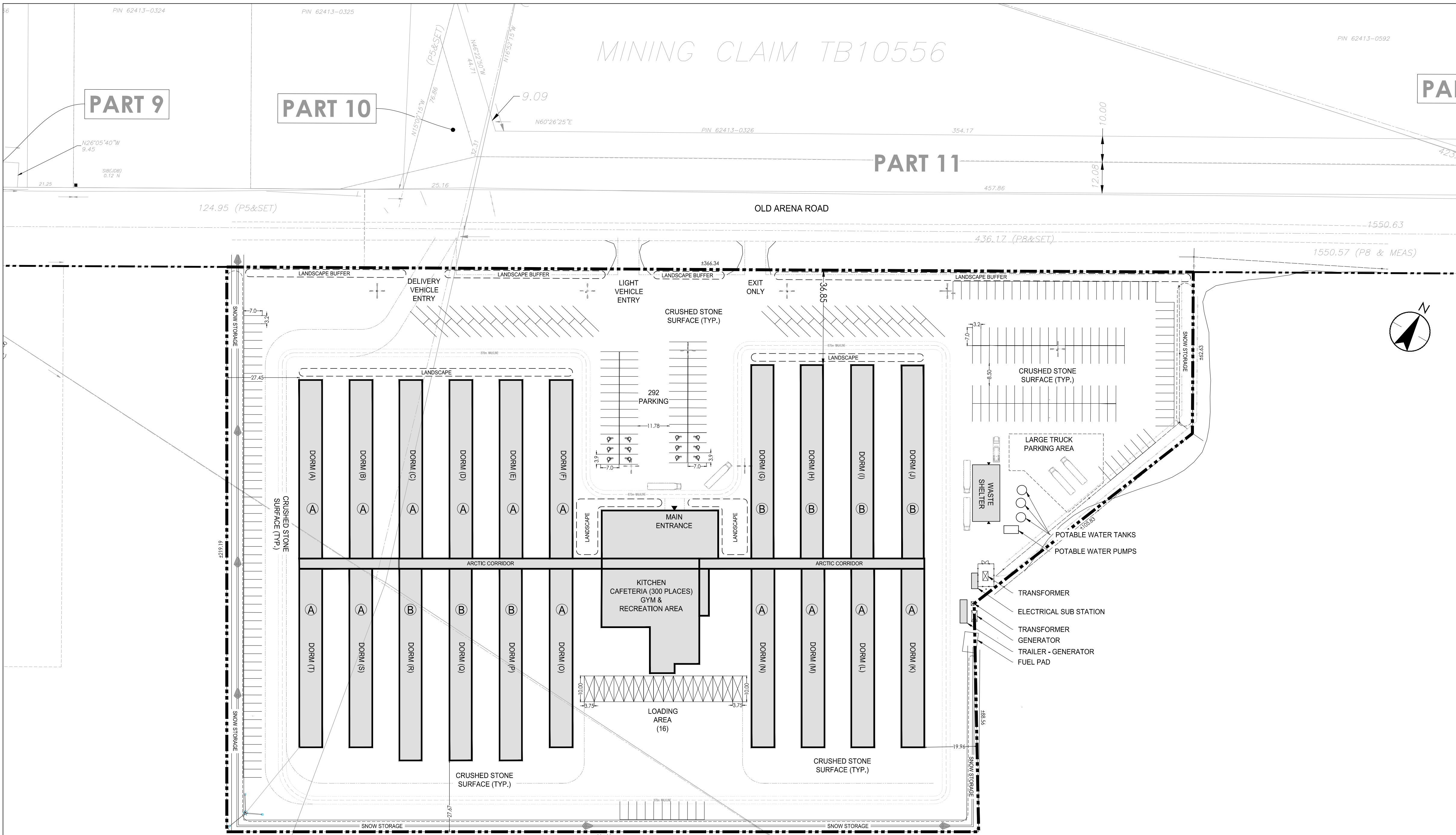
Title  
SITE PLAN

Project No. 160901207 Scale 1:750 0 7.5 22.5 37.5m

Revision Sheet Drawing No.

1 1 of 1 1

MINING CLAIM TB10556



ORIGINAL SHEET - ARCHD



## Attachment B Traffic Count Data

# Basic Volume Report: GS242016

**Station ID : GS242016**

Info Line 1 : Old Arena Rd

Info Line 2 :

GPS Lat/Lon :

DB File : GS242016.DB

Last Connected Device Type : TT-8-BT

Version Number : 1.07

Serial Number : 98683

Number of Lanes : 1

Posted Speed Limit : 0.0 kph

## Lane #1 Configuration

#	Dir.	Information	Volume Mode	Volume Sensors	Divide By 2	Comment
1.			Normal	Axle	Yes	

## Lane #1 Basic Volume Data From: 00:00 - 09/05/2024 To: 23:59 - 09/11/2024

Date	DW	0000	0100	0200	0300	0400	0500	0600	0700	0800	0900	1000	1100	1200	1300	1400	1500	1600	1700	1800	1900	2000	2100	2200	2300	Total
090524	T	5	1	1	4	11	84	94	46	43	56	53	48	66	70	54	46	32	99	105	56	32	19	2	5	1032
090624	F	3	0	0	6	9	85	100	40	44	43	60	59	47	63	76	47	58	100	98	60	30	8	4	4	1044
090724	S	9	2	0	3	9	80	73	16	19	60	51	68	39	22	20	17	20	58	81	38	18	23	6	2	734
090824	S	5	1	0	4	9	67	63	23	24	13	13	6	17	7	6	6	20	64	81	50	20	14	7	4	524
090924	M	2	2	1	7	8	74	76	29	30	45	43	67	71	55	37	58	54	90	93	71	33	19	1	6	972
091024	T	4	1	0	3	14	78	73	41	33	48	49	46	61	46	55	37	93	103	102	69	43	25	4	5	1033
091124	W	4	2	2	4	7	80	82	46	45	63	69	45	66	61	75	52	62	79	88	47	34	20	11	2	1046
Month Total :		32	9	4	31	67	548	561	241	238	328	338	339	367	324	323	263	339	593	648	391	210	128	35	28	6385
Percent :		1%	0%	0%	0%	1%	9%	9%	4%	4%	5%	5%	5%	6%	5%	5%	4%	5%	9%	10%	6%	3%	2%	1%	0%	
ADT :		5	1	1	4	10	78	80	34	34	47	48	48	52	46	46	38	48	85	93	56	30	18	5	4	911

	Sun	Mon	Tue	Wed	Thu	Fri	Sat	Total	Percent	
DW Totals :	524	972	1033	1046	1032	1044	734	Weekday (Mon-Fri) :	5127	80%
# Days :	1.0	1.0	1.0	1.0	1.0	1.0	1.0	ADT :	1025	
ADT :	524	972	1033	1046	1032	1044	734	Weekend (Sat-Sun) :	1258	20%
Percent :	8%	15%	16%	16%	16%	16%	11%	ADT :	629	



# Basic Volume Summary: GS242016

**Grand Total For Data From: 00:00 - 09/05/2024 To: 23:59 - 09/11/2024**

Total Count	0000	0100	0200	0300	0400	0500	0600	0700	0800	0900	1000	1100	1200	1300	1400	1500	1600	1700	1800	1900	2000	2100	2200	2300	Total
Lane #1	32	9	4	31	67	548	561	241	238	328	338	339	367	324	323	263	339	593	648	391	210	128	35	28	6385
TOTAL	32	9	4	31	67	548	561	241	238	328	338	339	367	324	323	263	339	593	648	391	210	128	35	28	6385

Percents:	0000	0100	0200	0300	0400	0500	0600	0700	0800	0900	1000	1100	1200	1300	1400	1500	1600	1700	1800	1900	2000	2100	2200	2300	
Lane #1	1%	0%	0%	0%	1%	9%	9%	4%	4%	5%	5%	5%	6%	5%	5%	4%	5%	9%	10%	6%	3%	2%	1%	0%	
TOTAL	1%	0%	0%	0%	1%	9%	9%	4%	4%	5%	5%	5%	6%	5%	5%	4%	5%	9%	10%	6%	3%	2%	1%	0%	

ADT:	0000	0100	0200	0300	0400	0500	0600	0700	0800	0900	1000	1100	1200	1300	1400	1500	1600	1700	1800	1900	2000	2100	2200	2300	Total
Lane #1	5	1	1	4	10	78	80	34	34	47	48	48	52	46	46	38	48	85	93	56	30	18	5	4	911
TOTAL	5	1	1	4	10	78	80	34	34	47	48	48	52	46	46	38	48	85	93	56	30	18	5	4	911

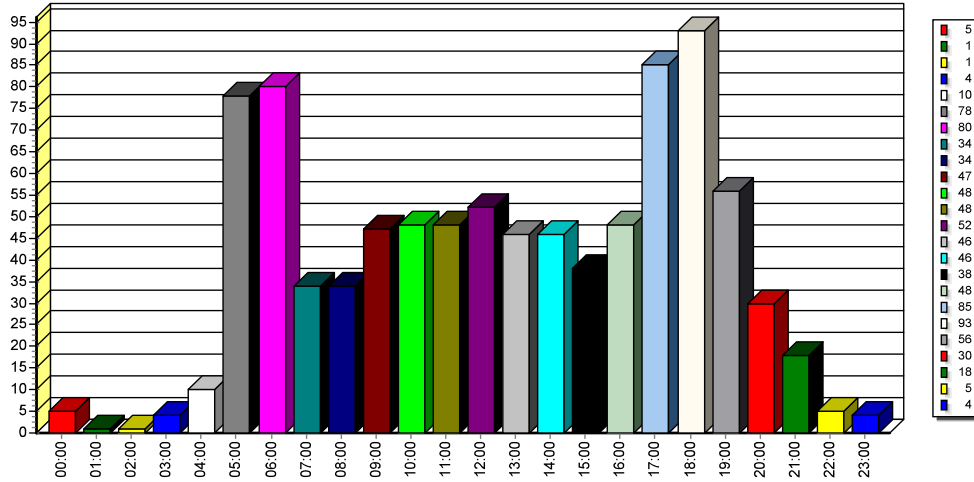
### LANE #1

	Sun	Mon	Tue	Wed	Thu	Fri	Sat			
DW Totals :	524	972	1033	1046	1032	1044	734	Weekday (Mon-Fri) :	5127	80%
# Days :	1.0	1.0	1.0	1.0	1.0	1.0	1.0	ADT :	1025	
ADT :	524	972	1033	1046	1032	1044	734	Weekend (Sat-Sun) :	1258	20%
Percent :	8%	15%	16%	16%	16%	16%	11%	ADT :	629	

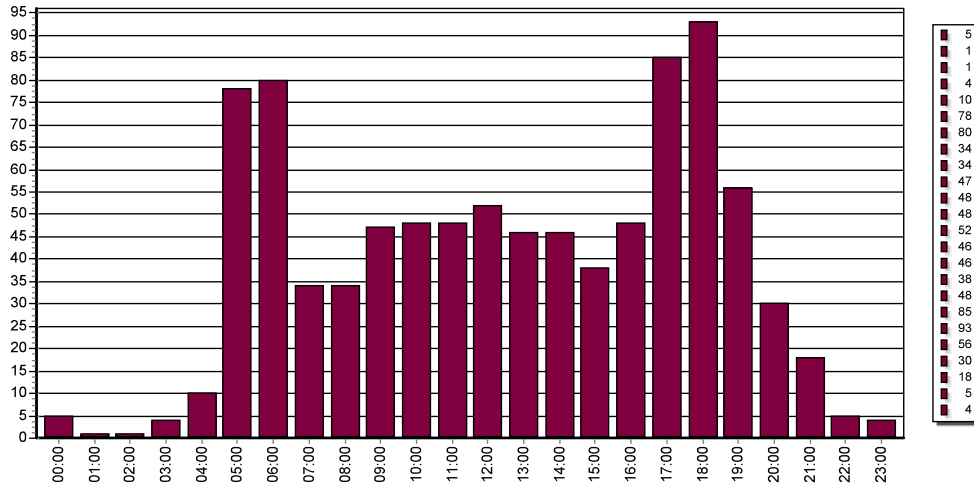
### ALL LANES

	Sun	Mon	Tue	Wed	Thu	Fri	Sat			
DW Totals :	524	972	1033	1046	1032	1044	734	Weekday (Mon-Fri) :	5127	80%
# Days :	1.0	1.0	1.0	1.0	1.0	1.0	1.0	ADT :	1025	
ADT :	524	972	1033	1046	1032	1044	734	Weekend (Sat-Sun) :	1258	20%
Percent :	8%	15%	16%	16%	16%	16%	11%	ADT :	629	

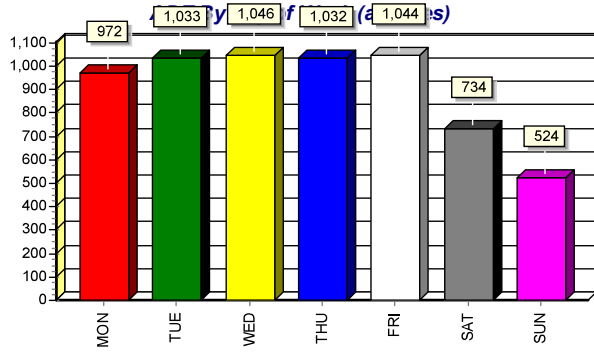
ADT Volume vs. Time (all lanes combined)



ADT Volume vs. Time (lane comparison)

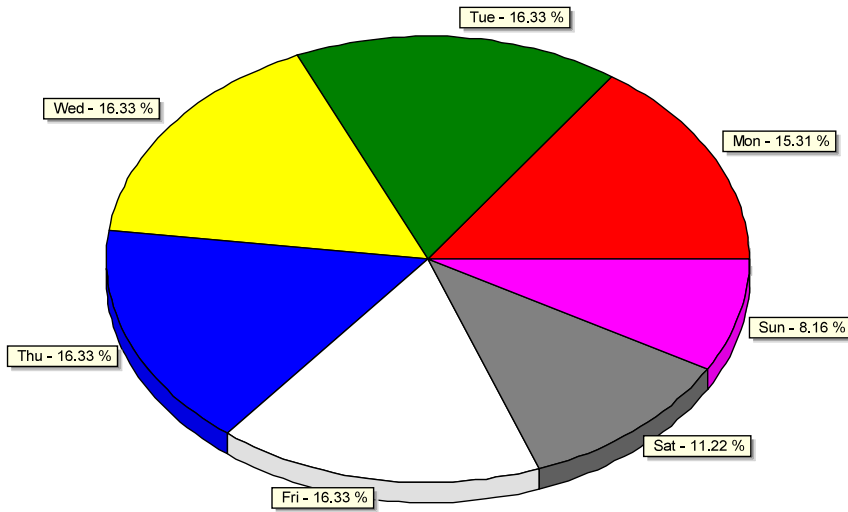


GS242016 Charts For Data From: 00:00 - 09/05/2024 To: 23:59 - 09/11/2024



DAY	ADT	TOTAL	# DAYS
Mon	972	972	1.0
Tue	1033	1033	1.0
Wed	1046	1046	1.0
Thu	1032	1032	1.0
Fri	1044	1044	1.0
Sat	734	734	1.0
Sun	524	524	1.0

Percent of Totals by Day of Week





## Attachment C Sewage Hauling Route

Best 4 min 37 min 8 min —

○ Greenstone Mine Camp, Greenstone, ON
   
 ○ 833 Geraldton Main St, Geraldton, ON PO
   
 + Add destination

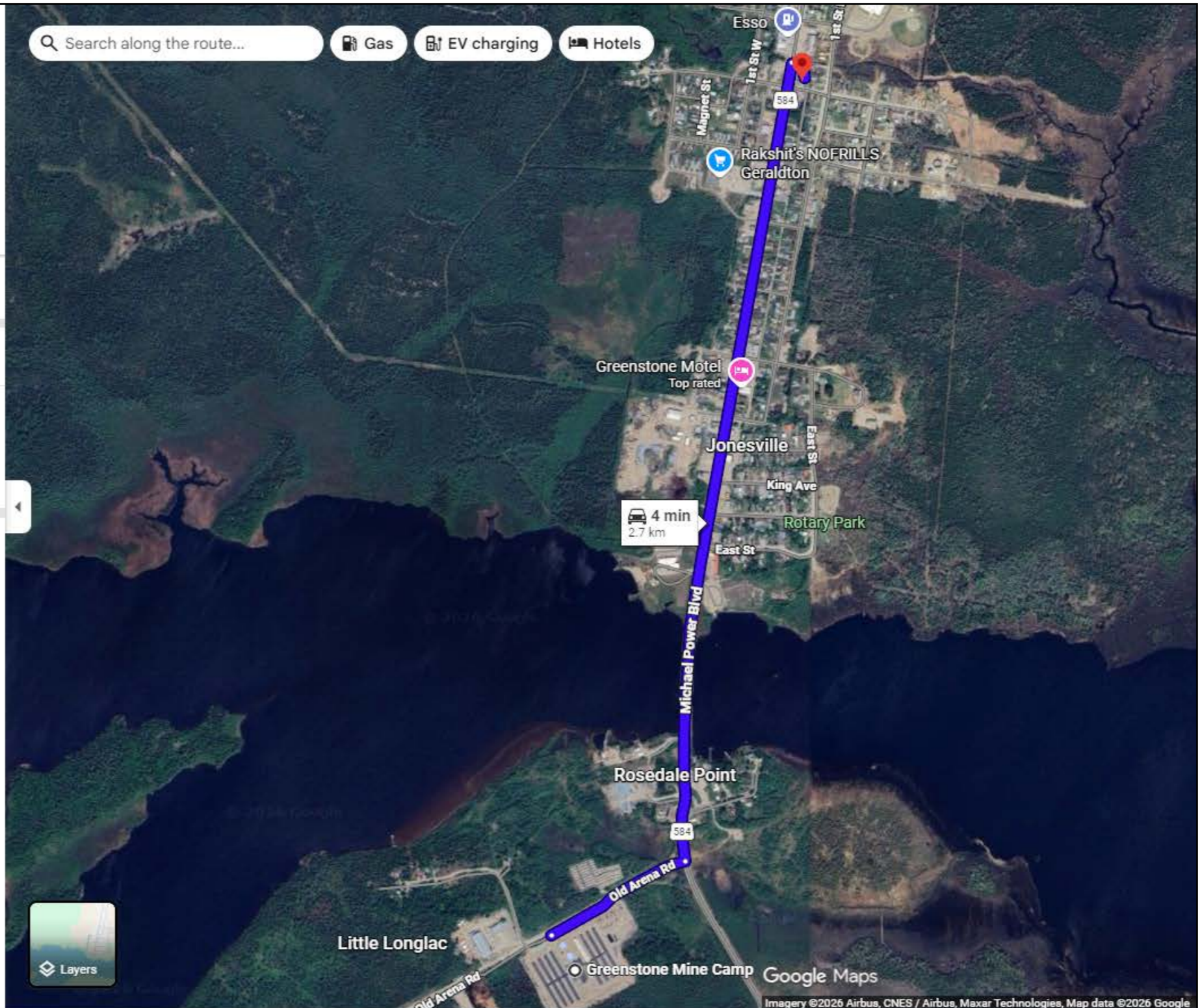
⌚ Leave now ▾ Options

📱 Send directions to iPhone Copy link

🚗 via ON-584 N 4 min
   
 Fastest route, the usual traffic 2.7 km
   
 Details Preview

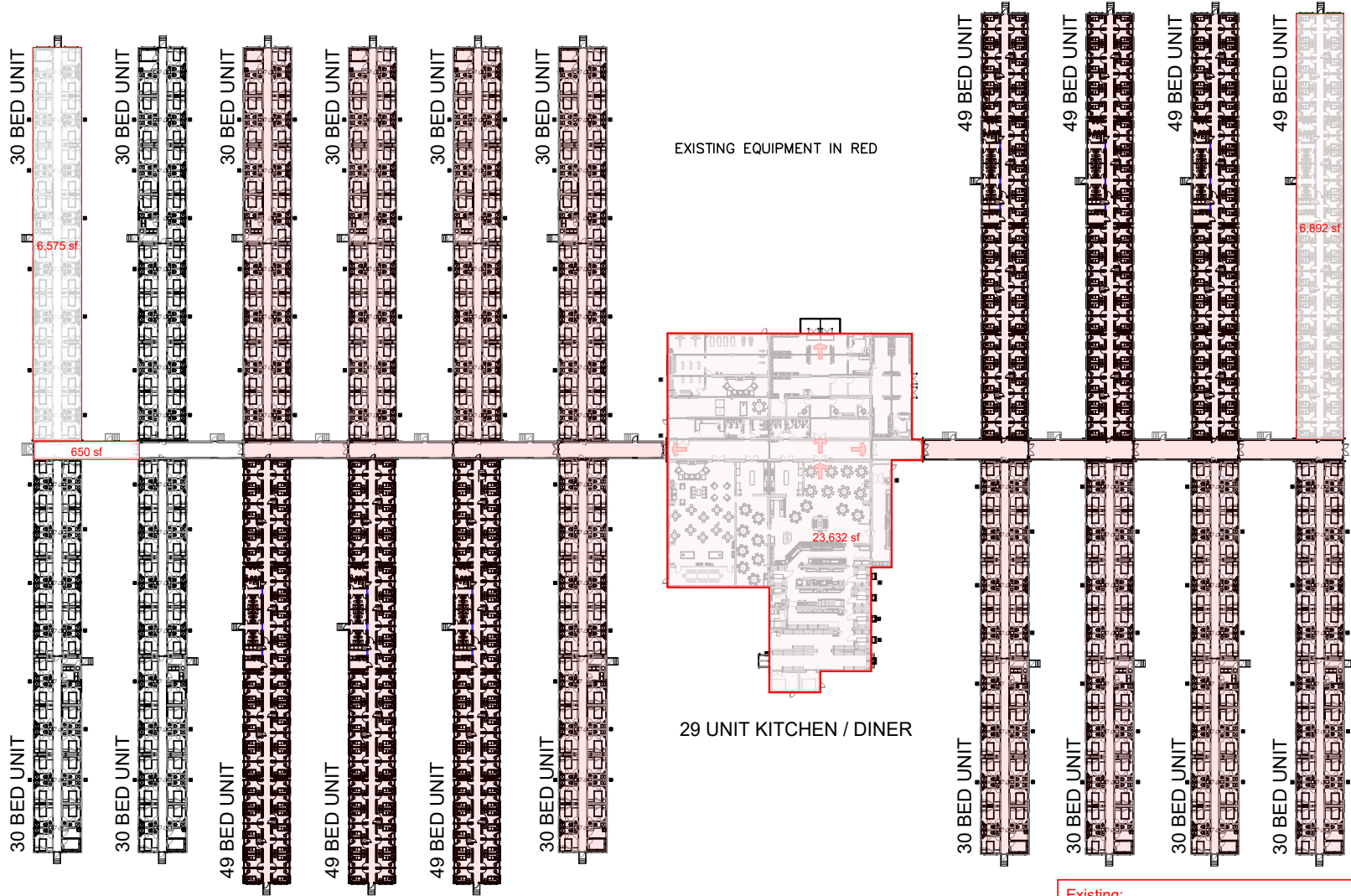
Explore nearby 833 Geraldton Main St

🍴 Restaurants
   
 🏨 Hotels
   
 ⛽ Gas stations
   
 P Parking Lots
   
 ⋮ More





**Appendix C – Greenstone Mine Work Camp Building Footprint (June 18, 2026)**



**GREENSTONE  
733 PERSON CAMP**



<b>Existing:</b>	
Common Area	= 23632 sf
30 Beds: 13 x 6575	= 85475 sf
49 Beds: 6 x 6892	= 41352 sf
Arctic Corridor: 10 x 650	= 6500 sf
<b>Existing Total</b>	<b>= 156,959 sf (14582 sm)</b>
<b>Expansion:</b>	
30 beds: 4 x 6575	= 26300 sf
Arctic Corridor: 2 x 650	= 1300 sf
<b>Expansion Total</b>	<b>= 27600 sf (2564 sm)</b>



# Greenstone Mine Work Camp

## Zoning By-law Amendment Application Temporary Use By-law Extension

File No. 2026-02

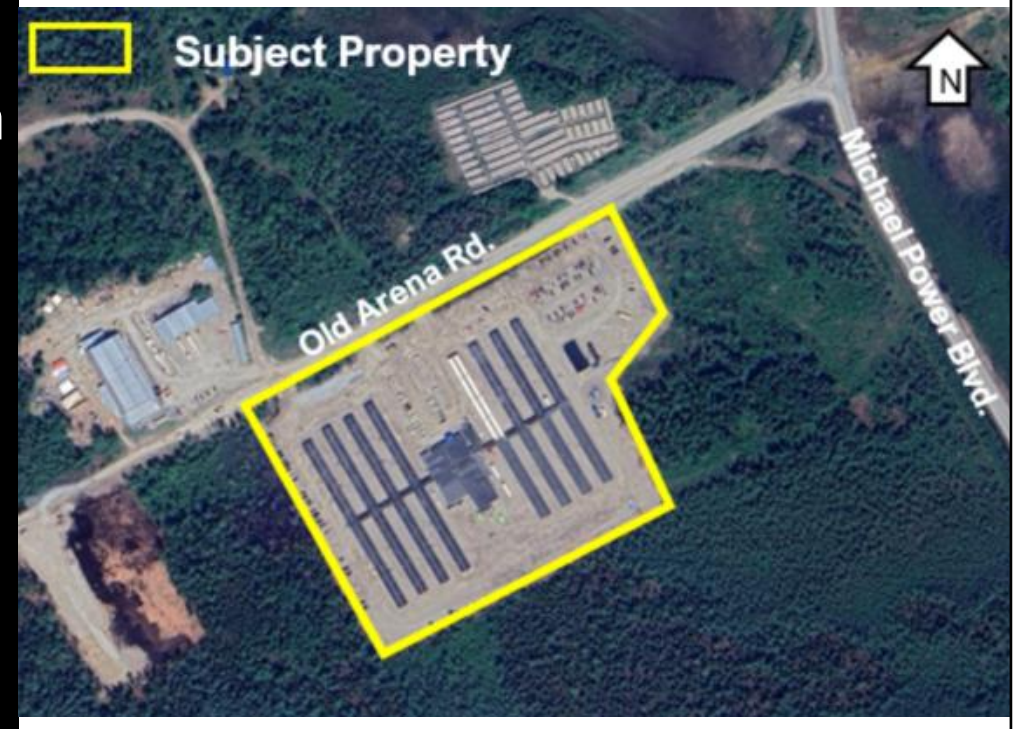
### Planning Report Presentation

Statutory Public Meeting – June 24, 2026

Presented by Anita Sott, MCIP, RPP, Consulting Planner, WSP



MUNICIPALITY OF  
**GREENSTONE**



# Outline

- 1** Purpose of the Application
- 2** Site Description
- 3** Proposed Development
- 4** Consistency / Conformity with Legislated Policy

- 5** Compliance with Zoning By-law
- 6** Interdepartmental and Agency Circulation
- 7** Public Comments
- 8** Recommendations

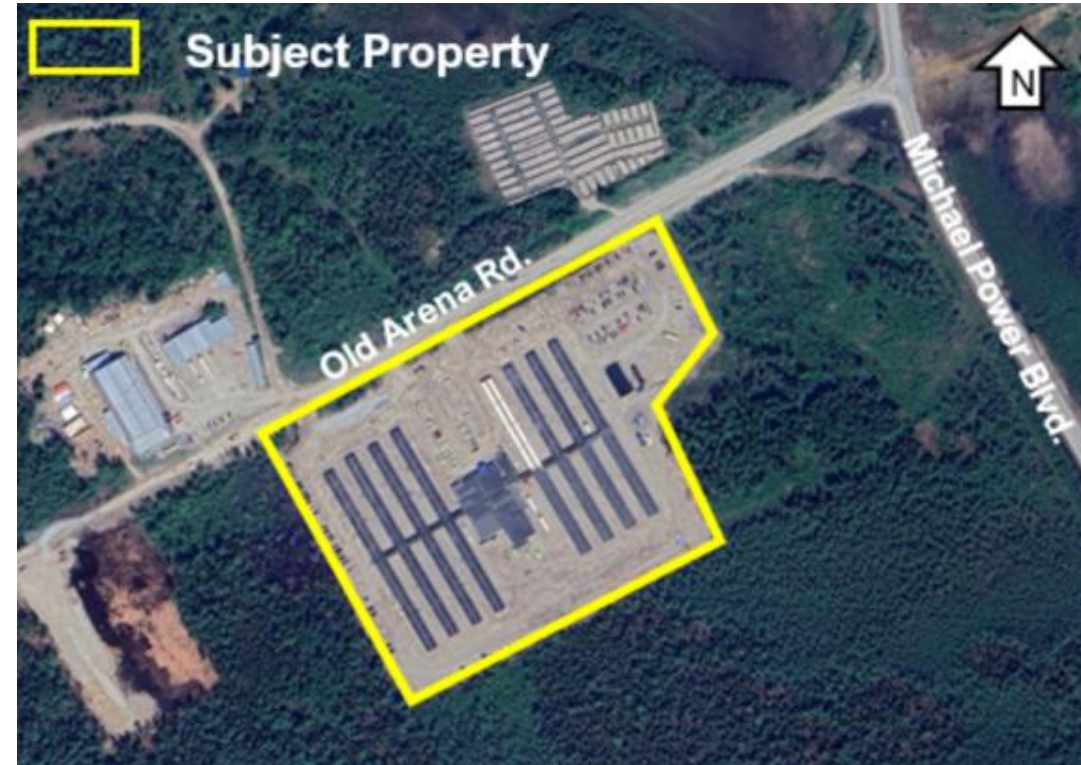
# Purpose of the Application

- To extend the previously approved Temporary Use By-law 23-35 (expired April 23, 2026) for an additional three (3) years – from April 24, 2026 to April 23, 2029 inclusive – to allow for the continuation of the existing work camp use;
- To permit the reconfiguration of the existing 613 dormitory bed units on the Site;
- To construct four (4) additional dormitory wings to accommodate an additional 120 bed units, for a total of 733 dormitory bed units on the Site

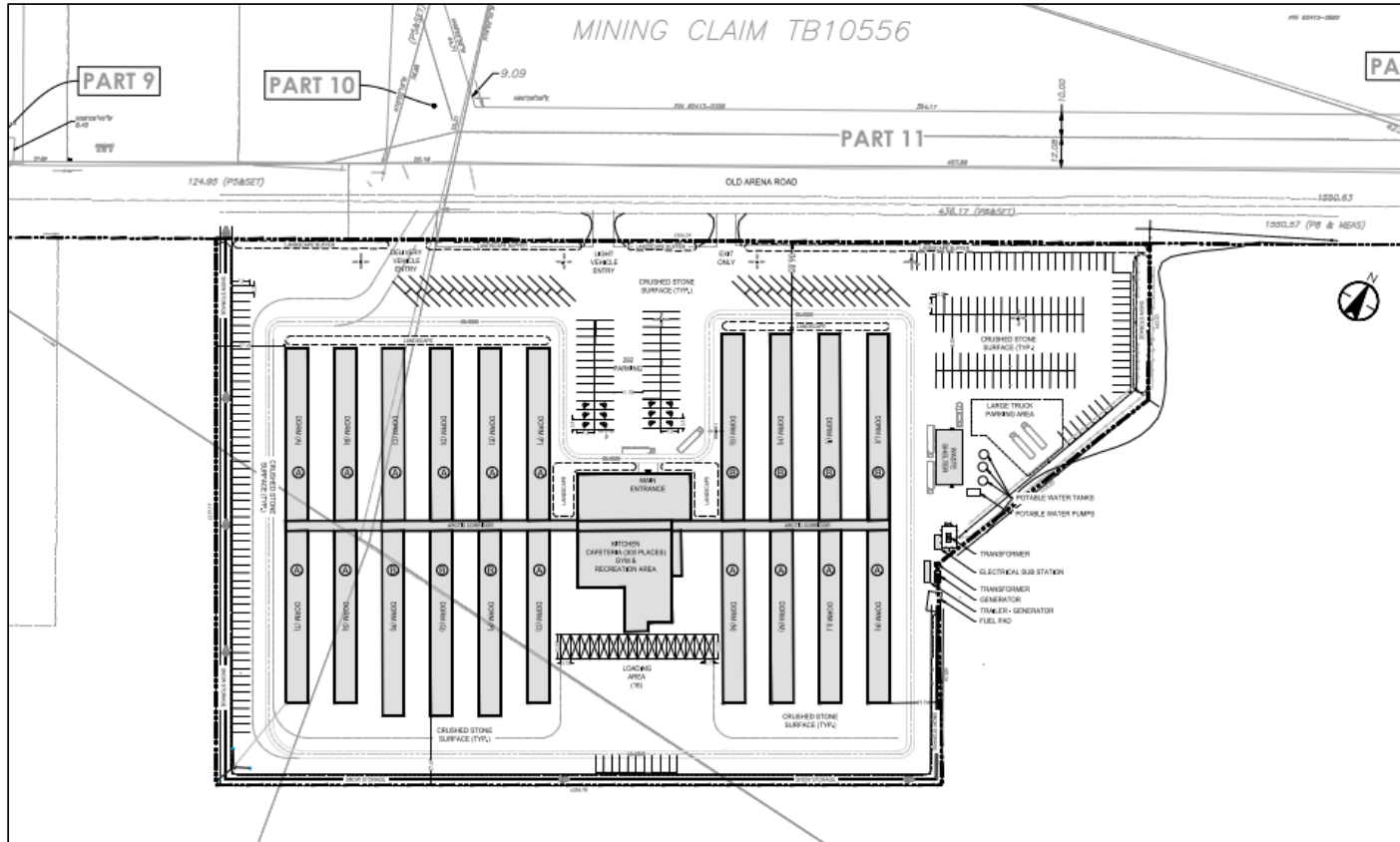


# Site Description

- Located on the south side of Old Arena Road south of Geraldton, with a frontage of approx. 366 m
- Irregular in shape, with an area of approx. 7 hectares (Site Plan dated June 11, 2026, received June 17, 2026)
- Currently occupied by a temporary work camp, consisting of:
  - A central building with a kitchen, cafeteria, gym, and recreation area, plus parking areas;
  - 16 dormitory wings accommodating 613 bed units;
  - On-site sewage holding tanks.



# Proposed Development



- Continue to permit the existing work camp as a temporary use for an additional 3 years, from April 24, 2026 – April 23, 2029
- Reconfigure the Site and add 4 dormitory wings (+120 beds), for 733 total bed units
- Maintain the existing “Construction Work Camp” definition and site-specific lot and building regulations established in By-law 23-35
- Continue to service the site with on-site sewage holding tanks, with sewage hauled to the Geraldton WWTF – anticipated increase of 1 additional truck per day

# Consistency / Conformity with Legislated Policy

## Planning Act, R.S.O. 1990, c. P.13

- Section 39 permits Council to pass a by-law to authorize the temporary use of land, buildings, or structures otherwise prohibited by the Zoning By-law, for a period of up to three (3) years, and Council may grant further three-year extensions.
- **Extending the existing temporary work camp from April 24, 2026 to April 23, 2029 is permitted under the Planning Act.**
- The Municipality has advised Greenstone Mine that no further temporary use extensions will be considered; a Zoning By-law Amendment to permit the work camp use permanently would be required to support the existing mining operation.

## Provincial Planning Statement, 2024 (PPS)

- **The proposed development is consistent with the policies of the PPS:**
  - Provides on-site housing that supports employment and economic development at the Greenstone Gold Mine (Policy 2.2.1(b)(1))
  - Supports a diversified rural economy and resource-related uses by sustaining a key mining operation (Policies 2.5.1(e), 2.6.4)
  - Permitted use on rural lands, serviced by on-site sewage and municipal water (Policy 2.6.1)
  - Located more than 1 km from the Mine, which exceeds Provincial minimum distance separation requirements for a sensitive land use from a Class III industrial land use (Policy 3.5.1)

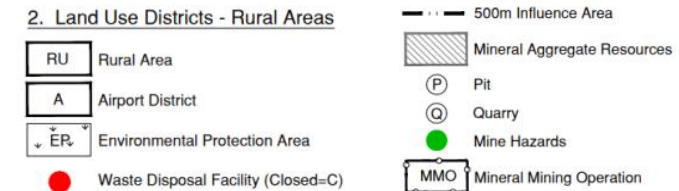
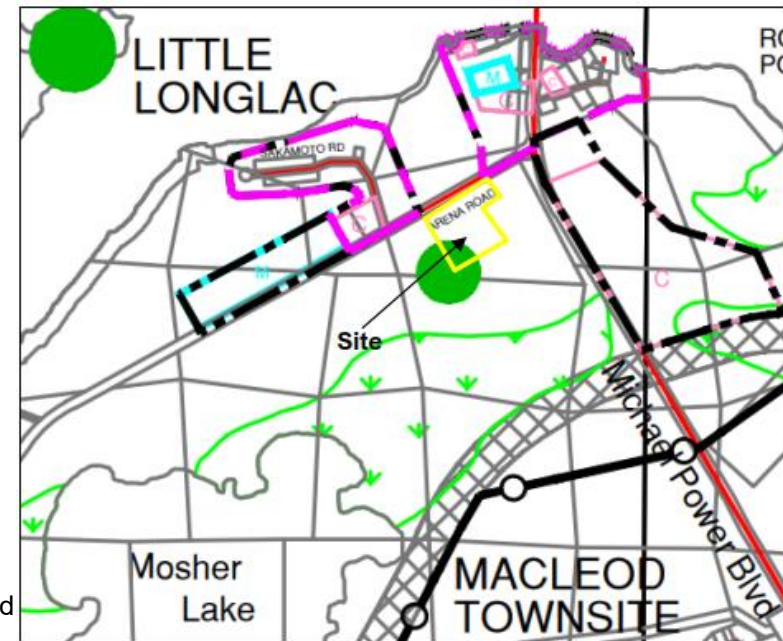
## Growth Plan for Northern Ontario, 2011

- **The proposed development conforms with the policies of the Growth Plan for Northern Ontario**, as it supports the minerals sector and mining industry.

# Consistency / Conformity with Legislated Policy

## Municipality of Greenstone Official Plan (MMAH Approved with Modifications on November 15, 2022)

- The proposed development conforms with the policies of the Municipality’s Official Plan.
- Site is designated “Rural Area” on Schedule B – Land Use Plan of the Official Plan
- Section 3.10 – the Rural Area is conserved principally for the **management or use of natural and renewable resources** (minerals, aggregate, forestry); **locally appropriate residential development** and other rural uses also permitted
- Section 4.11(1) Rural Area – permitted uses include resource management or use (incl. mining), resource-related industrial uses, and rural residential uses
- Conforms with the Rural Area designation principles:
  - Principle #1 (cost-effective development) – uses the existing road network and on-site sewage and municipal water; no public infrastructure extension
  - Principle #2 (land use compatibility) – located more than 1 km north of the Greenstone Gold Mine, with no anticipated adverse effects
- Section 10.7(3) New Mineral Mining Operations – mining operations may include a mining dormitory with lodging, eating and recreation; the camp is a permitted accessory use



# Consistency / Conformity with Legislated Policy

## Municipality of Greenstone Official Plan (MMAH Approved with Modifications on November 15, 2022)

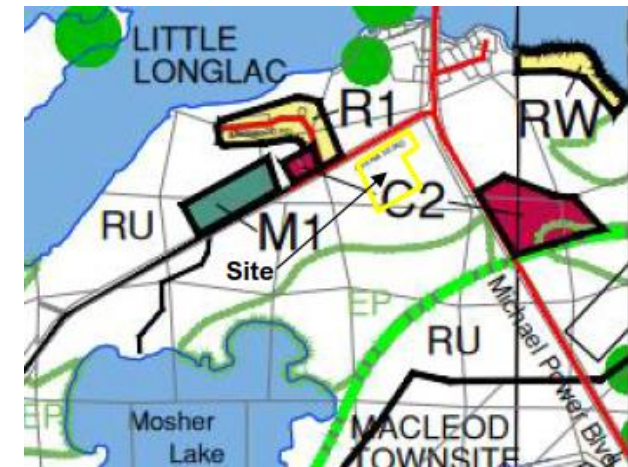
- Section 4.10 Community Design Principles – the camp is a sensitive land use (residential); 4.10(5) directs industrial uses with significant nuisance away from sensitive land uses, per Guidelines D-1, D-6 and NPC 300
- Section 10.8 Incompatible Uses – sensitive land uses are directed away from mineral mining operations, or adverse effects are prevented or mitigated
  - The Greenstone Gold Mine is a major facility / mineral mining operation – a Class III industrial use under Guideline D-6, which recommends a minimum 300 m separation from sensitive land uses
  - The camp is located over 1 km from the Greenstone Gold Mine (Figure 3) – the minimum separation distance is met

# Compliance with Zoning By-law

## Municipality of Greenstone Zoning By-law 23-77 (Adopted by Council November 27, 2023)

- Site is zoned Rural (RU) on Schedule B of the Zoning By-law 23-77; however, under By-law 23-35, the Site was temporarily zoned Mining (MIN) Temporary Use Zone.
- **The proposed development generally complies with the Zone regulations established for the Mining (MIN) Temporary Use Zone, and the applicable general provisions of the Zoning By-law.**
- The definition for the temporary permitted use of “Construction Work Camp” established in By-law 23-35 is proposed to be maintained:
 

*“Means an area of land including buildings and structures specifically designed as living quarters for person employed in a utility or resource-related construction project (i.e., pipeline, power transmission line, mining camp), and ancillary services, and may include dormitories, lodging or sleeping facilities, sanitary and eating facilities, administrative offices and accessory uses directly related to meeting the needs of occupants, including but not limited to a laundry facility, recreational facilities, storage facilities, on-site parking, and an on-site self-contained fuel storage facility.”*
- By-law 23-35 also established site-specific lot and building regulations for the Site, which are proposed to be maintained. The proposed development complies with all site-specific lot and building regulations established in By-law 23-35.



# Compliance with Zoning By-law

## Municipality of Greenstone Zoning By-law 23-77 (Adopted by Council November 27, 2023)

- Section 4.16 Loading / Delivery Space Regulations requires that loading / delivery spaces be provided for every building or structure erected for an industrial use involving the receiving, shipping or unloading of merchandise or other goods. The proposed development provides 16 loading spaces and complies with the regulations.
- Section 4.22.2 Barrier Free Parking states that one (1) barrier free parking space shall be required for any use requiring 10 standard parking spaces or more, provided at a ratio of one (1) barrier free parking space for each 25 standard parking spaces. As the proposed development is providing 292 standard parking spaces, 12 barrier-free spaces are required. Twelve (12) barrier-free parking spaces are provided.
- Section 4.18.3(3) Industrial Uses requires that the minimum separation distance from a sensitive land use and a Class III Industrial use shall be 300 m. The minimum separation distance shall be measured as the shortest horizontal distance between the lot line of the sensitive land use to the lot line of a Class III Industrial Use or a mine.
- Section 4.18.3(4) provides that where an industrial use or sensitive land use is an existing use and an expansion or extension is proposed, the minimum separation distance for a Class I, II, or III industry shall be measured from the nearest main wall of the building or structure occupied by the sensitive land use and the nearest main wall of the building, structure, processing area, assembly or manufacturing area occupied by the industrial use.
  - The existing temporary work camp and proposed development are located over 1 km from the Greenstone Gold Mine. As such, the minimum distance separation is met.

# Interdepartmental and Agency Circulation

- The Application was circulated to internal Municipal departments and to external technical agencies, and Indigenous communities for review and comment on May 25, 2026.
- Comments were received from the following, and were provided to the Applicant in an Application Review Memo for consideration and response:
  - WSP Consultants (Planning, Transportation Planning, Municipality Engineering), on behalf of Municipality of Greenstone; and
  - Municipality of Greenstone, Director of Public Services.
- On June 11, 2026, the Applicant submitted a revised Site Plan and provided responses to the technical review comments.
- Municipal staff and WSP are satisfied with the revised Site Plan and responses to the technical review comments regarding stormwater management and transportation, recognizing that future studies, such as a Stormwater Management Report and a full Transportation Impact Assessment, will be required at the time of submitting a future Zoning By-law Amendment application to permit a permanent work camp.
- The Municipality has concerns related to the sewage being hauled to the Municipality's Wastewater Treatment Facility, which is going septic and putting the facility into non-compliance.
  - By the third week of June 2026, the Applicant will be installing aerators / a blower system on the sewage holding tanks to reduce odours and start the digestion process. The Ministry of the Environment, Conservation and Parks is aware of this addition; the recommendation for this work came from the Ontario Clean Water Agency (OCWA).
  - The Municipality requires a sewage solution to be found in order for the proposed development to proceed; **if the proposed sewage aeration system does not satisfy the issue, then an alternative solution must be undertaken within 90 days from the time of approval of the proposed Temporary Use By-law. This is proposed as a condition of the Development Agreement.**

# Public Comments

- Notice of the Application was given in accordance with Section 34 of the Planning Act:
  - The Application was circulated to persons and public bodies as legislated on May 25, 2026.
  - A property notification sign was posted on May 27, 2026.
  - Notification was mailed to one (1) property owner within 120 m of the Site on May 29, 2026.
  - Notice of the Statutory Public Meeting was published in the Times Star, and on the Municipal Website on May 27, 2026.
- As of the date of this presentation, public comments received include a petition with 281 signatures, expressing opposition to a permanent camp for the life of the Greenstone Gold Mine.
  - For clarity, the current Zoning By-law Amendment Application is not to permit a permanent work camp, but to extend temporary use permissions established through the previous By-law 23-35 for an additional 3 years.

# Recommendations

## Proposed New Temporary Use By-law

That the following amendments, in the form of a new Temporary Use By-law, as proposed in the Zoning By-law Amendment Application, File No. 2026-02, be approved, in lieu of public comments that may yet to be received.

1. That a construction work camp as a temporary use in the Mining (MIN) Temporary Use Zone is permitted
2. That the permitted uses in the Mining (MIN) Temporary Use Zone shall include a Construction Work Camp, which shall be defined as:  
  
*“Means an area of land including buildings and structures specifically designed as living quarters for person employed in a utility or resource-related construction project (i.e., pipeline, power transmission line, mining camp), and ancillary services, and may include dormitories, lodging or sleeping facilities, sanitary and eating facilities, administrative offices and accessory uses directly related to meeting the needs of occupants, including but not limited to a laundry facility, recreational facilities, storage facilities, on-site parking, and an on-site self-contained fuel storage facility.”*
4. The following zone regulations shall apply to the Mining (MIN) Temporary Use Zone and Construction Work Camp:
  - Minimum Frontage: 18 m
  - Minimum Lot Area: 930 m<sup>2</sup>
  - Minimum Front Yard: 10 m
  - Minimum Rear Yard: 10 m
  - Minimum Side Yard: 6 m
  - Maximum Lot Coverage: 35%
  - Maximum Height: 12 m
  - Maximum number of main uses: 1
  - Minimum number of parking spaces: 1 per 3 accommodation units
  - Minimum parking space dimensions: 2.8 m width by 6 m length
  - Minimum access aisle width: 6.7 m
  - Permitted uses shall include accessory uses, buildings, and structures.
5. That the period of the Mining (MIN) Temporary Use by-law shall be from April 24, 2026 to April 23, 2029, inclusive.

# Recommendations

## Development Agreement

Provided that the Zoning By-law Amendment Application for the temporary use is approved, the Applicant shall enter into a Development Agreement under Section 51(26) of the Planning Act; the said Agreement to provide for the following matters, and others that may arise prior to issuance of a Building Permit and Occupancy Permit:

- a. That the installation of aerators and a blower system on the sewage holding tanks be completed by Greenstone Gold Mines; and
- b. Should the installation of aerators and a blower system be found to be insufficient to address the sewage issue, that an alternative solution must be undertaken by Greenstone Gold Mines within 90 days from the time of approval of the proposed Temporary Use By-law.
- c. The Municipality of Greenstone will not consider any further applications to extend the temporary use. An Application for a Zoning By-law Amendment to request the work camp use to be permitted permanently would be required.
- d. That Greenstone Gold Mines acknowledge that any future Zoning By-law Amendment application to permit the work camp as a permanent use shall be supported, at minimum, by a Stormwater Management Report and a full Transportation Impact Assessment, among other studies, each prepared to the satisfaction of the Municipality.



**Thank You**

**Greenstone Mine Work Camp  
Zoning By-law Amendment – Temporary Use By-law Extension  
File No. 2026-02  
Planning Report Presentation  
Statutory Public Meeting – June 24, 2026**



**MUNICIPALITY OF  
GREENSTONE**

**Comments may be submitted to:**

**Haley Garvie  
Director of Planning, Communication and Economic  
Development  
Municipality of Greenstone  
Box 70, 1800 Main Street  
Geraldton, ON P0T 1M0  
P: 807-854-1100  
E: [haley.garvie@greenstone.ca](mailto:haley.garvie@greenstone.ca)**

**THE CORPORATION OF THE MUNICIPALITY OF GREENSTONE**

**BY-LAW 26-XX**

A By-Law to confirm the proceedings of a public meeting of Council for the 24th day of June 2026

**WHEREAS** Subsection 5(1) of the *Municipal Act, 2001*, c. 25, as amended, provides that the powers of a municipality shall be exercised by its Council;

**AND WHEREAS** Subsection 5(3) of the said *Act*, as amended, provides that a municipal power shall be exercised by by-law unless the municipality is specifically authorized to do otherwise;

**AND WHEREAS** Council considers it appropriate to confirm and adopt its proceedings and actions at this public meeting by by-law;

**NOW THEREFORE** The Council of The Corporation of the Municipality of Greenstone **ENACTS AS FOLLOWS:**

1. **THAT** the actions of the Council of The Corporation of the Municipality of Greenstone at its public meeting held on June 24, 2026 in respect to each report, motion, resolution or other action recorded and taken by the Council at its said meeting, except where the prior approval of any Board, Tribunal or other authority is by law required, are hereby adopted, ratified, enacted and confirmed as if all such proceedings and actions had been expressly embodied in this By-Law.
2. **THAT** the Mayor and the proper officials of The Corporation of the Municipality of Greenstone are authorized and directed to do all things necessary to give effect to the said proceedings and actions of the Council as referred to in Section 1 hereof and the Clerk is authorized and directed to affix the Corporate seal of the Municipality to any documents which require it.
3. **THAT** this By-Law comes into force on the date it is passed.

**ENACTED AND PASSED** this 24th day of June, 2026

\_\_\_\_\_  
Kristina Miousse, Clerk

\_\_\_\_\_  
James McPherson, Mayor