



CITY OF HEALDSBURG PLANNING COMMISSION MEETING AGENDA - WORKSHOP

Meeting Date: June 09, 2026
Time: 06:00 PM
City Hall Council Chamber
401 Grove Street
Healdsburg, CA 95448

To join by computer, tablet, or mobile device:

Go to <https://zoom.us/join> and type in the Webinar ID: 815 8894 3494 or follow this link:
healdsburg.gov/zoom (Pre-registration for the meeting is not required.)

1. CALL TO ORDER/ROLL CALL

2. ADMINISTRATIVE ACTIONS

2.a Approval of Agenda

2.b Approval of Minutes

By motion, approve the May 12, 2026 Regular Meeting Minutes.

2.c Acceptance of Communications and Correspondence

2.d Declarations of Conflict of Interest

2.e Disclosures of Ex Parte Communications

3. PUBLIC COMMENT

This time is set aside to receive comments from the public regarding matters of general interest not on the agenda but related to Planning Commission business. Pursuant to the Brown Act, however, the Planning Commission cannot consider any issues or take action on any request during this comment period.

Persons speaking on items on this agenda are requested to provide their name, address and the subject of their comments. Comments are generally limited to three minutes; however, additional time may be granted by the Commission Chair as appropriate, depending on the scope of the project.

4. WORKSHOP

4.a 444 Healdsburg Avenue Workshop to review a live/work development

The Planning Commission will conduct a workshop to receive a presentation from the applicant regarding their proposal to construct a live/work development consisting of two individual work spaces and a living space in approximately 2,280 square feet, receive public input, and provide informal feedback to the applicant and City staff. No official action will be taken.

5. ADJOURNMENT

Posting: This agenda was posted on City bulletin boards and the City's website at least 72 hours prior to the meeting, in accordance with state law.

Availability of Written Materials: All written materials (e.g., staff reports, conditions, resolutions) prepared for items on this agenda are available for public review at least 72 hours prior to the meeting at the Community Development Department at 401 Grove Street and on the City's website at www.healdsburg.gov. Written materials submitted after the posting of this agenda, but before the Commission meeting, will also be made available for public review in the Community Development Department. If written materials are presented to the Commission at the meeting, a copy will be made available for public review at the meeting.

Disabled Accommodations: The City of Healdsburg will make reasonable accommodations for persons having special needs due to disabilities. Please contact Amanda Gray, Administrative Technician, at Healdsburg City Hall, 401 Grove Street, Healdsburg, California, 707-431-3393, at least 72 hours prior to the meeting, to ensure the necessary accommodations are made.

**CITY OF HEALDSBURG
PLANNING COMMISSION
REGULAR MEETING MINUTES - DRAFT**

May 12, 2026

**City Hall Council Chamber
401 Grove Street, Healdsburg**

1. CALL TO ORDER/ROLL CALL

Chair McKay called to order the meeting of the Planning Commission of the City of Healdsburg at 6:00 p.m.

Commissioners present: Barber, Gerlach, Luks, McKay, Pearlman, Schadlich, Wood

City Staff present: Community Development Director Scott Duiven, Public Works Director Larry Zimmer, Senior Planner Ellen McDowell, Assistant Planner Jeff Fisher and Administrative Technician Amanda Gray.

2. ADMINISTRATIVE ACTIONS

A. Approval of Agenda

On a motion by Commissioner Pearlman, seconded by Commissioner Schadlich, the Commission voted 7-0-0 to approve the May 12, 2026 agenda.

B. Approval of Minutes

On a motion by Commissioner Wood, seconded by Commissioner Pearlman, the Commission voted 7-0-0 to approve the March 10, 2026 Workshop Meeting Minutes.

C. Acceptance of Communications and Correspondence

The Commission accepted the following correspondence from Senior Planner Ellen McDowell:

2c.1 2025 Growth Management Ordinance Annual Report

2c.2 2025 General Plan Annual Report

D. Declarations of Conflict of Interest – None

E. Disclosures of Ex Parte Communications – None

3. PUBLIC COMMENTS

None.

4. PUBLIC HEARINGS

4a. 2026-2031 Capital Improvement Program General Plan Consistency

Senior Planner McDowell presented the report.

The Commission asked questions of Senior Planner McDowell and Public Works Director Zimmer.

Chair McKay opened the hearing for public input. There being no speakers, Chair McKay closed the public input portion of the meeting.

On a motion by Commissioner Pearlman, seconded by Commissioner Luks, the Commission voted 7-0-0 to adopt Resolution 2026-03 finding that the City of Healdsburg Capital Improvement Program for 2026-2031 is consistent with the Healdsburg 2030 General Plan.

4b. Major Design Review Application for a new single-family residence and ADU located at 712 Johnson Street in the Johnson Street Historic District

Assistant Planner Fisher presented the report.

The Commission asked questions of Mr. Fisher and Architect Chris Townsend.

Chair McKay opened the hearing for public input. There being no speakers, Chair McKay closed the public input portion of the meeting.

On a motion by Commissioner Schadlich, seconded by Commissioner Gerlach, the Commission voted 7-0-0 to adopt Resolution 2026-04 approving Major Design Review Application DR-0002-2026 for a new single-family residence and ADU located at 712 Johnson Street based on the suggested findings and subject to the recommended conditions of approval.

4c. Major Design Review Application and Major Variance Application for Petruzella Personal Storage facility located at 1501 Grove Street

Assistant Planner Fisher presented the report.

The Commission asked questions of Mr. Fisher and Applicant Tony Petruzella.

Chair McKay opened the hearing for public input. There being no speakers, Chair McKay closed the public input portion of the meeting.

On a motion by Commissioner Schadlich, seconded by Commissioner Gerlach, the Commission voted 6-1-0-0 (Luks- no) to adopt Resolution 2026-04 approving Major Design Review Application DR-0001-2026 and Major Variance Application VAR-0001-2026 for an unmanned personal storage facility located at 1501 Grove Street based on the suggested findings and subject to the recommended conditions of approval, with the addition of Condition of Approval No. 4:

4. The building along the frontage of Grove Street shall be designed to include a mix of two differently colored unit types to the satisfaction of the Community Development Director. Said units shall be included in the building permit plan set.

5. BUSINESS ITEMS

None.

6. COMMISSIONER AND SUBCOMMITTEE REPORTS

Chair McKay reported on attending the SMART groundbreaking ceremony.

7. DIRECTOR'S REPORT

Director Duiven provided an update on the Station Area Specific Plan process and discussed upcoming agenda items for the Planning Commission and City Council meetings.

8. ADJOURNMENT

The meeting adjourned at 7:18 p.m.

Scott M. Duiven, Secretary

Conor McKay, Chair



**CITY OF HEALDSBURG
PLANNING COMMISSION
AGENDA STAFF REPORT**

MEETING DATE: June 9, 2026

SUBJECT: 444 Healdsburg Avenue Workshop to review a live/work development.

PREPARED BY: Ellen McDowell, Senior Planner

RECOMMENDED ACTION(S):

The Planning Commission will conduct a workshop to receive a presentation from the applicant regarding their proposal to construct a live/work development consisting of two individual work spaces and a living space in approximately 2,280 square feet, receive public input, and provide informal feedback to the applicant and City staff. No official action will be taken.

BACKGROUND:

As part of a previous entitlement, an Historic Resource Evaluation (HRE) for the property at 444 Healdsburg Avenue was completed. The HRE concluded that the 1936 storefront commercial building and associated landscape does not meet the eligibility requirements for listing on the California Register of Historic Resources (CRHR) and is not currently listed on any national, state, or local register of historic resources.

PLANNING COMMISSION WORKSHOP:

The City of Healdsburg Planning Commission By-Laws allow the Planning Commission to conduct a workshop to discuss a specific subject. The Planning Commission By-Laws require an opportunity for the public to speak.

Planning staff has scheduled the workshop at the applicant's request to receive the Planning Commission's feedback on the proposed design for 444 Healdsburg Avenue prior to submitting to the City for formal Design Review. The workshop provides an informal opportunity to discuss design concepts and provide guidance on meeting community goals.

The applicant will be at the workshop to describe and discuss the proposed design. They will discuss the various considerations that informed the proposed siting and design of the project. The Planning Commission may provide its general nonbinding comments on the suitability of the development concepts for this project. No formal action will be taken by the Planning Commission. The opportunity for public comment should be provided before the Planning Commission members comment on the project.

Following the Planning Commission workshop, the applicant will have an opportunity to modify the project and submit revised plans, based on input received, to the Community Development Department for formal review. Prior to acting on the Design Review application the Planning Commission will receive a thorough analysis of the project's consistency with applicable policies

and regulations along with a staff recommendation regarding project findings and conditions of approval.

PROJECT DESCRIPTION:

Conceptual plans have been submitted by the applicant which include a live-work building proposed to retain and remodel the existing structure which will house a living area and two separate workspaces and add an approximate 631 square foot second story. The conceptual plans include a garden along Healdsburg Avenue to include native plants, paths, and temporary art installations. A project description is included as Attachment 1, and conceptual plans that include detailed floor plans and building elevations are included as Attachment 2.

CITYWIDE DESIGN GUIDELINES:

On February 20, 2018 the City Council adopted Citywide Design Guidelines. The project is located within Character Area 5: Downtown Core. This character area is defined by Mill Street to the south, Vine Street to the west, Piper Street to the north, and East Street to the east.

Key Design Objectives specific to Character Area 5: Downtown Core are as follows:

- Maintain current character
- Place a building very close to or at the back of sidewalk, with 0' or minimal side setbacks
- Where a small setback is provided, it should be designated as an active amenity space
- Orient buildings to face the street
- Encourage building heights of two and three stories
- Reflect traditional building widths in the design of a larger building
- Utilize flat roof forms or forms that are compatible with flat roofs
- Maximize transparency, especially along the ground floor
- Utilize materials that are compatible with existing buildings such as stucco

DESIGN REVIEW PROCESS:

Through the Design Review process, the Planning Commission is tasked with ensuring that new development is attractive and enhances the appearance of the community, that the best possible traffic circulation is obtained, that the design and layout of new development is in scale and character with surrounding uses, and that new development complies with the Healdsburg General Plan and the Land Use Code.

In order to approve the Design Review applications, the Planning Commission must make the following findings:

1. The proposed development or use is consistent with all applicable policies and requirements of the General Plan and Land Use Code.
2. The proposed design of the development or use, and all appurtenant structures, is consistent with the policies set forth in the Citywide Design Guidelines, as may be amended from time to time.
3. The proposed development or use is consistent with the purposes of the zoning district in which it is located.
4. The proposed development or use is consistent with all other conditions imposed by the planning commission or City Council with respect to any matter related to the purpose of design review.

If a formal project is submitted to the City for Design Review, staff will review for consistency with the Land Use Code, General Plan and Citywide Design Guidelines.

ENVIRONMENTAL REVIEW:

The workshop discussion is not a “project” pursuant to the California Environmental Quality Act (CEQA) Guidelines because the item for discussion does not involve an action and therefore no environmental determination is required. A project specific environmental analysis will be conducted when a formal application is submitted for review.

ATTACHMENT(S):

1. Project Description
2. Project Plans

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I. PROJECT DESCRIPTION

EXISTING CONDITIONS:

History (taken from Phase 1 Environmental Report prepared by Edd Clark & Associates):

- The land use surrounding the site was historically a mix of residential, retail and commercial and light industrial, much as it remains today.
- Previously, the site was owned by Mr. Arthur C. Rafanelli, and was under ownership by the Rafanelli family since approximately the late 1960s.
- Available historical information indicates that the property was first developed in at least the early 1920s as an automotive repair shop/garage and for residential use. Although historical information is not readily available for the site prior to 1923, information indicating development of the surrounding areas beginning in at least the late 1800s would make it likely that the site development history pre-dates 1923.
- The automotive repair shop and dwelling, indicated on the site in 1923, both appear to have been razed sometime before 1936 when the current site building was constructed for use as a blacksmith shop. The blacksmith shop reportedly occupied the site until approximately the mid to late 1950s at which time a muffler shop is reported to have operated at the site until sometime in the early 1970s.
- The site sat vacant for several years after the muffler shop operations ceased. The Rafanelli family has primarily used the site for overfill storage for the adjacent Healdsburg Machine Company operations.

Construction:

The 6,378 sq ft lot is improved with a 1,653 sq ft 1-story, 16'-6" high, board-formed concrete structure. Steel framed windows, sheet metal veneer doors, Structural steel framing for now-removed roofing, and concrete parapet molding still exists. After years of vacancy, the building is in poor condition:

- Boarded-up window openings with broken or missing windows
- Fractured, uneven concrete slab floor
- Leaking roof w/ failing structure.

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Siting:

- Front yard (west): The building is set back from Healdsburg Avenue ±45'-7" by a deep service yard previously used for parking, repair of vehicles and storage of materials. The service yard is paved with concrete. After years of neglect, the concrete surface is in extreme disrepair.
- Side yard (north): An existing 10' access easement runs along the north property line the full depth of the property. The building itself is set back an additional 11" creating a 10'-11" sideyard. The access easement is paved in gravel.
- Rear yard (east): The building is set back approximately 38'-4" from the rear property line. The rear yard has been used for storage, parking/repair of vehicles and fabrication. Currently, the rear yard is covered in mulch.
- Side yard (south): The building is built to the property line (zero setback).

II. PROJECT GOALS:

The following goals informed the submitted design:

1. Create Live-Work Space: The new owners, Kenny and Erin Werner are seeking a location to create a live-work space for both of their businesses. They are intimately familiar with Healdsburg (having lived in Marin for over 30 years and frequently visited) and are eager to live and work downtown.

Erin is an established landscape designer overseeing installations in Marin and Sonoma County. She is excited to grow her business in Healdsburg. 444 Healdsburg Avenue presents a great opportunity to showcase her design with a public garden while providing a convenient space to meet clients.

After 30 successful years in finance, Kenny is leveraging his experience developing several properties to launch a real estate career. Ken is attracted to urban infill (both adaptive re-use and new construction) as well as rural projects. 444 Healdsburg Ave is ideally situated to house his real estate enterprise while providing living space in the heart of the vibrant downtown that both he and Erin love.

Together, Kenny and Erin's proposed use of the space meets Healdsburg's definition of Live-Work:

An integrated housing unit and working space, occupied and utilized by a single household in a structure that has been designed or structurally modified to

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accommodate joint residential occupancy and work activity, and which includes complete kitchen space and sanitary facilities in compliance with the City building code and working space reserved for and regularly used by one or more occupants of the unit. - Chapter 6 - Design Guidelines for Commercial Development Live/work facilities.

2. Preserve the pre-war industrial character of the existing building: Ken and Erin have always been attracted to adaptive re-use projects with an industrial/modern aesthetic. They are excited to preserve the board-formed concrete shell, steel windows, utilitarian ironwork, and steel doors that make 444 Healdsburg an attractive feature of downtown Healdsburg, even in its derelict state.
3. Create a public garden and art-space: Erin is devoted to creating accessible landscapes and giving back to the community. She is excited to create a public greenspace that invites pedestrians, clients, invited clients, and family alike. They are excited to promote local artists by featuring their work on a rotating basis in the public garden.
4. Sustainability - Creating a green-roof: Ken and Erin are excited to demonstrate the benefits of green roofs to passing motorists and pedestrians. The project will create a lovely roof garden that will hopefully encourage others to install similar green roofs in their projects. Green roofs have tremendous energy conservation and storm water management benefits.
5. Sustainability - Demonstrating that LID and green building practices can produce highest quality architecture: After developing several properties, Ken and Erin are committed to employing sustainable building practices in their project and are eager to prove that preserving existing structures, incorporating green building materials, and methods, and incorporating LID stormwater management practices contributes to the creation of landmark buildings.

III. PROPOSED WORK

- Convert the 1,653 sq ft main level of the existing concrete building into a live-work space. No addition to the building footprint is proposed.
- Add 631 sq ft upper level for a bedroom suite.

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- Add living roof at upper level.
- Create a public garden at Healdsburg Avenue including native plants, paths, benches, landscape lighting, and rotating landscape art installations.
- Create a semi-private fore-court garden that invites clients and guests into the ‘work’ portion of the building.
- Renovate the rear yard into a parking and recreation area for private use.

IV. CONFORMANCE WITH HEALDSBURG CITYWIDE DESIGN GUIDELINES:

The proposed improvements will, “maintain Healdsburg’s unique design qualities and, “support Healdsburg’s existing city plans and policies” through conformance with the following design guidelines:

OVERARCHING DESIGN PRINCIPLES (CHAPTER 3):

ACHIEVE DESIGN EXCELLENCE:

The proposed improvements express excellence in design. This includes the use of high quality, sustainable materials such as cast-in-place concrete, steel windows and doors, & extensive landscaping; utilizing high quality construction methods; and paying attention to the details of the project and its design. The thoughtful design preserves and enhances the character of Healdsburg, is sensitive to its surrounding context and creates an enjoyable pedestrian-oriented experience.

ENHANCE THE PUBLIC REALM

The project will contribute to enhancing the public realm. The dramatic structure and accessible public garden will provide visually interesting and engaging architecture, and inviting public spaces.

MAINTAIN HEALDSBURG’S SMALL TOWN CHARACTER:

Healdsburg’s charm is enhanced by its small-town character that is established through a picturesque downtown, a variety of historic resources and through its walkable core. The proposed development will reflect and enhance this small-town character by creating design that enhances the public realm (public sculpture garden), that is appropriately scaled to its context (preserve existing 1-story concrete structure) and that provides pedestrian-focused

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features (public sculpture garden). Preserving the existing concrete structure will preserve a valuable piece of Healdsburg's built history.

DESIGN FOR COMPATIBILITY AND RESPOND TO CONTEXT:

The proposed improvements are sensitive to the existing built environment and are designed to contribute to a cohesive built environment through the use of scale, massing, form, materials and other features. The project embraces Healdsburg's eclectic mix of historic building and modern design to create an adaptive re-use project that is at once forward looking (modern forms) and custodial of the past (re-use of existing structure and use of historic materials such as steel and concrete in both historic and modern ways).

ENCOURAGE CREATIVITY:

The proposed project explores new ways of designing buildings (roof garden, cantilevered roof forms and deck), new ways to incorporate materials (existing steel structure at front yard and back yard re-purposed as sun shades) and new ways to make development sustainable (living roofs, urban gardens) while contributing to a cohesive urban fabric in a compatible manner.

MAXIMIZE CONNECTIVITY WITHIN A PROJECT:

The proposed improvements contribute to establishing a circulation system between the project and the public realm. Clearly distinguished and easily accessible pathways connect the live-work space to the public realm. The public garden transitions through an over-sized gate to a semi-public courtyard for clients and guests, which then leads to the private work spaces and eventually back to the private living space. Vehicular-pedestrian conflicts and interruptions to public sidewalks are avoided. The large curb cut at the front of the project will be removed. Only the narrow parking access curb cut at the north side of the project will be preserved.

SUPPORT A WALKABLE AND BIKABLE HEALDSBURG:

The proposed project will support the active use of transportation such as biking and walking. The public garden with seating will provide a welcome rest-stop for walkers and bikers. Bike parking will be provided for guests to the garden and to the live-work spaces.

PROMOTE PRESERVATION AND ADAPTIVE REUSE OF HEALDSBURG'S HISTORIC RESOURCES:

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While the existing structure is not a designated historic resource, its forms and materials harken back to the early industrial days of Healdsburg's history. This adaptive re-use project preserves the historic structure and gives new life to a building that evokes Healdsburg's past as the buckle of California's prune belt.

ENHANCE THE BUILT ENVIRONMENTS RELATIONSHIP WITH HEALDSBURG'S NATURAL RESOURCES:

The proposed improvements orient to natural features and create public spaces that are enhanced by natural features. The public garden and green roof leverage the existing street trees and green-belt in front of the adjacent parking lot to create a park-like feel in the midst of the urban core.

DESIGN FOR SUSTAINABILITY

This proposal promotes sustainability in a variety of ways including reducing energy consumption, conserving resources, minimizing environmental impacts, and utilizing sustainable materials. The overall design of the development utilizes passive design strategies such as green roofs, skylight daylighting, and installation of permanent sunshades to maximize sunlight and cross-ventilation while minimizing heat gain. These improvements also mitigate storm water run-off.

MINDFUL OF DEVELOPMENT CONSTRAINTS

The Design Guidelines are mindful that the guidelines enumerated in the document must be considered individually within the context of each projects zoning/character district, proposed use and immediate neighbors/context. Not all guidelines may be relevant or completely applicable to each project.

INCREASE HOUSING DENSITY

This project proposes to increase housing density on the lot from 0 to 6.8 units/acre. This is below the Healdsburg General Plan's recommends housing density of 10-16 units per acre in the CD district. This is the highest density of any land use zone. The proposed 6.8 units/acre satisfies the requirements for Medium High Density Residential (6-12 units /acre). The proposed density allows for the adaptive re-use of the existing structure rather than demolition to free-up the space required for increased density.

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DESIGN GUIDELINES: CHARACTER AREA 5 - DOWNTOWN CORE.

The Design Guidelines locate this project at the extreme north of Character Area 5 - Downtown Core. This district is described:

As the historic center and current central business district, this Character Area is home to restaurants, stores, hotels, galleries, tasting rooms and many other functions. Buildings are typically built to the back of the sidewalk, with 0' side setbacks, creating a strong street wall; however, some buildings in this Character Area have small front or side setbacks that create open, outdoor amenity spaces. These occasional nooks and crannies add to the unique character of downtown Healdsburg. Buildings also create a high-level of pedestrian interest at the ground-floor level.

While this site shares many of these attributes (and the proposed improvements seek to reinforce them) the location of buildings at the back of the sidewalk is not a common characteristic of the immediate neighbors. Open front yards, large public parking, and car dealership display define the neighboring properties. 444 Healdsburg Ave is located at the very northern edge of the Downtown Core district where it adjoins Character Area 6: Healdsburg Corridor. This zone has a more residential feel with single family detached homes and detached commercial buildings, many with parking in the front.

GUIDELINE 6.1: The proposed improvements are placed to create a safe, interesting and comfortable pedestrian environment.

GUIDELINE 6.2: The proposed improvements promote pedestrian activity. The garden's benches and sculpture invite the public. The commercial activity (landscape design and real estate) will generate pedestrian traffic. The park is, 'transparent' up to the privacy wall that allows a glimpse of the more private live-work spaces beyond.

GUIDELINE 6.3: The front yard of the structure is designed as a public amenity.

GUIDELINE 6.4: The existing and proposed building and garden is oriented towards the public realm. The inviting garden and primary entry faces the street.

GUIDELINE 6.5: Not applicable.

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GUIDELINE 6.6: There are no secondary structures proposed.

GUIDELINE 6.7: Pedestrian connection between the public realm (sidewalk) and site (live-work space) is provided via an inviting garden and landscaped path.

GUIDELINE 6.8: Pedestrian and bike connections to the site are provided. The public are invited to explore the garden where they may park their bikes at the sidewalk (2 new bike parking spaces provided). Clients and guests may also park their bikes in the front courtyard (2 new bike parking spaces provided).

GUIDELINE 6.9: Not applicable to project of this scale

GUIDELINE 6.10: The proposed design minimizes pedestrian and vehicular conflicts by maintaining the existing 1-lane curb-cut at the existing access easement and removing the 2-lane curb-cut at the center of the property.

GUIDELINE 6.11: Not applicable to project of this scale

GUIDELINE 6.12: Not applicable to project of this scale

GUIDELINE 6.13: The location of the proposed public garden / outdoor place is designed to maximize its use and visibility.

GUIDELINE 6.14: Clear connection between garden and building entry provided by landscaped pathway.

GUIDELINE 6.15: Outdoor places are furnished with benches, art, furniture, landscaping, lighting, and pathways to encourage their use.

GUIDELINE 6.16: Rooftop garden and deck are located to maximize views and provide an example of sustainable design practices.

GUIDELINE 6.17: Rooftop mechanical equipment is hidden from public view.



GUIDELINE 6.18: The roof is designed as a deck and garden with no visually impermeable structures.

GUIDELINE 6.19: Rooftop lighting will be; focused on the roof garden and deck only, subordinate to the building on which it's placed, considerate of adjacent properties, and shielded dark-sky-compliant downlights.

GUIDELINE 6.20/6.21: Surface parking is located behind the building (at the interior of the lot) and is screened from public view by a gate, fence and landscaping.

GUIDELINE 6.22: Not applicable for a project of this size. Parking is for live-work residents only.

GUIDELINE 6.23: LID principles applied: Permeable paving installed throughout, planted areas slow run-off, Trees to provide shade.

GUIDELINE 6.24-6.26 (Parking Structure): Not applicable for a project of this size.

GUIDELINE 6.27: Mature trees preserved. No mature trees will be removed.

GUIDELINE 6.28: Native, drought-tolerant plants will be used throughout to create a sense of continuity on the site.

GUIDELINE 6.29: Landscaping will be used to define and enhance pedestrian facilities such as sidewalks and benches. Landscaping also used for stormwater management.

GUIDELINE 6.30: Existing street trees to remain define the street edge.

GUIDELINES 6.31 - 6.34: Fences are proposed to define the circulation system and delineate the public from private and semi-public spaces. Fences are constructed of durable material (concrete, steel/reclaimed wood) to match the existing structure and will be durable and

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attractive. The existing chain link fence will be removed. Board formed concrete fronted by landscaping and signage is proposed for visual interest and to avoid large, blank surfaces.

GUIDELINE 6.35, 6.36: All new exterior site-lighting is scaled to reflect its purpose and will be shielded to avoid glare. Soft, downlights are proposed at the pathways for pedestrian safety. Exterior lighting fastened to the building at the ground level will only be located at entry points, and will be controlled by motion sensors so that it is off when not needed. Exterior lighting at the roof deck will be dark-sky compliant and only operates when the roof deck is occupied.

GUIDELINES 6.37 - 6.39: All utility/service areas will be located at the rear of the property and not visible by the public. Trash areas will be designed to minimize run-off.

GUIDELINE 6.41: The project is designed to express human scale. The new upper level is set back from the existing building parapet to delineate the improvements from the 'historic' structure. This creates a very humanly scaled building.

GUIDELINE 6.42: The proposed improvements retain the existing building's form and scale and are compatible with the neighborhood.

GUIDELINES 6.43 - 6.45: Not applicable to this project.

GUIDELINE 6.46: The building is designed to create street level interest. The public garden will be a destination for those who appreciate public art or are just looking for a lovely place to sit and spend a moment enjoying a natural setting within historic Healdsburg. The art featured in the garden will vary. The owners are considering placing educational panels describing the artists and native plants featured in the garden.

GUIDELINES 6.47 - 6.49: The building entry is designed to be clearly identifiable, is authentically functional, and is sized to stand out visually (but not be out of proportion).

GUIDELINE 6.50: Not applicable.

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GUIDELINES 6.51 - 6.54: Existing window and door openings are to be infilled/replaced with those having profiles and glazing matching historic steel windows and doors. The existing sizes are monumental (yet humanely scaled), follow a regular rhythm, and provide deep shadow lines. New windows at the new upper window will match the scale and materials of the 'historic' main level.

GUIDELINE 6.55 - 6.57: The proposed new roof is clearly identifiable as a new feature covering the new story added to the 'historic' concrete structure. It is relatively 'flat' and is subordinate to the existing structure. The new roof creates a dramatic shaded roof deck.

GUIDELINES 6.58 - 6.60: Exterior materials will match the existing palette found on site: concrete, steel framing, weathered sheet metal, glass, and weathered wood. These materials convey a sense of human scale, are compatible with the existing structure and surrounding buildings, and are identifiable as being authentic to Healdsburg.

GUIDELINE 6.61, 6.62: Not applicable - no storefront proposed. However, the workspaces will have historic, monumental metal doors and windows which allow almost complete transparency between the courtyard and interior spaces. The 8' high concrete wall between the public garden and the courtyard provides privacy for these workspaces.

GUIDELINE 6.63, 6.64: The proposed second story addition is subordinate/set back from the existing structure and does not pretend to be original structure but is compatible.

GUIDELINE 6.65: The proposed improvements respect and retain the original design. All original elements of the existing structure except the failing roof, chain link fence, and large concrete parking area in the front will be retained.

GUIDELINE 6.66: Building equipment and service areas will be screened from public view.

GUIDELINE 6.67, 6.68: Not applicable to project of this scale.

GUIDELINE 6.69 - 6.73: Proposed signage will be fabricated from weathered steel, a durable, living material that is found on the existing structure. Signage will be; subordinate to the

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existing structure, simple text (no images), monochromatic (except for variations in weathered steel), and will highlight/accent the board formed concrete wall on which it is mounted. Signage will be backlit to avoid glare and light spillage.

GUIDELINE 6.74: The proposed wall signs will align with each other, will be similar to other signs in the area, and will not be more prominent than architectural features on the existing building.

DESIGN GUIDELINES FOR ALL DEVELOPMENT TYPES

GUIDELINE 7.1: Extensive landscaping at grade, and at roof deck is used to reduce the need for heating and cooling.

GUIDELINE 7.2: Local, recycled, heat reflective materials are specified for the project. The project is adaptive re-use which conserves materials and avoids waste.

GUIDELINE 7.3: Building features that conserve energy include:

- High performance glazing with sunshades that allow natural light in, but avoid heat gain/loss.
- Ultra-high-efficiency heat pump heat/cool and tankless water heater save energy.
- Solar power and battery back-up reduce energy demand.

GUIDELINE 7.4: Proposed improvements re-use existing structure including exterior walls, and structural steel. Wood salvaged from roof will be used to create sunshades.

GUIDELINE 7.5: Not applicable to project of this size.

GUIDELINE 7.6: Building and public spaces are sited to maximize exposure to winter sun and protection/shade from summer sun.

GUIDELINE 7.7, 7.8: Solar power will be unobtrusively incorporated in the design.

GUIDELINE 7.9-7.16: Pre-development hydrologic characteristics maintained. Landscape and drainage will be coordinated to promote infiltration and filtration of pollutants. The proposed

444 Healdsburg Avenue
Healdsburg, CA 95448
Project Description



5.7.26

drainage pattern will work in concert with existing adjacent run-off system to improve storm water control. LID features including permeable paving, green roof, and encouraging bike and walking transportation will be incorporated in project. The large, concrete parking area will be replaced with permeable landscape and hardscape that promotes filtration and infiltration. All installed LID elements will be maintained so that they function as designed.

GUIDELINES 7.17 - 7.20: Durable public art that enhances the pedestrian experience and the proposed structure is incorporated into the project design. Benches and landscaped paths are proposed to accommodate pedestrians.

GUIDELINE 7.20-7.24: Not applicable

GUIDELINE 7.25, 7.26: With zero new grading, low slope roof, low building height, and flat lot, the proposed improvements conform to site topography guidelines.

GUIDELINES 7.27-7.31: Two proposed bike rack locations, pedestrian paths and benches encourage bike and foot traffic complying with guidelines 7.27 through 7.31.

GUIDELINES 7.32- 7.36. No heritage trees are located on site, and no trees are proposed to be removed. This project proposes the addition of several large canopy trees to provide shade and visual interest.

GUIDELINES 8.1-8.67: While the existing structure on the site is not designated as a historical resource, the building is attractive and an artifact of Healdsburg's past. The proposed improvements preserve the existing structure and replaces/restores existing window and door openings with windows and doors to match the original steel fenestration. The new upper level will be visually separate from the existing structure but will use the same palette of materials used in more modern forms. By so doing the proposed improvements comply with guidelines.

GUIDELINES 9.1-9.4: Not applicable

GUIDELINES 9.5-9.7: Proposed paving materials fit the established palette of hardscaping and are permeable.

444 Healdsburg Avenue
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GUIDELINES 9.8-9.13, 9.14-9.16, 9.17-9.19: Not applicable

V. NEIGHBOR OUTREACH:

Erin and Ken have discussed their adaptive re-use plans with their immediate neighbors. The reaction has been universally positive. We are looking forward to reviewing the project with all neighbors at the design review hearing.

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ARCH REG #: C-27667

REMODEL AND ADDITION
FOR KENNY AND ERIN WERNER

444 HEALDSBURG AVE

HEALDSBURG, CA 95448
APN: 002-171-013-000

ISSUE DATE

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NORTH ARROW

SHEET TITLE

TITLE PAGE

A1

PROJECT DESCRIPTION	CONVERT ABANDONED AUTO GARAGE TO LIVE-WORK SPACE: <ul style="list-style-type: none"> CHANGE IN USE FROM I (INDUSTRIAL) TO R2 (LIVE-WORK) CONVERT ABANDONED 1-STORY STRUCTURE TO 2-STORY STRUCTURE IN SAME FOOTPRINT PRESERVE EXTERIOR WALLS AND EXTERIOR METAL WORK OF EXISTING STRUCTURE ADD NEW SECOND FLOOR WITH LIVING/BEDROOM SUITE AND ROOF DECK PRESERVE EXISTING CURB CUT AND VEHICULAR ACCESS FROM HEALDSBURG AVENUE AT RIGHT OF WAY AT NORTH EDGE OF PROPERTY PROVIDE 2 PARKING SPACES AT REAR OF BUILDING LANDSCAPE FRONT YARD FOR PUBLIC ENTRY GARDEN NEW SIGNAGE AT FRONT YARD LANDSCAPE BACK YARD FOR PRIVATE USE
PROJ. ADDRESS	444 HEALDSBURG AVENUE, HEALDSBURG, CA. 95448
APN	002-171-013-000
CBC OCCUPANCY	R2
CBC CONST TYPE	VB
# OF STORIES	2
SPRINKLER REQD	YES
PROPERTY OWNER	KENNY AND ERIN WERNER, 444 HEALDSBURG AVE, HEALDSBURG, CA 95448 TEL: 415.370.7723, EMAIL: KENNYW@HOTMAIL.COM, ERINWERNER@GMAIL.COM
ARCHITECT	MARK FISCHBACH, MARK ARCHITECTURE, 28 BLITHEDALE TERRACE, MILL VALLEY, CA 94941 TEL: 415.710.0825, EMAIL: MARK@MARKARCH.BIZ
SURVEY	ADOBE AND ASSOCIATES, 1220 N. DUTTON AVE, SANTA ROSA, CA. 95401 TEL: 707.541.2300, EMAIL: INFO@ADOBEINC.COM
TITLE 24	ROY ASI, DELTA-T ENERGY CONSULTING, 6050 COMMERCE BLVD, SUITE 203, ROHNERT PARK, CA 94928. TEL: 707.827.0253. EMAIL: ROY@DELTAENERGY.COM.
PLANNING DEPT	CITY HEALDSBURG PLANNING & BUILDING DEPARTMENT 401 GROVE STREET, HEALDSBURG, CA. 95488. TEL: 707.431.3348, EMAIL: PLANNING@CI.HEALDSBURG.CA.US

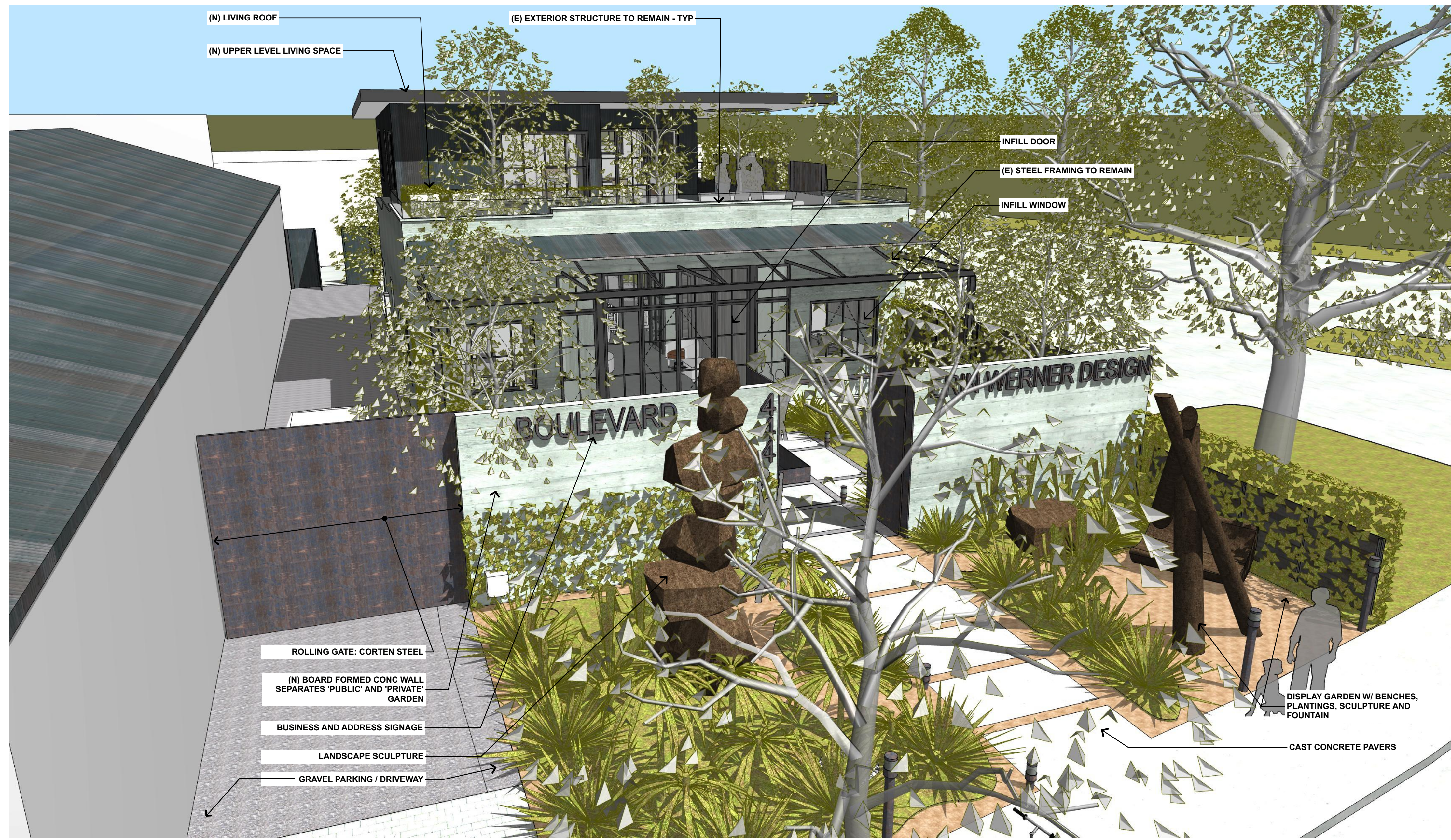
2 PROJECT DATA

	UNITS	ALLOWED	EXISTING	PROPOSED
LOT SIZE	SQ. FT.		6,378 NOTE 1	6,378 NOTE 1
EFFECTIVE LOT SIZE	SQ. FT.		6,378	6,378
ZONING			CD	CD
CHARACTER AREA (HCDG)			5 DOWNTOWN CORE	5 DOWNTOWN CORE
UNITS/ACRE	#/ACRE	10-16 UNITS/ACRE	0	6.8 NOTE 2
FLOOR AREA				
LOWEST FLOOR	SQ. FT.	6,378	1,653.4 NOTE 3	1,653.4 NOTE 3
TOP FLOOR	SQ. FT.	6,378	-	630.9
TOTAL	SQ. FT.	12,756	1,653.4 NOTE 3	2,350.8
GARAGE	SQ. FT.	0	0	0
ACCESSORY STRUCTURE(S) NUMBER AND AREA	SQ. FT.	0	0	0
SUBTOTAL FLOOR AREA	SQ. FT.		1,653.4 NOTE 1	2,350.8
MINUS FLOOR AREA EXEMPTIONS	SQ. FT.		-	-
TOTAL ADJUSTED FLOOR AREA	SQ. FT.	13,700	1,653.4 NOTE 1	2,350.8
LOT COVERAGE	SQ. FT.	6,378 / 100%	1,653.4 / 25.9%	1,653.4 / 25.9%
EXTERIOR (FRONT) SETBACK	FT.	0	45'-9"	45'-9"
SIDE YARD SETBACK	FT.	0	0'	0'
REAR YARD SETBACK	FT.	0	10'-11"	10'-11"
BUILDING HT	FT.	50'	38'-4"	24'-9"
ON-SITE PARKING SPACES		2 @ 9X19	2 @ 9X19	2 @ 9X19

- NOTES
- PUBLIC RECORDS LOT AREA = 6,850. ARCHITECT'S CALCULATED LOT AREA = 6,378
 - HOUSING DENSITY FROM HEALDSBURG GENERAL PLAN = 10-16 UNITS PER ACRE. LOT SIZE IS 6,378 SF / 43,560 = .146 ACRE. TARGET HOUSING DENSITY ON SITE = .146 ACRE X (10-16 UNITS) = 1.5-2.3 UNITS. PROPOSED UNITS PER ACRE = 1 UNIT / .146 ACRES = 6.8 UNITS/ACRE
 - PUBLIC RECORDS FLOOR AREA = 1,722 SF. SURVEY AREA = 1,653.4 SF

1 ZONING DATA

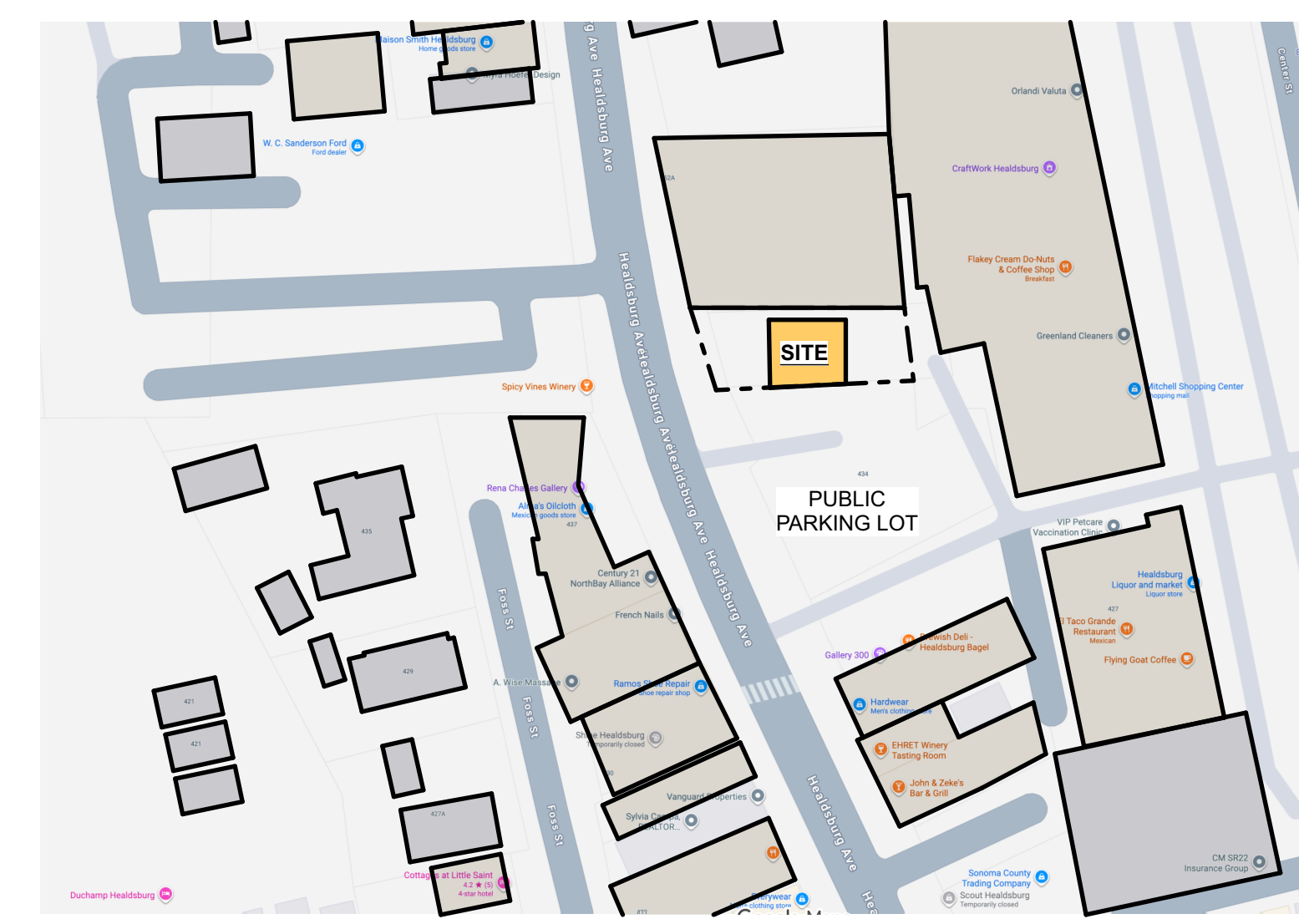
SHEET	TITLE PAGE	CONTENTS
A1	EXISTING SURVEY	
A2	EXISTING SITE PHOTOGRAPHS	
A3	EXISTING MAIN LEVEL & SITE PLAN	
A4	PROPOSED MAIN LEVEL AND SITE PLAN	
A5	ENLARGED MAIN LEVEL FLOOR PLAN	
A6	UPPER LEVEL AND ROOF PLAN	
A7	FLOOR AREA CALCULATIONS	
A8	LANDSCAPE PLAN	
A9	LANDSCAPE DETAILS & TYPICAL SCULPTURE	
A10	RENDERINGS - EXTERIOR VIEWS	
A11	RENDERINGS - EXTERIOR AND ENTRY HALL	
A12	RENDERINGS - WORK SUITES	
A13	RENDERINGS - LIVING SPACE	
A14	RENDERINGS - BACK YARD	
A15	RENDERINGS - PRIMARY SUITE	
A16	RENDERINGS - ROOF DECK AND GREEN ROOF	
A17	EXTERIOR COLORS AND MATERIALS	
A18	EXTERIOR ELEVATIONS - NORTH	
A19		
A20		



5 AIREAL FROM HEALDSBURG AVE 1



4 EXISTING HEALDSBURG AVE STREETScape



3 NEIGHBORHOOD MAP SCALE: 1" = 100'



Site Bench Mark:
Set "Mag" Nail and Washer Adobe Associates, Inc. Control Point #1
Elevation=102.4' (NAVD 1988 datum)

General Notes

Property owner information is based upon that "Grant Deed" recorded under Document Number 2017-027615 of Official Records, Sonoma County Records. A field survey was performed by Adobe Associates, Inc. in June of 2017.

Property line as shown is a re-tracement of Boundary Line Agreement, DN 2024-019293. The property line shown hereon shall be confirmed and retraced upon record map and monuments set with additional field survey.

Features shown hereon are existing as of the date of the field survey performed by Adobe Associates, Inc.

Utilities shown hereon are based upon physical features observed at the time of this survey, such as paint markings, overhead wiring, utility poles, and utility boxes. For the location of under ground utilities, a subsurface utility locating company should be contacted.

Bench Mark: Found 2" Brass Disk with Punch in typical concrete well monument casing in the intersection of Grant Street and Center Street, City of Healdsburg point designation 224. Elevation = 118.96' (NAVD 1988 datum)

Site Bench Mark: Set "Mag" Nail and Washer in the pavement 0.7' westerly of the edge of the concrete gutter as shown hereon. Elevation = 102.4' (NAVD 1988 datum)

Legend:

- Electric
- FS Finished Surface
- Inv Invert Grade
- Orn Ornamental Tree
- TC Top of Curb
- TW Top of Wall
- Property Line
- Electric Box
- Fence, as noted
- Fire Hydrant
- Overhead Wires
- Utility Pole
- Drilline of trees
- Water Box
- Water Valve
- Concrete
- Gravel
- Pavement
- Spot Elevation

Revisions	No.	Date	Description	Approved

adobe associates, inc.
Civil Engineering | Land Surveying | Wastewater
1220 N. Dutton Ave., Santa Rosa, CA 95401
P. (707) 541-2300 F. (707) 541-2301
Website: www.adobeinc.com
"A Service You Can Count On!"

Site Topography
SL Art Projects, LLC
444 Healdsburg Avenue, Healdsburg Ca.
Assessor's Parcel Number 002-171-013

Aaron R. Smith
Aaron R. Smith, FLS 7901

Scale: 1" = 10'
Date: February 13, 2026
Design by: *uJ*
Drawn by: *uJ*
Checked by: *ARS*

Sheet
1
of 1 sheet
Job No. 17139



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REMODEL AND ADDITION
FOR KENNY AND ERIN WERNER
444 HEALDSBURG AVE
HEALDSBURG, CA 95448
APN: 002-171-013-000

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NORTH ARROW

SHEET TITLE
EXISTING SITE PHOTOGRAPHS

A3



INTERIOR LOOKING EAST



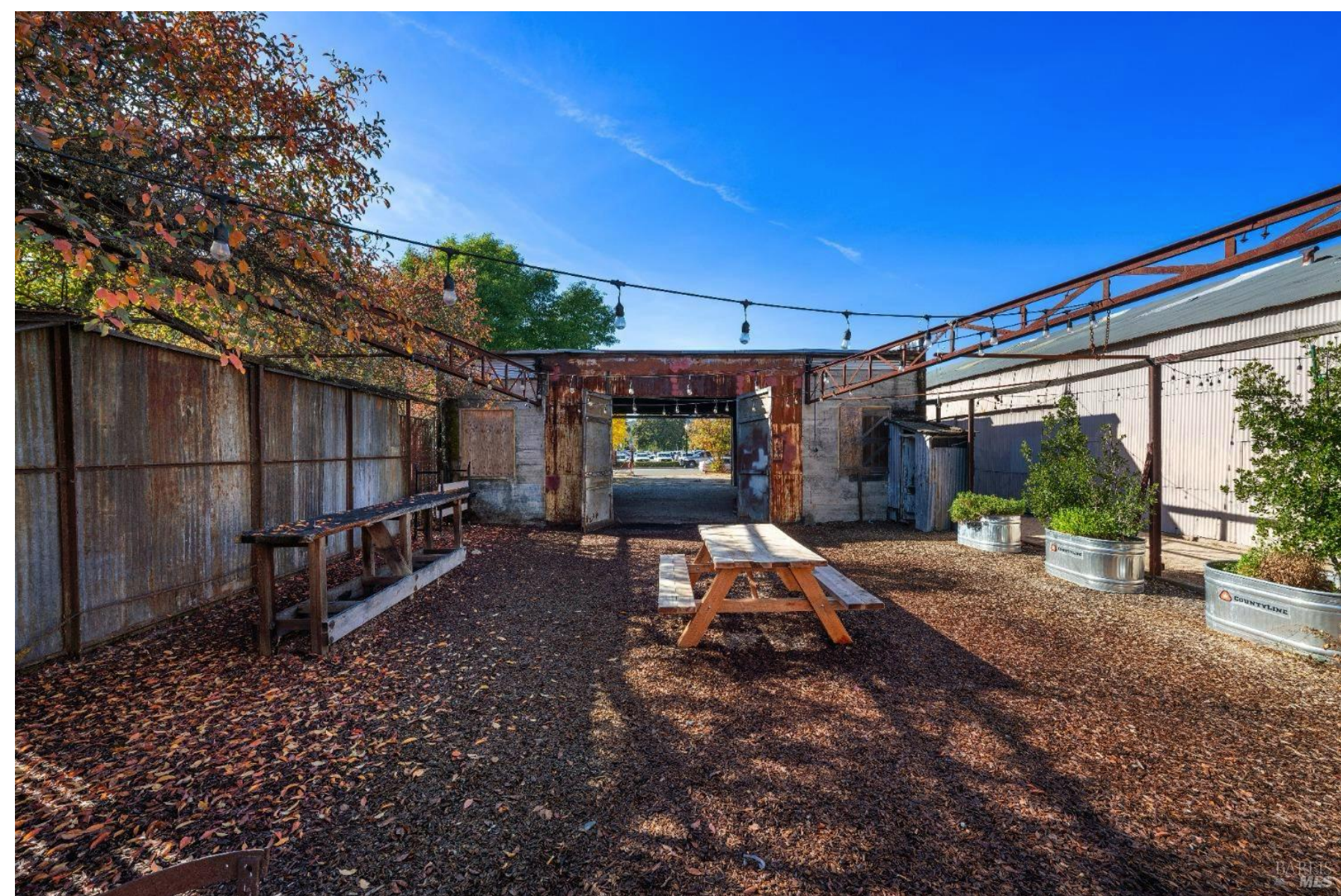
INTERIOR LOOKING WEST



INTERIOR LOOKING WEST



VIEW FROM SERVICE DRIVE TO REAR YARD



REAR YARD



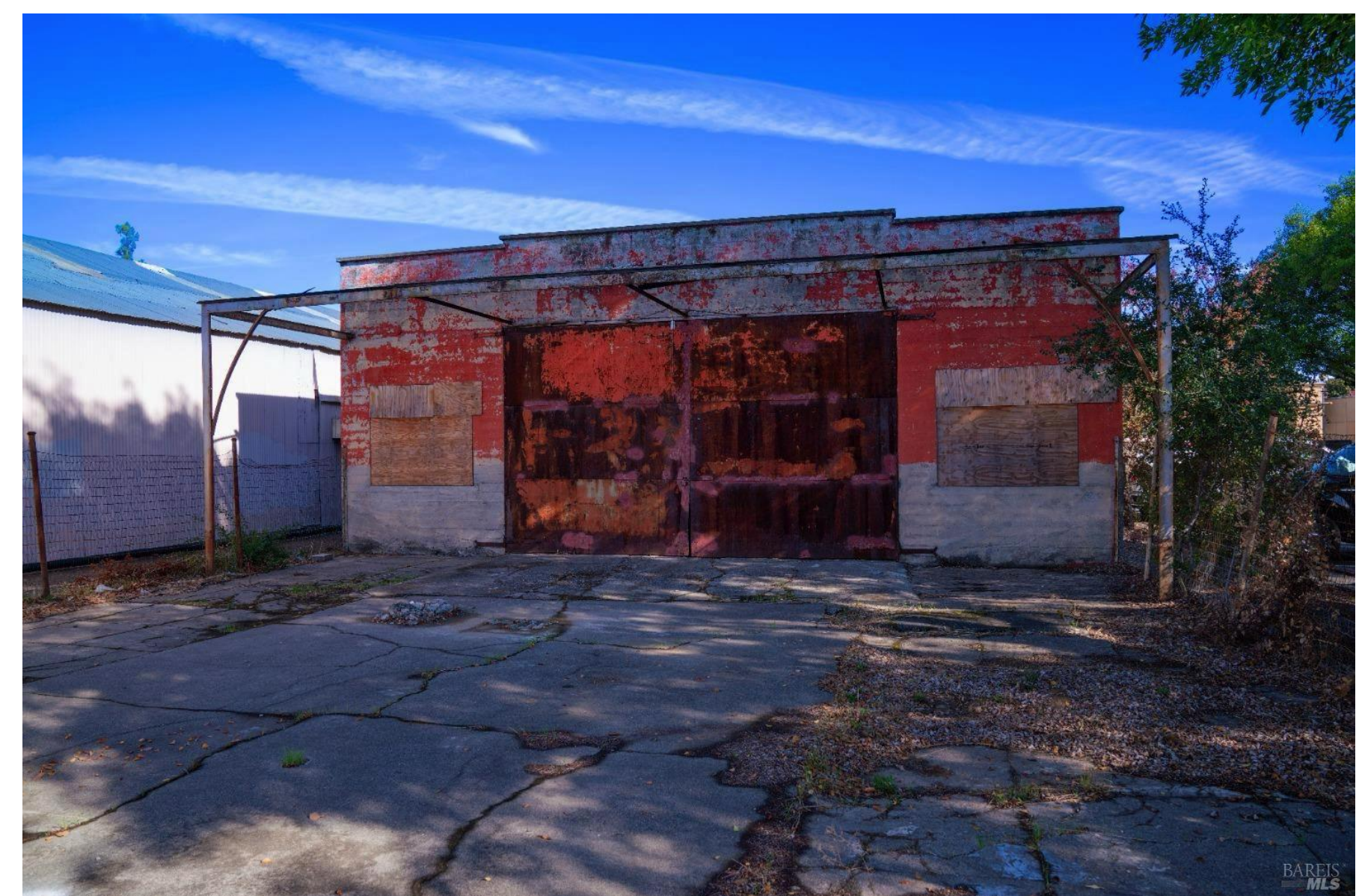
FRONT YARD FACING HEALDSBURG AVE



AIREAL PHOTO



AIREAL PHOTO



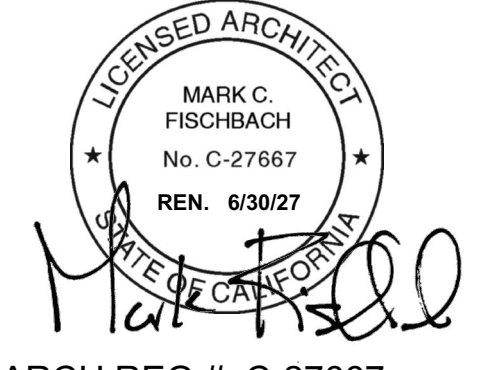
FRONT (WEST) FACADE FRONTING HEALDSBURG AVE

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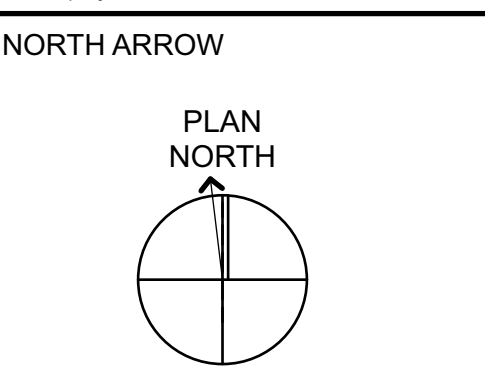
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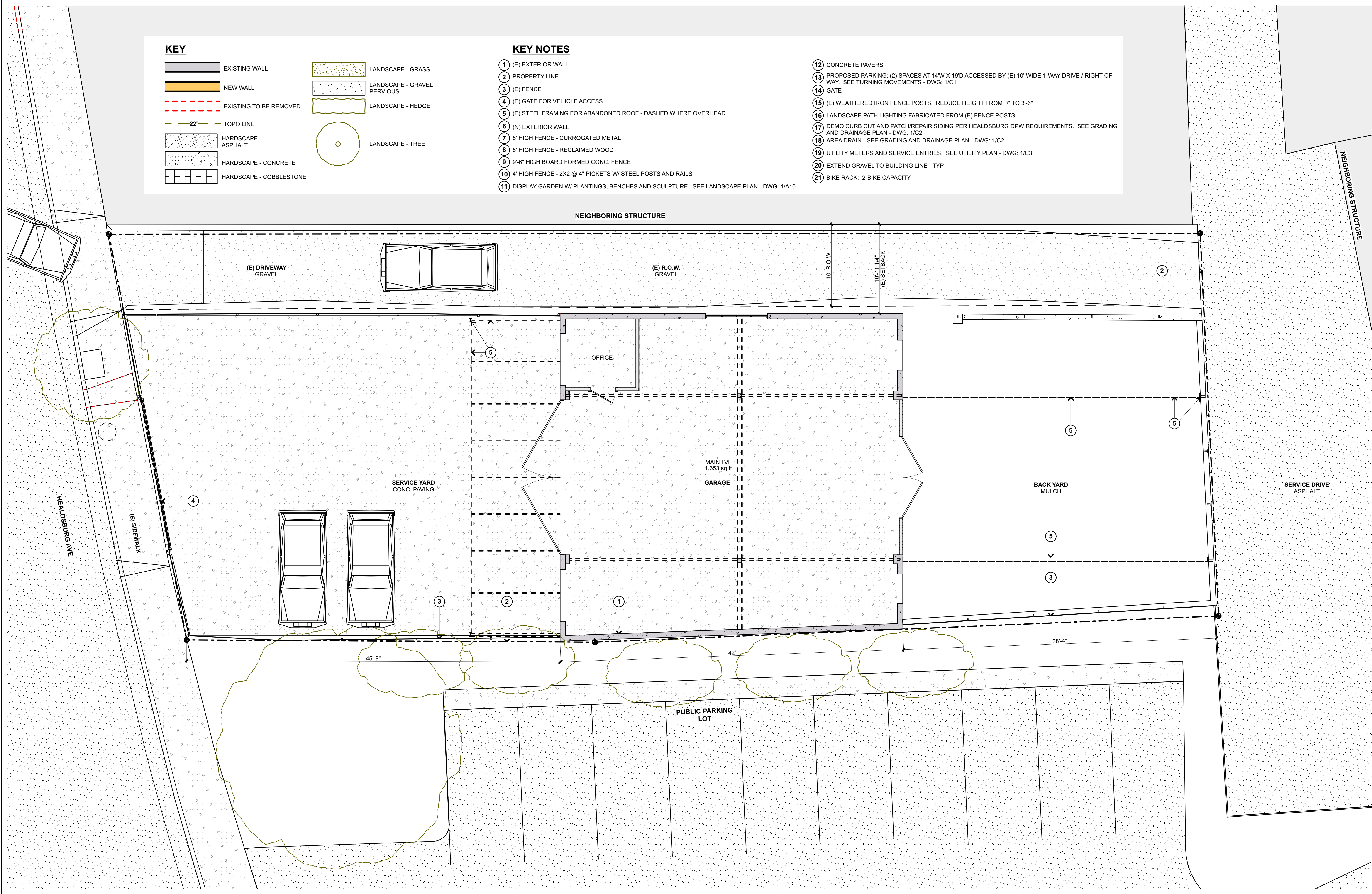
SHEET TITLE
EXISTING MAIN LEVEL & SITE PLAN

A5

KEY

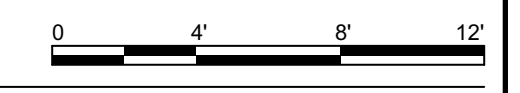
	EXISTING WALL		LANDSCAPE - GRASS
	NEW WALL		LANDSCAPE - GRAVEL PERVIOUS
	EXISTING TO BE REMOVED		LANDSCAPE - HEDGE
	22' TOPO LINE		LANDSCAPE - TREE
	HARDSCAPE - ASPHALT		
	HARDSCAPE - CONCRETE		
	HARDSCAPE - COBBLESTONE		

- KEY NOTES**
- 1 (E) EXTERIOR WALL
 - 2 PROPERTY LINE
 - 3 (E) FENCE
 - 4 (E) GATE FOR VEHICLE ACCESS
 - 5 (E) STEEL FRAMING FOR ABANDONED ROOF - DASHED WHERE OVERHEAD
 - 6 (N) EXTERIOR WALL
 - 7 8' HIGH FENCE - CORRUGATED METAL
 - 8 8' HIGH FENCE - RECLAIMED WOOD
 - 9 9'-6" HIGH BOARD FORMED CONC. FENCE
 - 10 4' HIGH FENCE - 2X2 @ 4" PICKETS W/ STEEL POSTS AND RAILS
 - 11 DISPLAY GARDEN W/ PLANTINGS, BENCHES AND SCULPTURE. SEE LANDSCAPE PLAN - DWG: 1/A10
 - 12 CONCRETE PAVERS
 - 13 PROPOSED PARKING: (2) SPACES AT 14'W X 19'D ACCESSED BY (E) 10' WIDE 1-WAY DRIVE / RIGHT OF WAY. SEE TURNING MOVEMENTS - DWG: 1/C1
 - 14 GATE
 - 15 (E) WEATHERED IRON FENCE POSTS. REDUCE HEIGHT FROM 7' TO 3'-6"
 - 16 LANDSCAPE PATH LIGHTING FABRICATED FROM (E) FENCE POSTS
 - 17 DEMO CURB CUT AND PATCH/REPAIR SIDING PER HEALDSBURG DPW REQUIREMENTS. SEE GRADING AND DRAINAGE PLAN - DWG: 1/C2
 - 18 AREA DRAIN - SEE GRADING AND DRAINAGE PLAN - DWG: 1/C2
 - 19 UTILITY METERS AND SERVICE ENTRIES. SEE UTILITY PLAN - DWG: 1/C3
 - 20 EXTEND GRAVEL TO BUILDING LINE - TYP
 - 21 BIKE RACK: 2-BIKE CAPACITY



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1 MAIN LEVEL AND SITE PLAN - EXISTING
SCALE: 3/16" = 1'-0"





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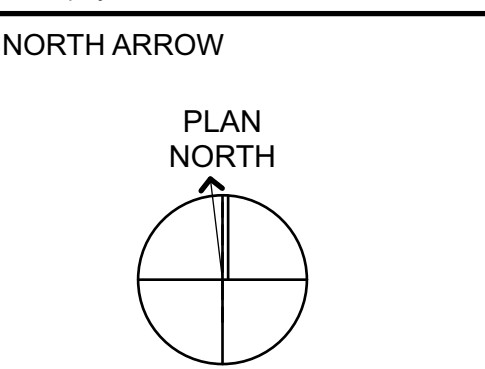
ARCH REG #: C-27667

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APN: 002-171-013-000

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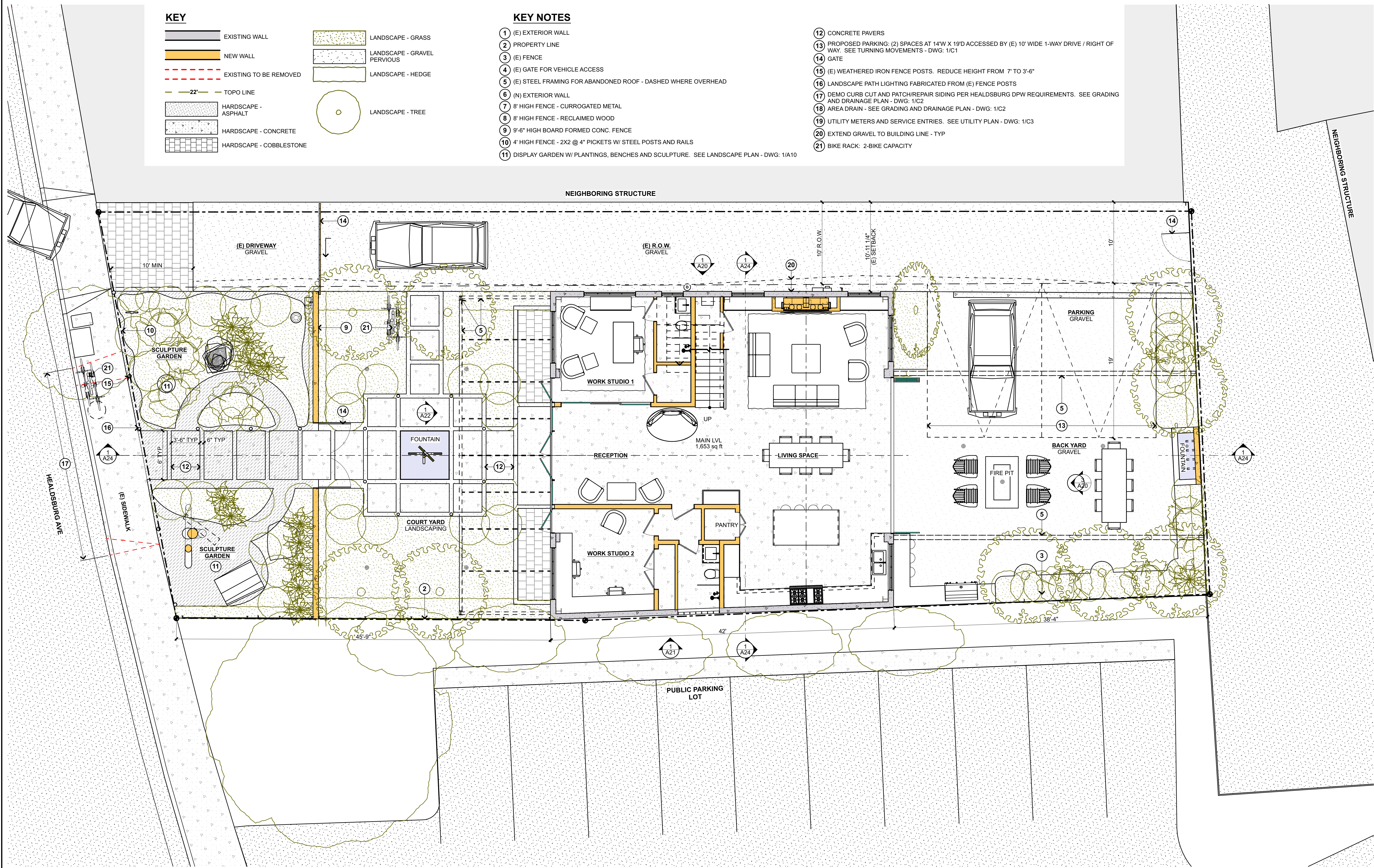
SHEET TITLE
**PROPOSED
MAIN LEVEL AND
SITE PLAN**

A6

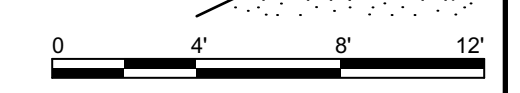
KEY

	EXISTING WALL		LANDSCAPE - GRASS
	NEW WALL		LANDSCAPE - GRAVEL PERVIOUS
	EXISTING TO BE REMOVED		LANDSCAPE - HEDGE
	22' TOPO LINE		LANDSCAPE - TREE
	HARDSCAPE - ASPHALT		
	HARDSCAPE - CONCRETE		
	HARDSCAPE - COBBLESTONE		

- KEY NOTES**
- 1 (E) EXTERIOR WALL
 - 2 PROPERTY LINE
 - 3 (E) FENCE
 - 4 (E) GATE FOR VEHICLE ACCESS
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 - 20 EXTEND GRAVEL TO BUILDING LINE - TYP
 - 21 BIKE RACK: 2-BIKE CAPACITY



1 MAIN LEVEL AND SITE PLAN - PROPOSED
SCALE: 3/16" = 1'-0"



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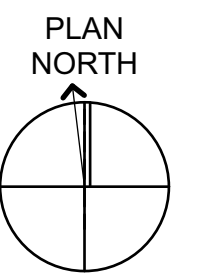
REMODEL AND ADDITION
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ISSUE DATE
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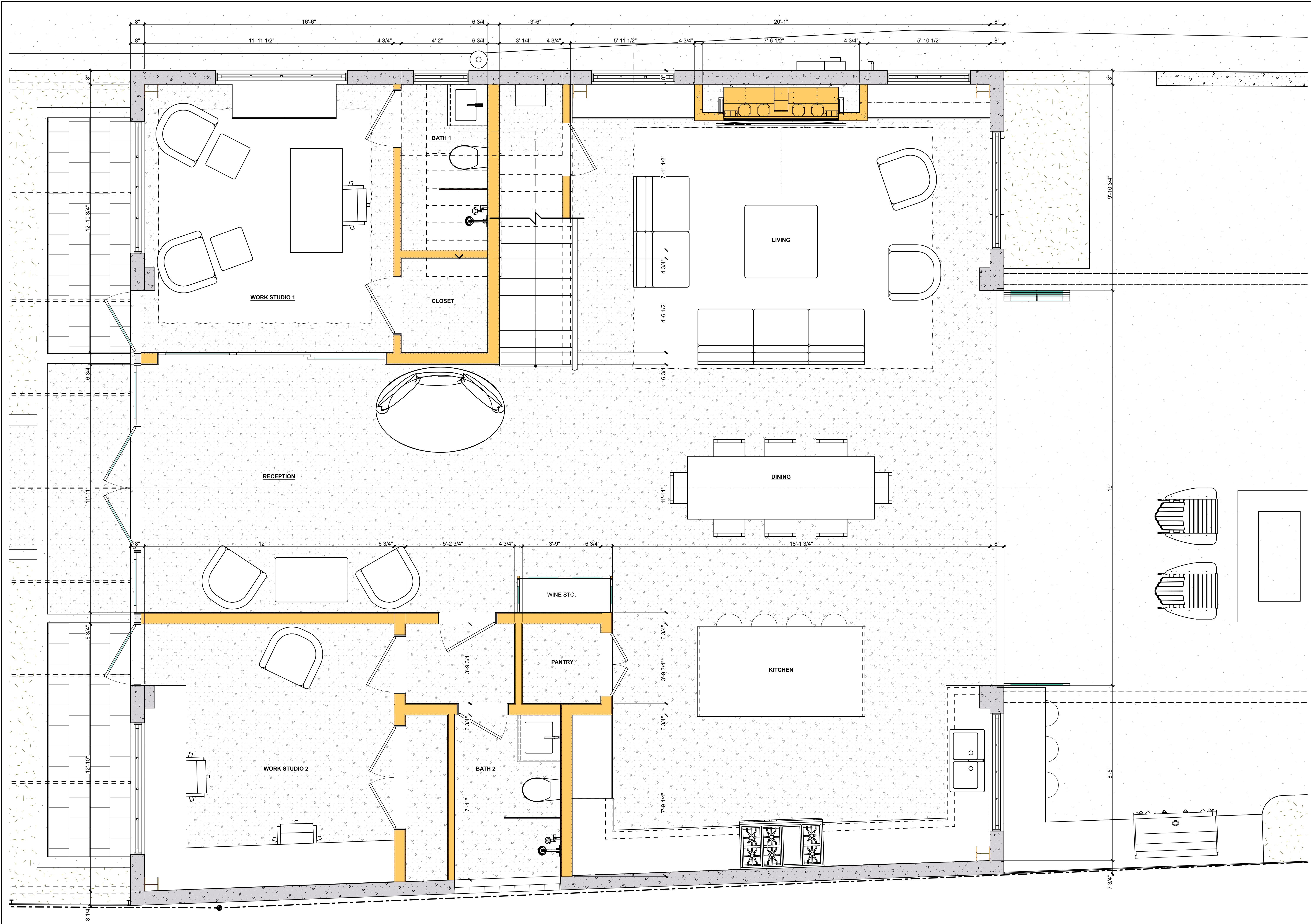
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NORTH ARROW



SHEET TITLE
**ENLARGED MAIN
LEVEL FLOOR
PLAN**

A7



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1 ENLARGED MAIN LEVEL PLAN
SCALE: 1/2" = 1'-0"





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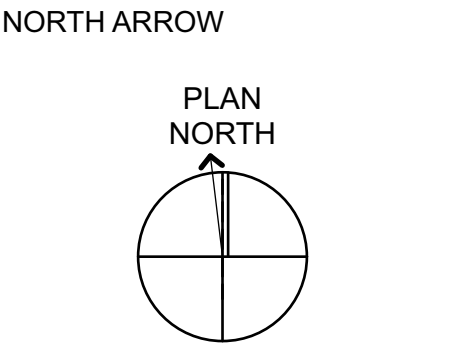
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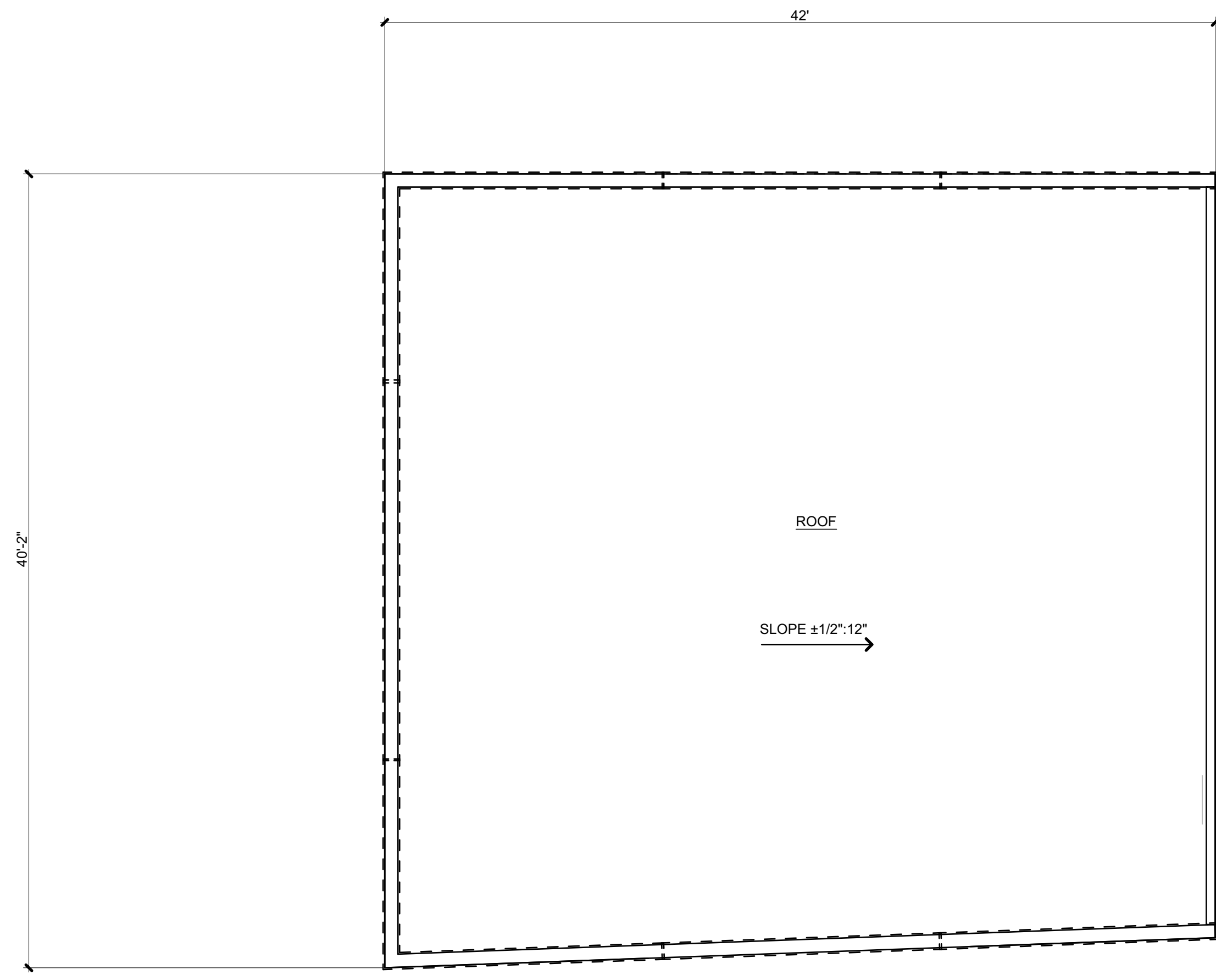
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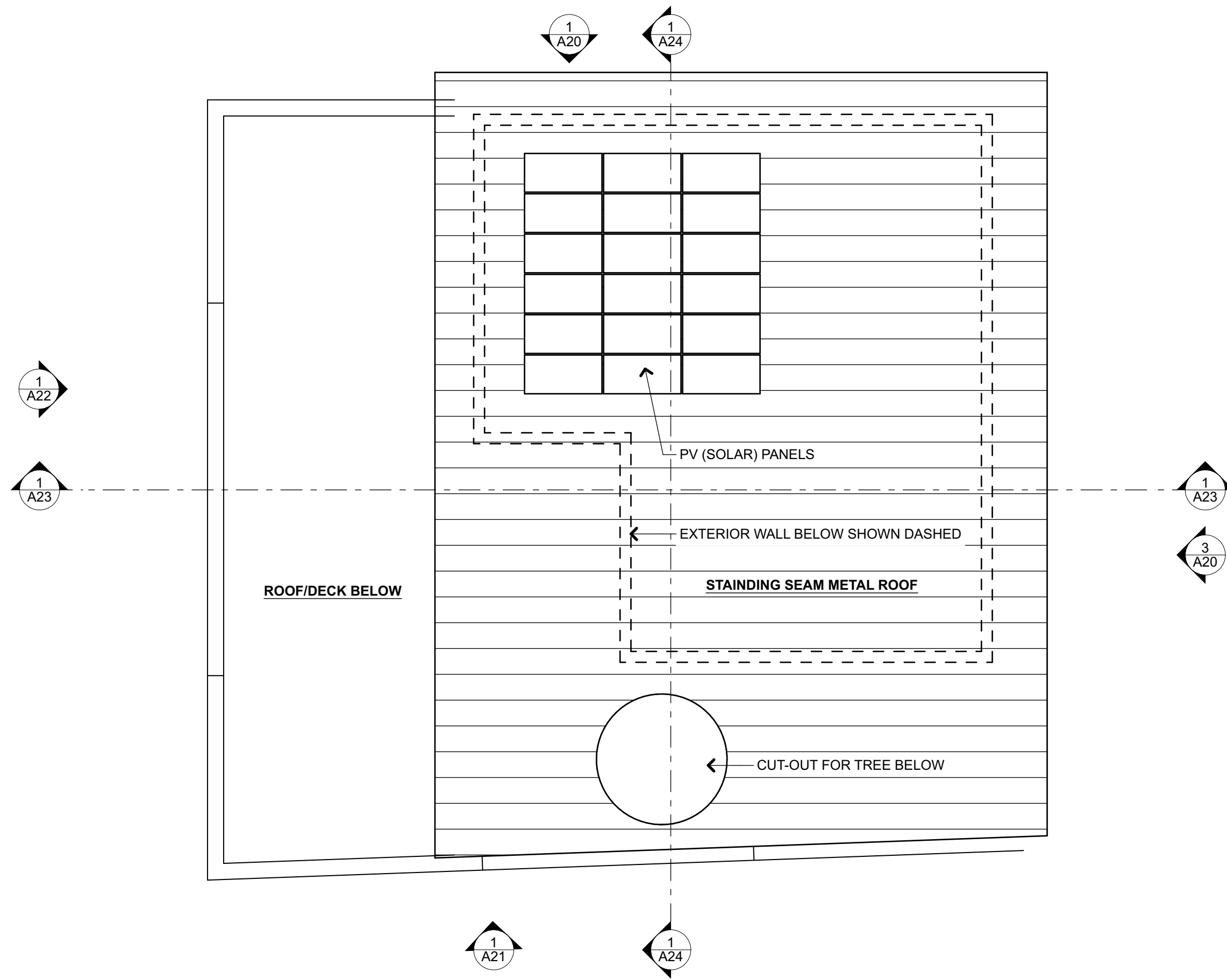


SHEET TITLE
**UPPER LEVEL
AND ROOF PLAN**

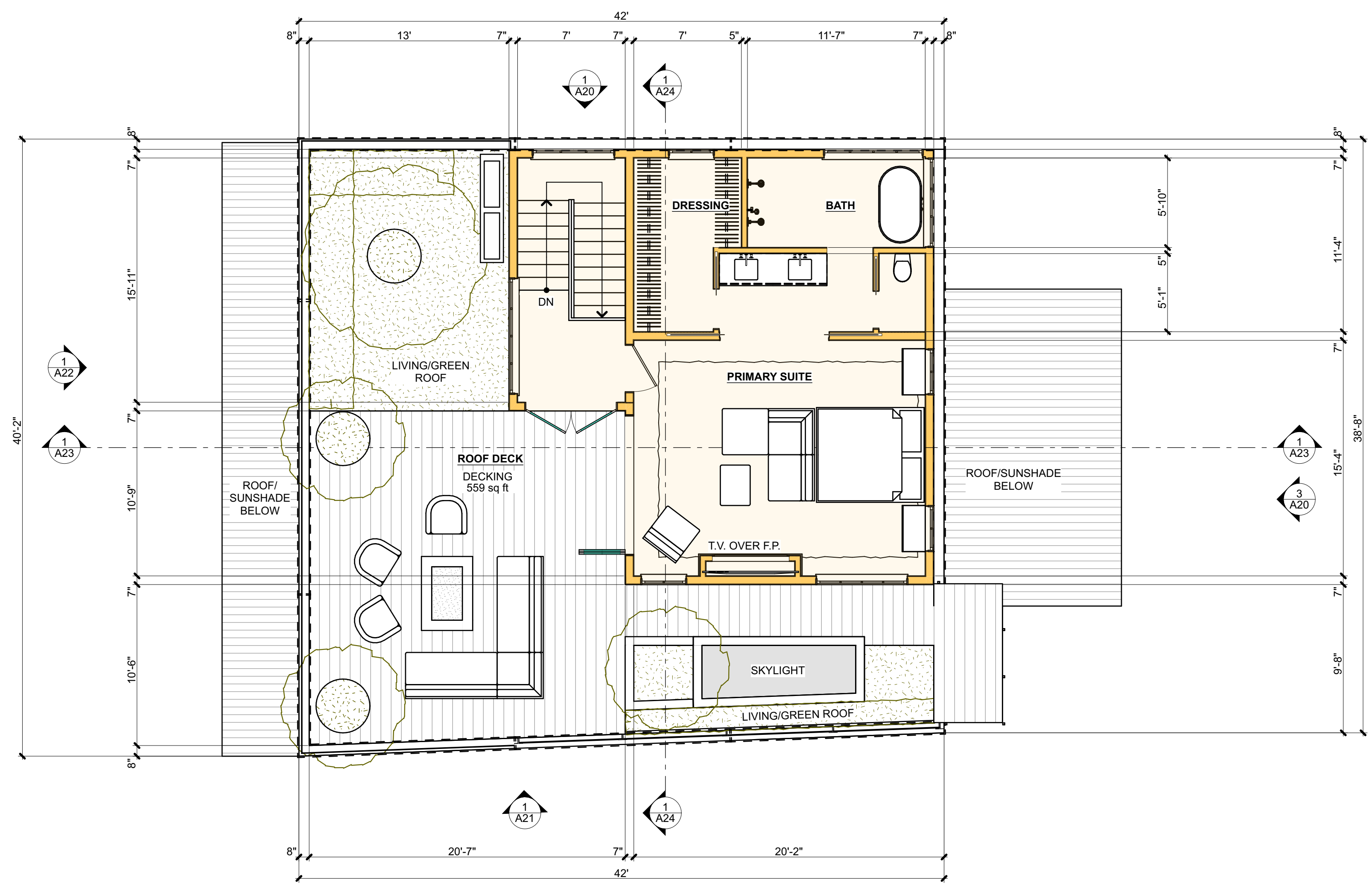
A8



2 ROOF PLAN - EXISTING
SCALE: 3/16" = 1'-0"



3 ROOF PLAN - PROPOSED
SCALE: 3/16" = 1'-0"



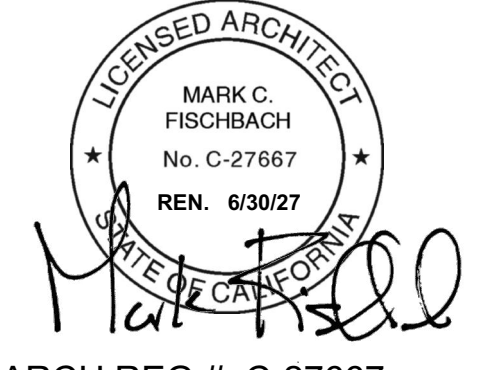
1 UPPER LEVEL PLAN - PROPOSED
SCALE: 3/16" = 1'-0"





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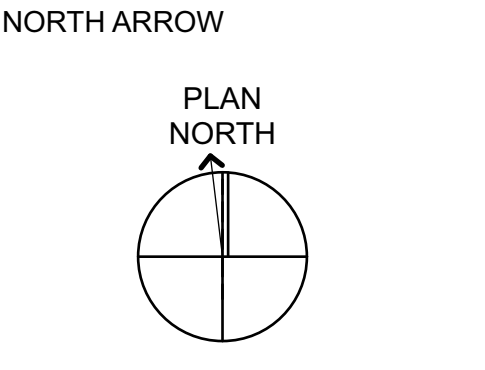
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SHEET TITLE
FLOOR AREA CALCULATIONS

A9

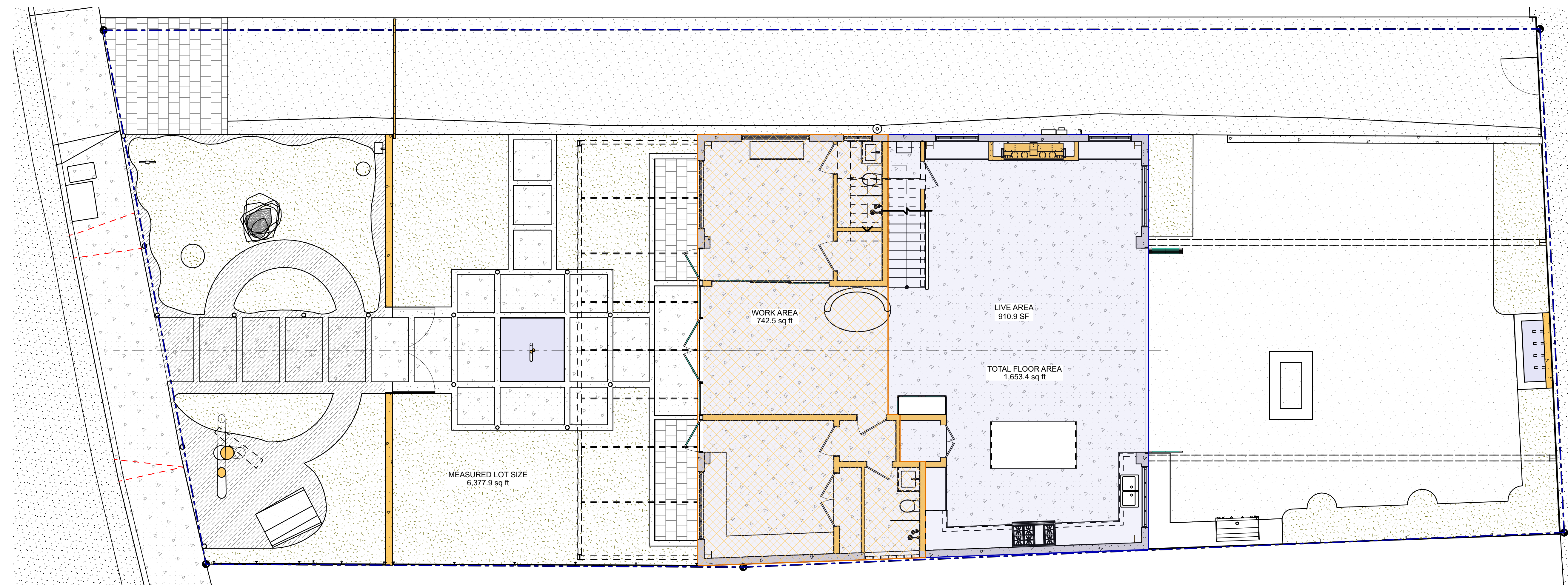


2 UPPER LEVEL FLOOR AREA
SCALE: 3/16" = 1'-0"

ZONE	AREA (SQ FT)	
	EXISTING	PROPOSED
MAIN LEVEL	1,653.4	1,653.4 ^{NOTE 1}
UPPER LEVEL	-	697.4
TOTAL	1,653.4	2,350.8 ^{NOTE 1}

NOTES:
1. (N) MAIN LEVEL FLOOR AREA IS 742.5 SQ FT WORK AREA AND 910.9 SF LIVING AREA FOR SUBTOTAL OF 1,653.4.
TOTAL FLOOR AREA IS 742.5 SQ FT WORK AREA AND 1,608.3 SQ FT LIVING AREA FOR A TOTAL OF 2,350.8

3 FLOOR AREA TABLE



1 MAIN LEVEL FLOOR AREA
SCALE: 3/16" = 1'-0"

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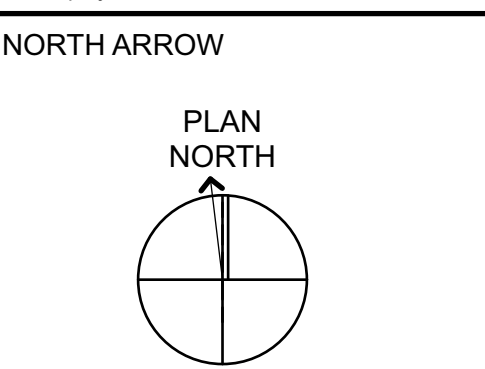
ARCH REG #: C-27667

REMODEL AND ADDITION
FOR KENNY AND ERIN WERNER
444 HEALDSBURG AVE
HEALDSBURG, CA 95448
APN: 002-171-013-000

ISSUE DATE
5.8.26 PLANNING

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SHEET TITLE
LANDSCAPE PLAN

A10

PLANTING LEGEND
ALL PLANTING IS NATIVE, LOW WATER USE

GROUND COVER	SIZE	SPACING	QTY
50-50 MIX OF SATUREJA DOUGLASII (YERBA BUENA) & FESTUCA RUBRA (RED CREEPING FESCUE)	4"	18" O.C.	V.I.F.
ROOF GARDEN: MIX OF SUCCULENTS AND CA NATIVE PERENNIALS PER ROOF GARDEN CONSULTANT SPECS	4"	18" O.C.	V.I.F.

SHRUBS 0'-4' HIGH, SUN OR PARTIAL SHADE	SIZE	SPACING	QTY
A SALVIA 'HOT LIPS' (HOT LIPS SAGE)	1G	4' O.C.	V.I.F.
B CEANOTHUS 'CONCHA' (CALIFORNIA LILAC)	1G	4' O.C.	V.I.F.
C MUHLENBERGIA RIGENS (DEER GRASS)	1G	4' O.C.	V.I.F.
D LAVANDULA X INTERMEDIA (FRENCH LAVENDER)	1G	4' O.C.	V.I.F.
E ARCTOSTAPHYLOS 'JOHN DOURLEY' (MANZANITA)	1G	4' O.C.	V.I.F.
F AGAVE ATTENUATA (FOXTAIL AGAVE)	1G	4' O.C.	V.I.F.
G PITTOSPORUM TOBIRA (MOCK ORANGE)	1G	4' O.C.	V.I.F.

CLIMBING VINES, SUN OR PARTIAL SHADE	SIZE	SPACING	QTY
H VITUS CALIFORNICA (CALIFORNIA GRAPE)	1G	4' O.C.	V.I.F.

SMALL TREES	SIZE	SPACING	QTY
I OLEA EUROPEA 'MISSION' (MISSION OLIVE TREE)	24" BOX	12" O.C.	V.I.F.

PAVING LEGEND
ALL NEW PAVING TO BE PERVIOUS

EXISTING ASPHALT
CONCRETE - SEE DETAIL: 1/A11
COBBLESTONE - SEE DETAIL: 1/A11 (VEHICLE) OR 4/A11 (PEDESTRIAN)
GRAVEL - SEE DETAIL: 2/A11 (VEHICLE) OR 3/A11 (LANDSCAPE)
DECOMPOSED GRANITE - SEE DETAIL: 2/A11

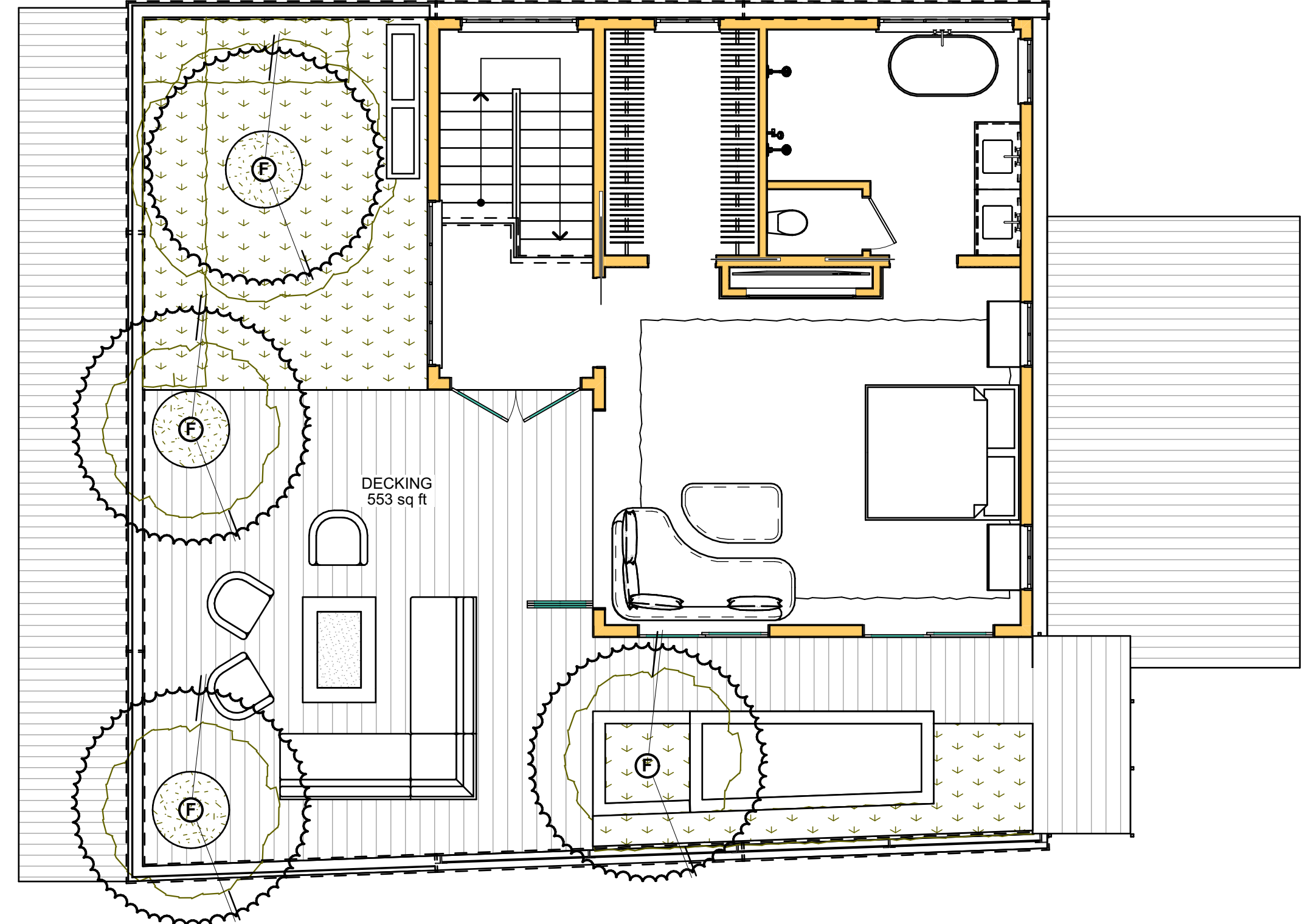
NOTES

IRRIGATION: ALL PLANTINGS TO BE SERVED BY IRRIGATION. IRRIGATION SHALL COMPLY WITH ALL REGULATIONS PUBLISHED BY HEALDSBURG ELECTRIC, WATER AND POWER DEPT, SONOMA COUNTY WATER AGENCY, HEALDSBURG BUILDING, PLANNING AND PUBLIC WORKS, AND ALL OTHER GOVERNING AGENCIES. ALL IRRIGATION TO BE DRIP/HIGH EFFICIENCY AND SHALL BE ZONED PER SIMILAR PLANTING GROUPS

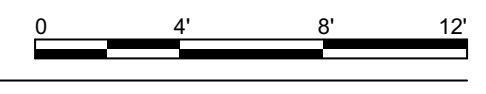
SCHEMATIC PLANS: ALL PLANTING VARIETIES, LOCATIONS AND QUANTITIES TO BE VERIFIED IN FIELD.

FIRE-SAFE: ALL PLANTING SHALL COMPLY WITH CAL-FIRE AND HEALDSBURG FIRE DEPARTMENT REQUIREMENTS FOR DEFENSIBLE SPACES AND FIRE-RESISTANT PLANTINGS

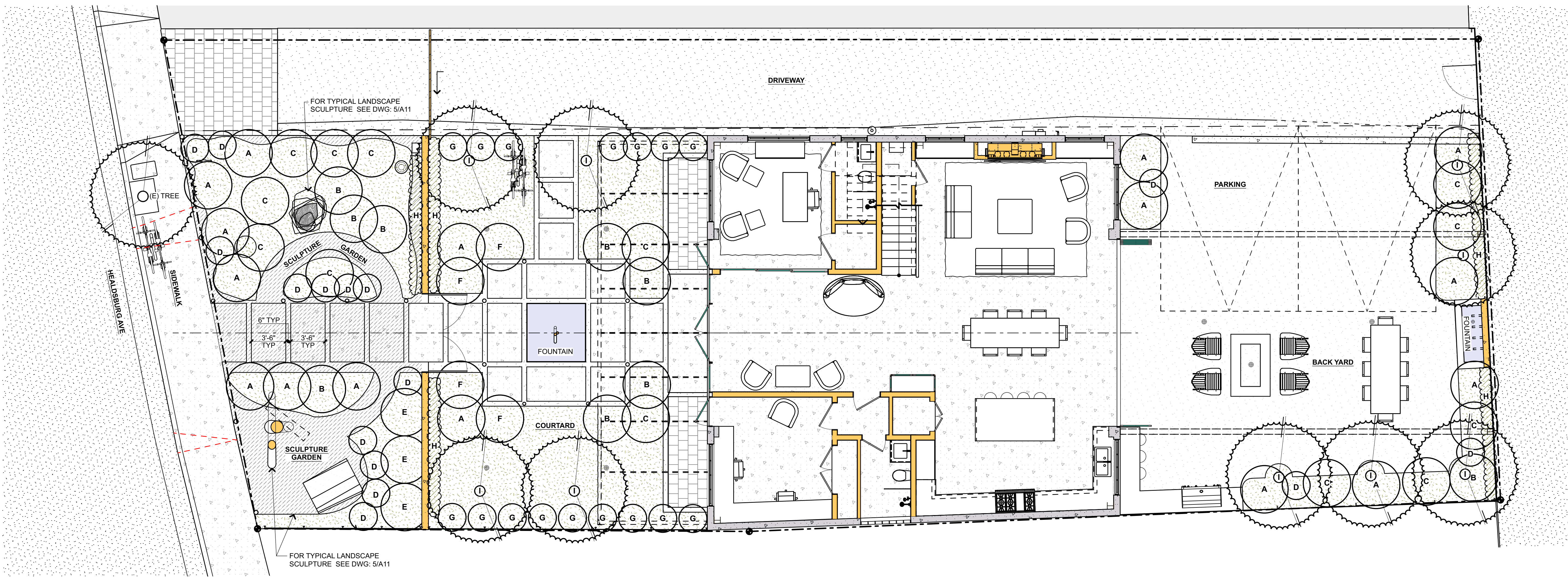
LANDSCAPE SCULPTURE: LANDSCAPE SCULPTURE TO BE CURATED/INSTALLED BY ERIN WERNER DESIGN. DURATION OF INSTALLATIONS WILL VARY. ALL LANDSCAPE SCULPTURE SHALL MEET ALL CITY OF HEALDSBURG DESIGN AND SAFETY REQUIREMENTS.



2 ROOF GARDEN LANDSCAPE PLAN
SCALE: 3/16" = 1'-0"



3 PLANTING / HARDSCAPE LEGEND & NOTES



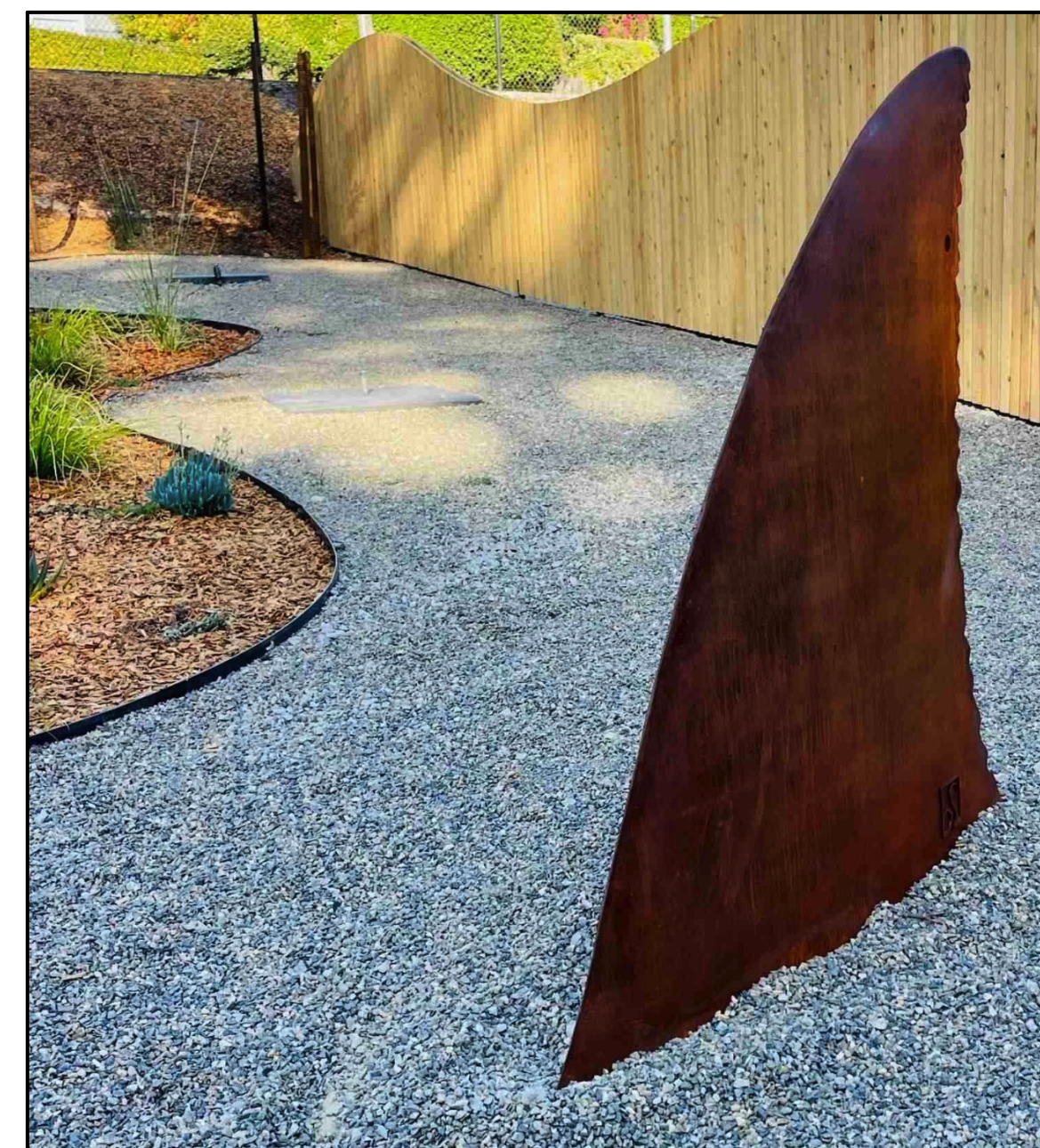
1 GROUND LEVEL LANDSCAPE PLAN
SCALE: 3/16" = 1'-0"



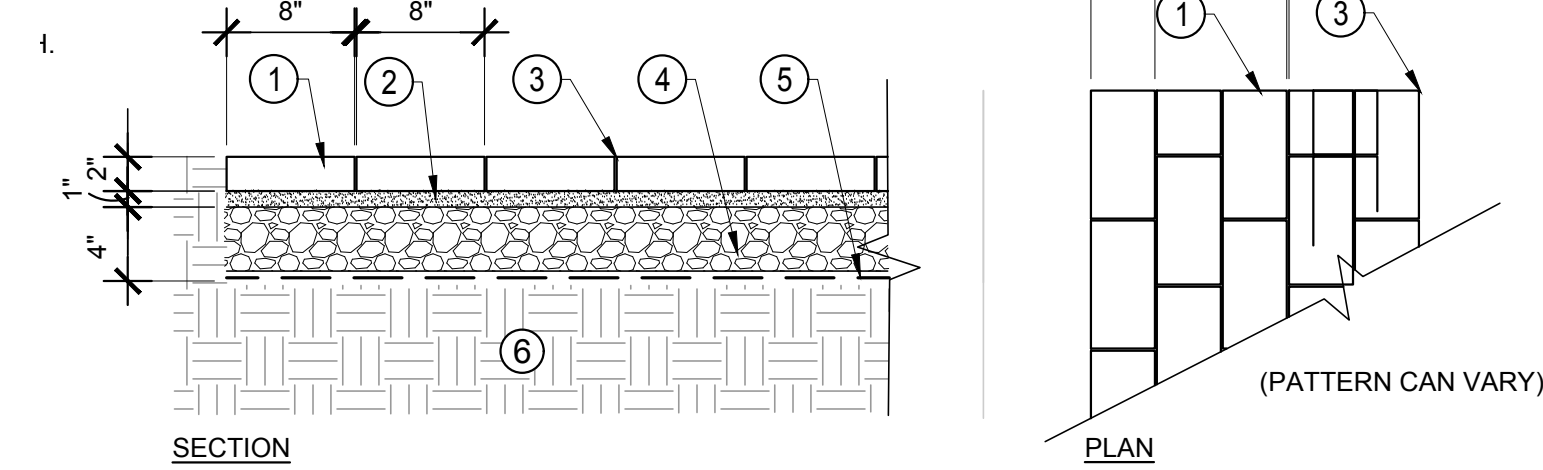
LANDSCAPE SCULPTURE TO BE CURATED/INSTALLED BY ERIN WERNER DESIGN. DURATION OF INSTALLATIONS WILL VARY. ALL LANDSCAPE SCULPTURE SHALL MEET ALL CITY OF HEALDSBURG DESIGN AND SAFETY REQUIREMENTS.



5 TYPICAL LANDSCAPE SCULPTURE

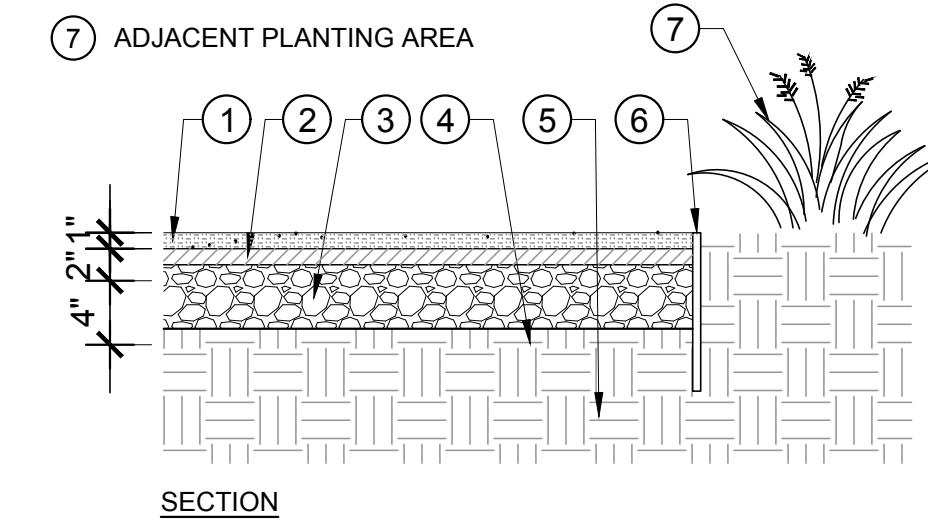


- 1 CONCRETE OR BRICK PAVERS (L" x W" x THK" VARIES). PAVERS CAN BE PERVIOUS OR PERMEABLE. SELECT PAVR PATTERN.
 - 2 1" SAND SETTING BED PER MANUFACTURER, ASTM #8
 - 3 JOINT FILL PER MANUFACTURER, ASTM #8
 - 4 CLASS 2 PERMEABLE AGGREGATE BASE ROCK
 - 5 FILTER FABRIC (OPTIONAL)
 - 6 COMPACTED SUBGRADE, 90%
- NOTE:
1. FOR CLAY SOILS, HOLD 10' AWAY FROM FOUNDATION, AND PROVIDE SUBDRAINAGE. REVIEW WITH GEOTECH & CIVIL ENGINEER.
2. FOR DRAINAGE THRU PATH SEE CURB O LET DETAIL #11 THIS PAGE AND SECTION VIEW IN DETAIL #1



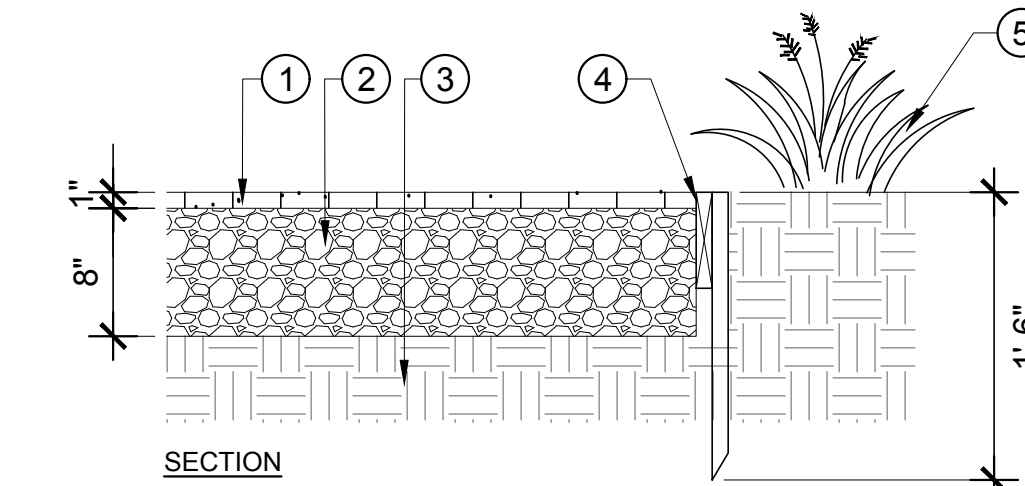
4 PERMEABLE PAVERS - PATH OR PATIO
SCALE: 1" = 1'-0"

- 1 1" OF 3/8" OR SMALLER PATHWAY AGGREGATE
- 2 1" OF DECOMPOSED GRANITE W/ STABILIZER PRODUCT COMPACT TO 95%
- 3 4" RECYCLED CLASS II AGGREGATE BASE ROCK. COMPACT TO 95%
- 4 FILTER FABRIC (OPTIONAL)
- 5 SUBGRADE UNDISTURBED OR COMPACTED TO 90%
- 6 1/8" METAL EDGER, BLACK
- 7 ADJACENT PLANTING AREA



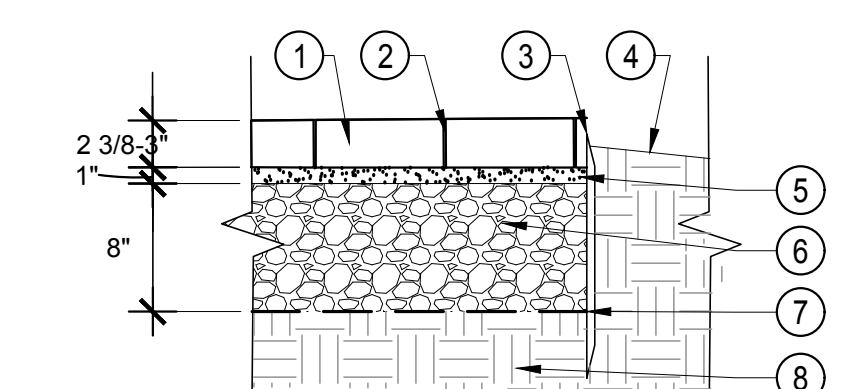
3 AGGREGATE PAVING - PEDESTRIAN
SCALE: 1" = 1'-0"

- 1 GRAVEL PAVE XL PAVING SYSTEM, OR APPROVED EQUAL. AGGREGATE FILL SELECTED BY OWNER. INSTALL PER MANUFACTURER'S INSTRUCTIONS.
 - 2 PERMEABLE CLASS 2 AGGREGATE BASE ROCK. COMPACT TO 95%
 - 3 SUBGRADE UNDISTURBED OR COMPACTED TO 90%
 - 4 2X6 RDW HEADER, 18" STAKES @ 6' O.C., SCAB AT OVERLAPPING ENDS AND STAKE AT 3' O.C. OPTIONAL CONCRETE CURB.
 - 5 ADJACENT PLANTING AREA
- NOTE: CONSULT WITH GEOTECHNICAL & CIVIL ENGINEER FOR AGGREGATE DEPTH, PERFORMANCE IN CLAY SOILS AND NEED FOR SUBDRAINS.



2 GRAVEL PAVING - VEHICLE
SCALE: 1" = 1'-0"

- 1 CONCRETE UNIT PAVER: SELECT PERVIOUS PAVERS OR PERMEABLE PAVERS. INSTALL PER MANUFACTURER'S INSTRUCTIONS.
 - 2 JOINTS PER MANUFACTURER'S INSTRUCTIONS.
 - 3 METAL EDGING. OPTIONAL CONCRETE CURB.
 - 4 SHOULDER, FINISH GRADE
 - 5 SAND SETTING BED PER MANUFACTURER'S INSTRUCTIONS
 - 6 PERMEABLE CLASS II AGGREGATE BASE ROCK, COMPACTED TO 95%
 - 7 FILTER FABRIC
 - 8 COMPACTED SUBGRADE TO 90%
- NOTE: CONSULT WITH GEOTECHNICAL & CIVIL ENGINEER FOR AGGREGATE BASE DEPTH, PERFORMANCE IN CLAY SOILS AND NEED FOR SUBDRAINS



1 PERVIOUS OR PERMEABLE UNIT PAVER - VEHICLE
SCALE: 1" = 1'-0"



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HEALDSBURG, CA 95448
APN: 002-171-013-000

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NORTH ARROW

SHEET TITLE

LANDSCAPE
DETAILS &
TYPICAL
SCULPTURE

A11



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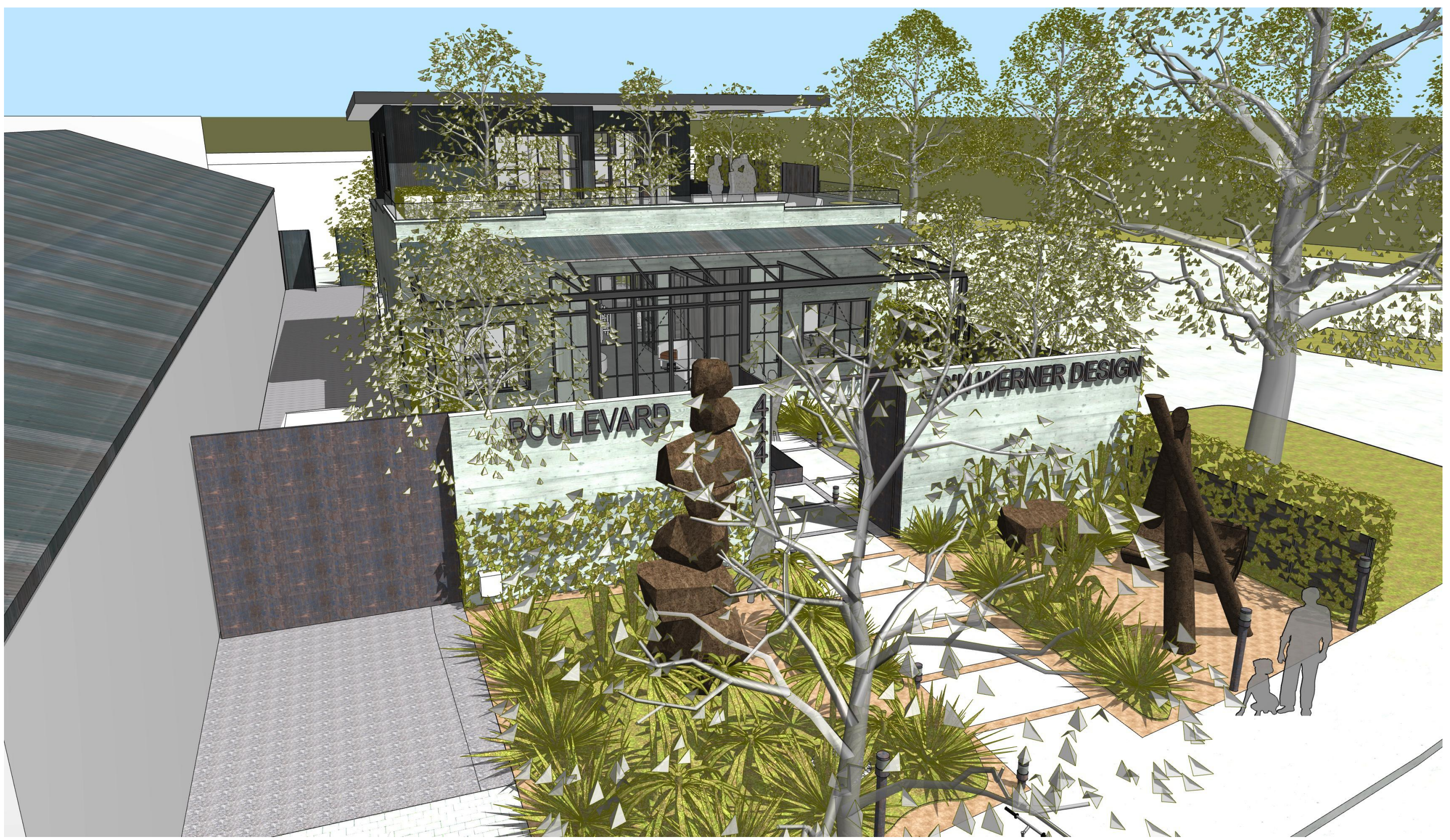
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NORTH ARROW

SHEET TITLE
**RENDERINGS -
EXTERIOR
VIEWS**

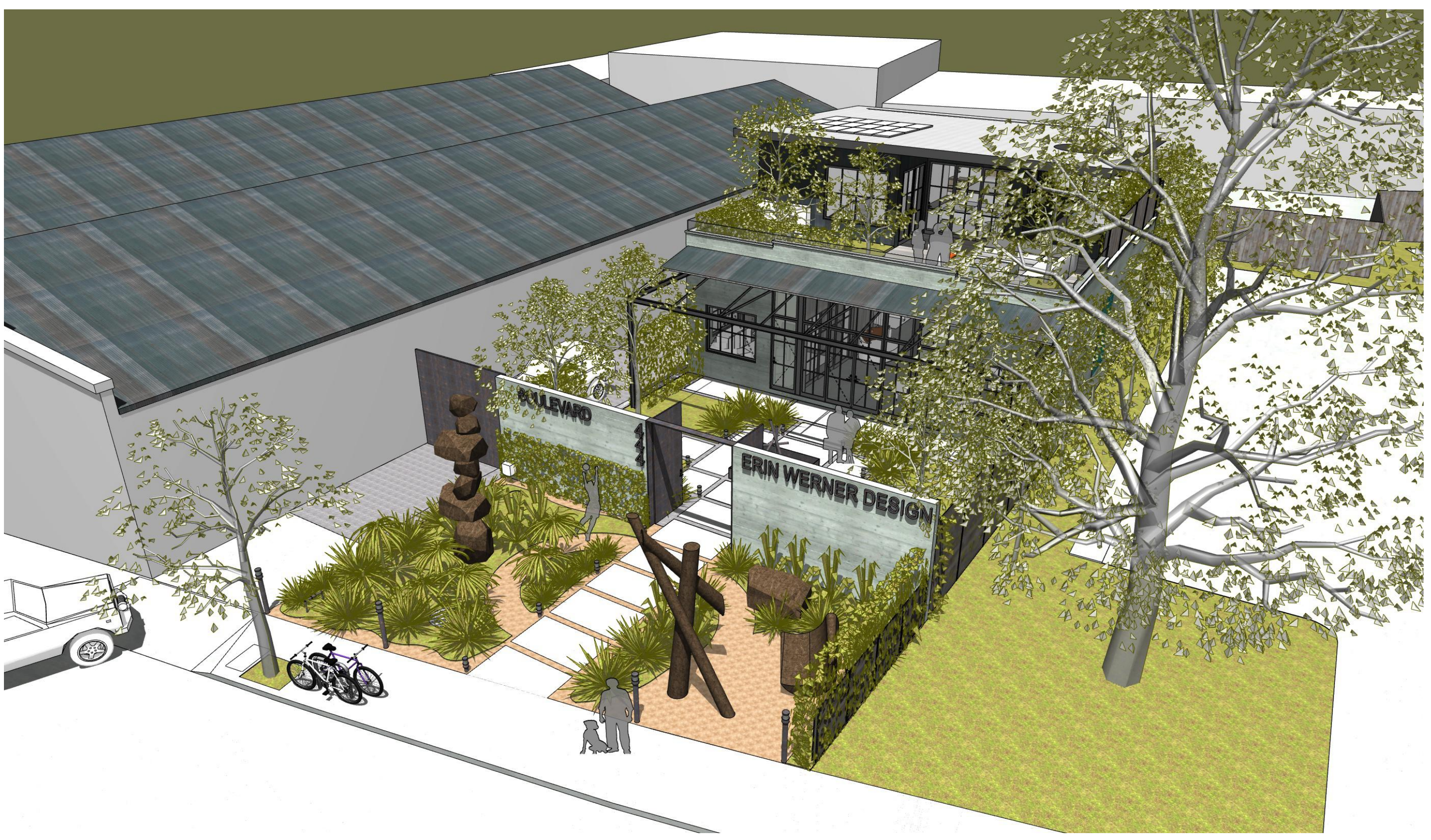
A12



4 AIREAL FROM HEALDSBURG AVE 1



2 AIREAL FROM SOUTHEAST - PROPOSED



3 AREIAL FROM HEALDSBURG AVE 2



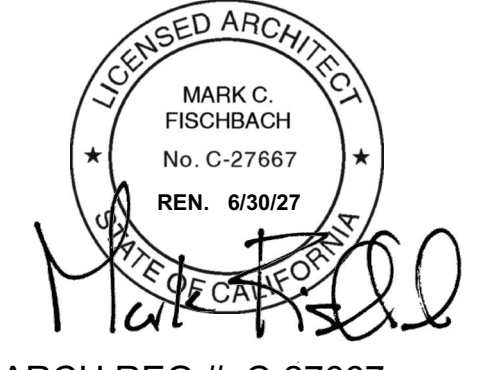
1 VIEW FROM HEALDSBURG AVENUE DRIVEWAY

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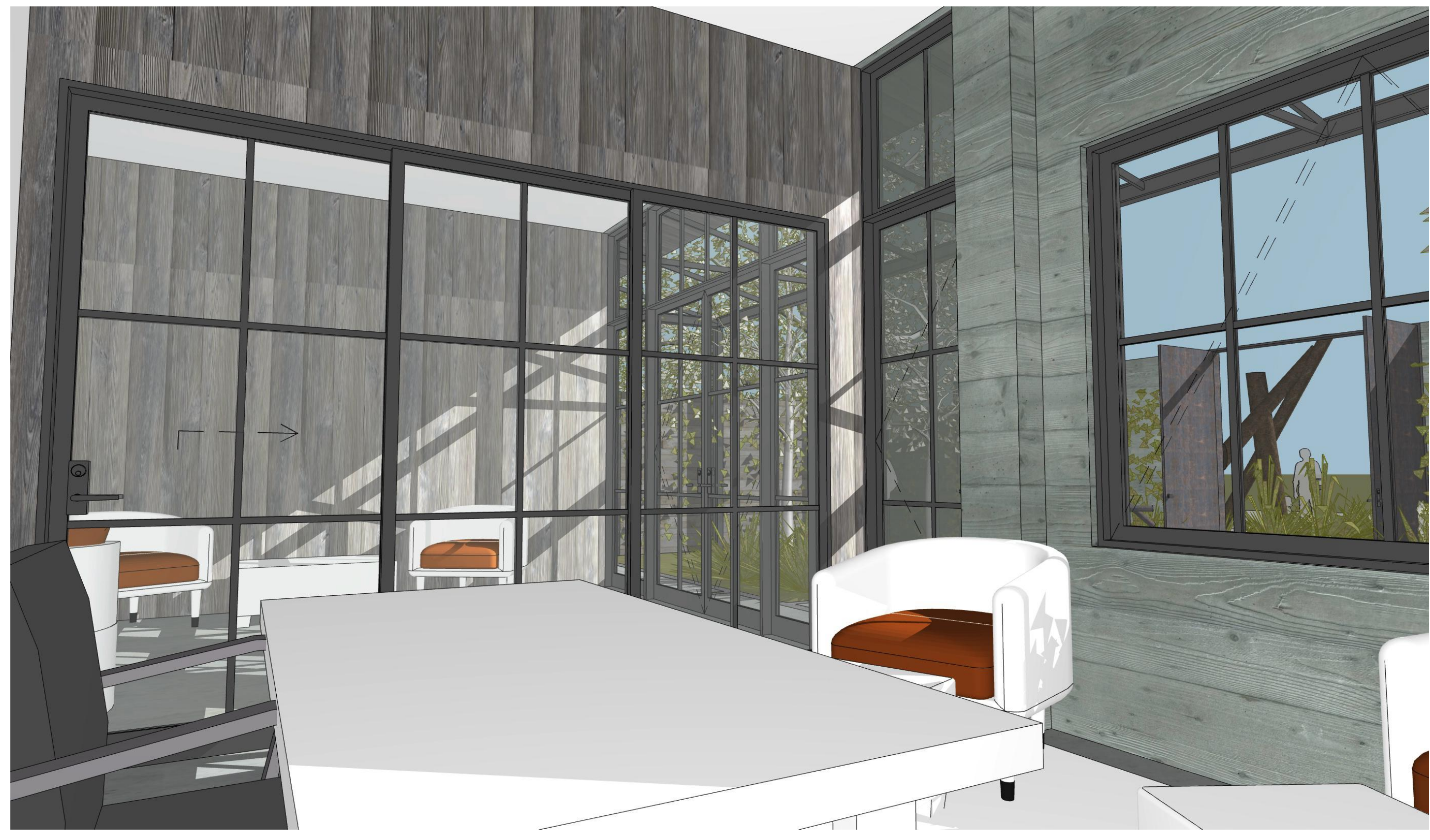
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SHEET TITLE
**RENDERINGS -
WORK SUITES**

A14



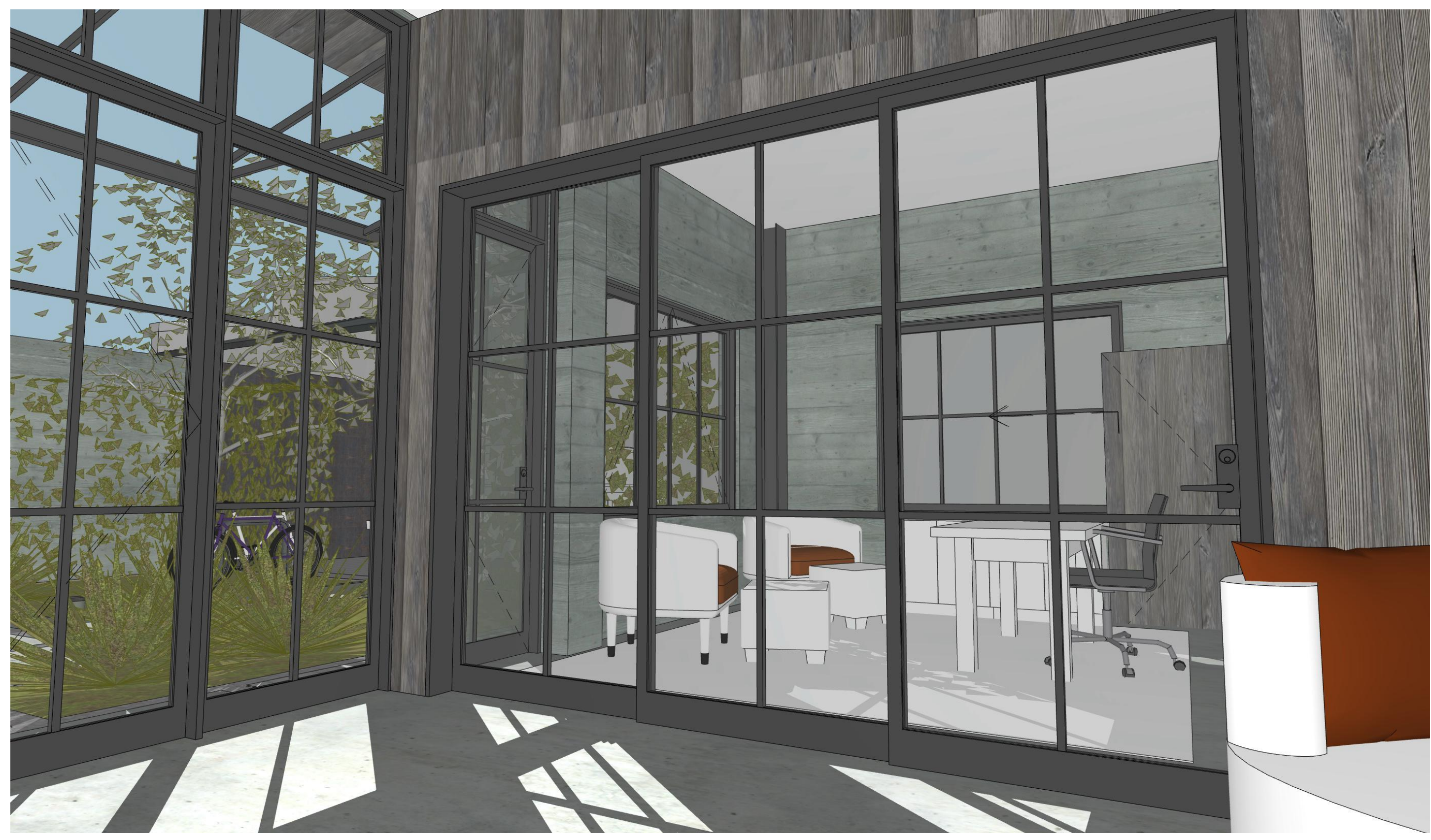
4 WORK SUITE 2 - VIEW 1



2 WORK SUITE 1 - VIEW 2



3 WORK SUITE 2 - VIEW 2



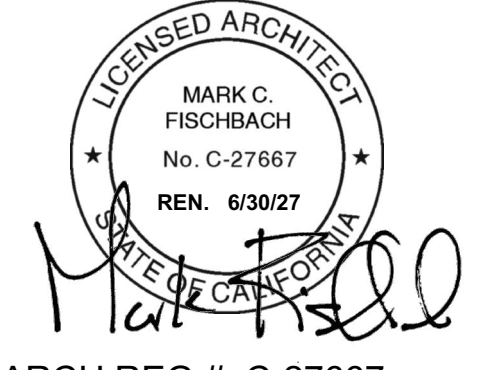
1 WORK SUITE 1 - VIEW 1

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NORTH ARROW

SHEET TITLE
RENDERINGS - LIVING SPACE

A15



4 GREAT ROOM - VIEW 4



2 GREAT ROOM - VIEW 2



3 GREAT ROOM - VIEW 3



1 GREAT ROOM - VIEW 1

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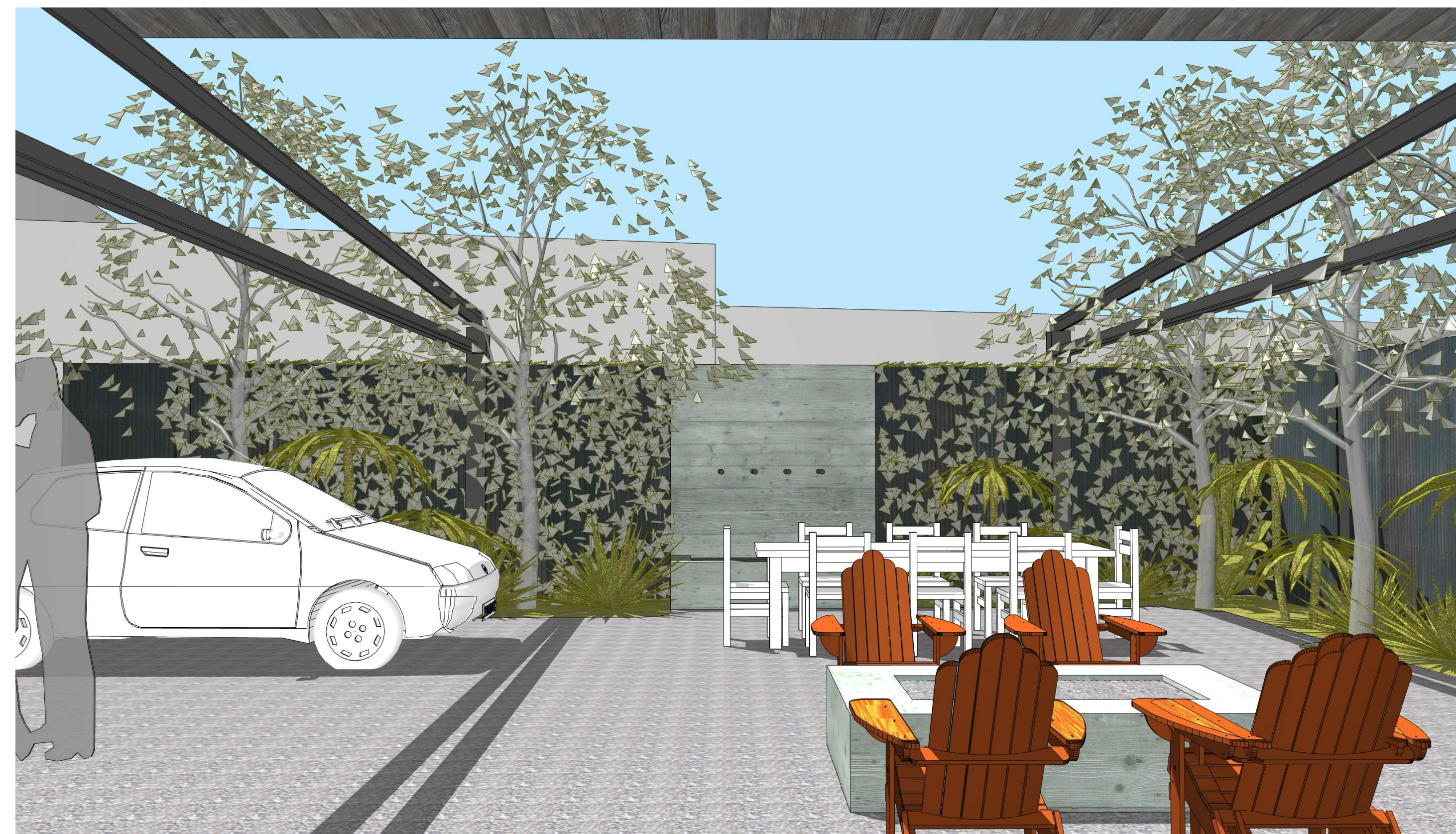
NORTH ARROW

SHEET TITLE
**RENDERINGS -
BACK YARD**

A16



4 UPPER LANDING - VIEW 1



2 BACKYARD - VIEW 3



3 BACKYARD - VIEW 2



1 BACKYARD - VIEW 1



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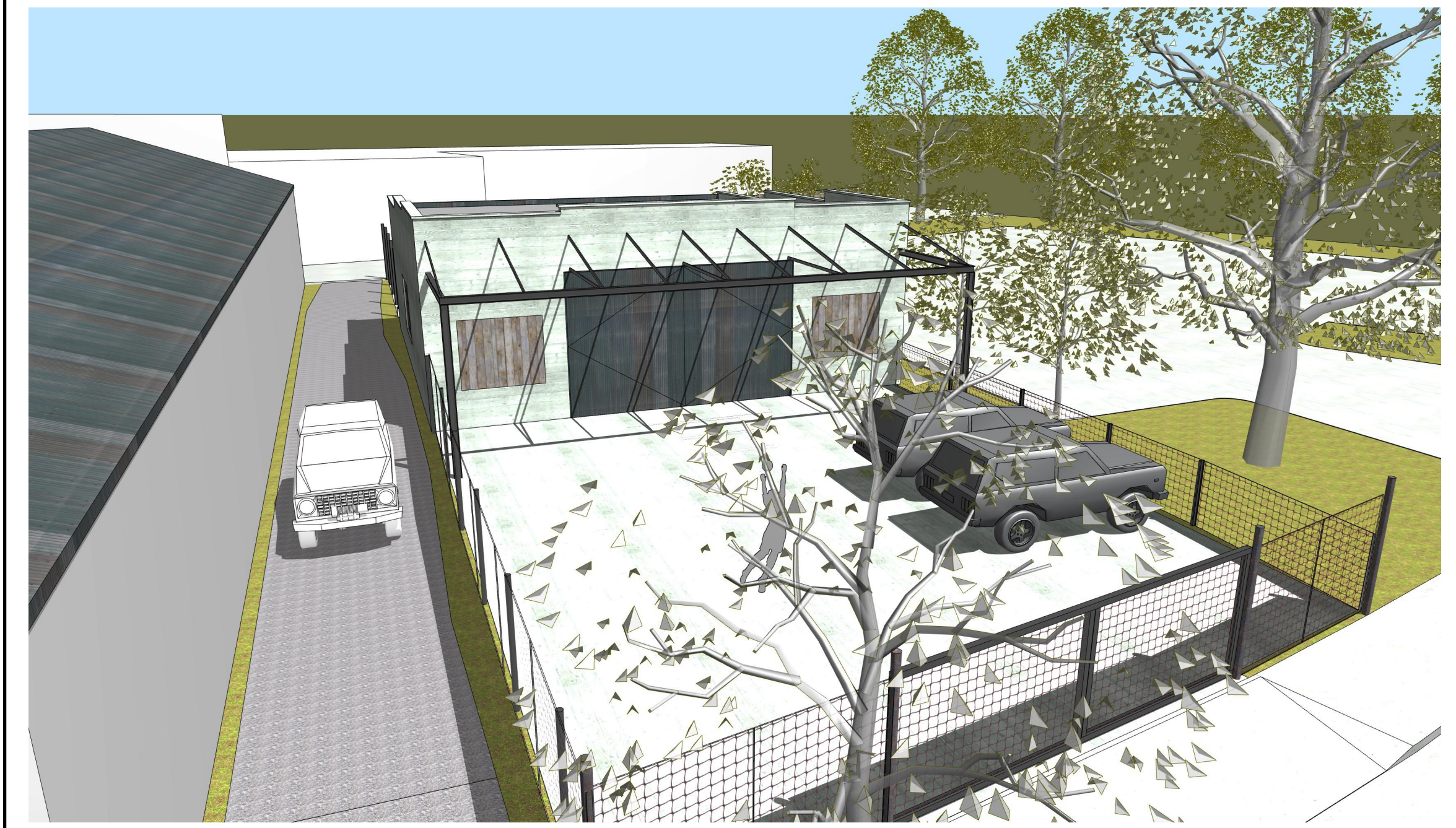
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NORTH ARROW

SHEET TITLE
EXTERIOR ELEVATIONS - NORTH

A20



5 AIREAL FROM HEALDSBURG AVENUE - EXISTING



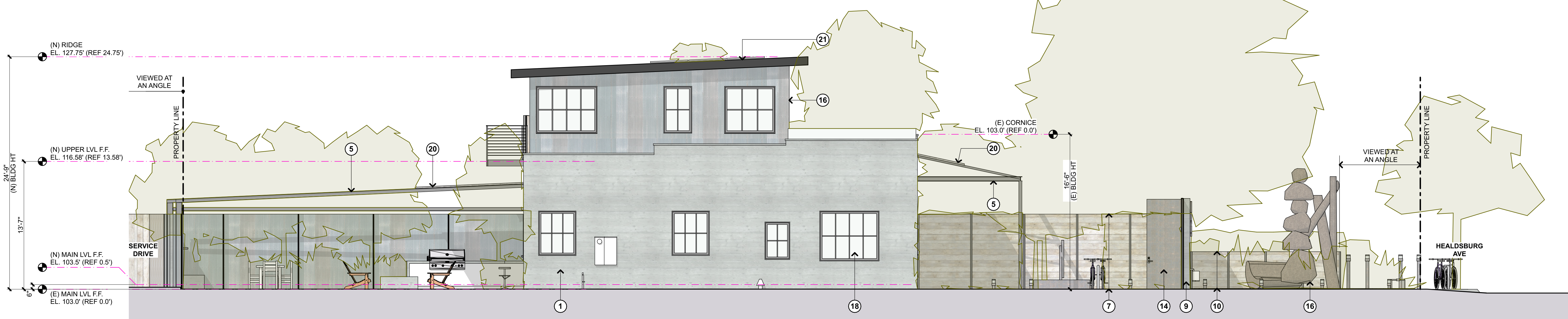
4 AIREAL FROM HEALDSBURG AVE 1

- 1 (E) EXTERIOR WALL
- 2 (E) STEEL POSTS AND CONCRETE FOOTING (WHERE OCCURRING)
- 3 (E) FENCE
- 4 (E) ROLLING GATE FOR VEHICLE ACCESS
- 5 (E) STEEL FRAMING FOR ABANDONED ROOF
- 6 (N) EXTERIOR WALL
- 7 8' HIGH FENCE - CURROGATED METAL
- 8 8' HIGH FENCE - RECLAIMED WOOD
- 9 9'-6" HIGH BOARD FORMED CONC. FENCE
- 10 4' HIGH FENCE - RECLAIMED WOOD
- 11 (N) FIRE RATED TRANSLUCENT GLASS BLOCK WINDOW-WALL
- 12 CONCRETE PAVERS
- 13 PROPOSED PARKING; (2) SPACES AT 9'X19' ACCESSED BY (E) 10' WIDE 1-WAY DRIVE / RIGHT OF WAY
- 14 GATE
- 15 (E) HOGWIRE FENCE
- 16 DISPLAY GARDEN
- 17 (N) UPPER LEVEL - CURROGATED METAL SIDING AND ALUM. WINDOWS/DOORS
- 18 (N) OR RECONFIGURED WINDOW OPENING IN (E) CONC. WALL
- 19 (N) WDO. OR DR. IN (E) OPENING
- 20 (N) ROOFING OVER (E) STEEL STRUCTURE: CURROGATED METAL TO MATCH (E) SIDING OVER 2X6 PURLINS LAID FLAT
- 21 STANDING SEAM METAL ROOF

3 KEY NOTES



2 NORTH ELEVATION - EXISTING
SCALE: 3/16" = 1'-0"



1 NORTH ELEVATION - PROPOSED
SCALE: 3/16" = 1'-0"



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NORTH ARROW

SHEET TITLE

EXTERIOR ELEVATIONS - SOUTH

A21



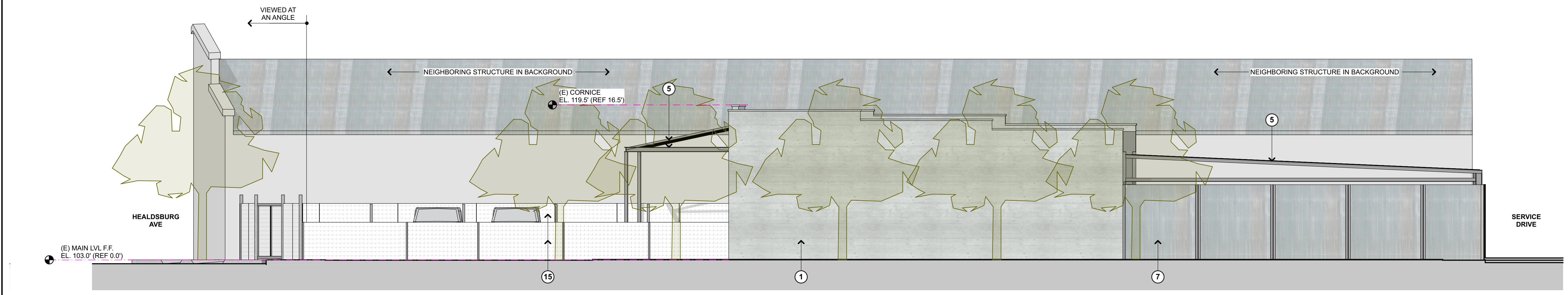
4 VIEW FROM HEALDSBURG AVENUE - EXISTING



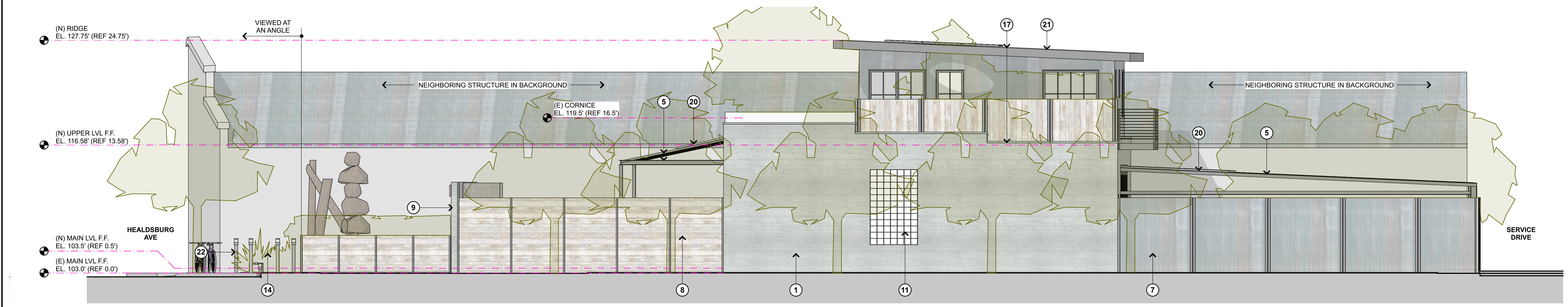
3 VIEW FROM HEALDSBURG AVENUE 2

- 1 (E) EXTERIOR WALL
- 2 (E) STEEL POSTS AND CONCRETE FOOTING (WHERE OCCURRING)
- 3 (E) FENCE
- 4 (E) ROLLING GATE FOR VEHICLE ACCESS
- 5 (E) STEEL FRAMING FOR ABANDONED ROOF
- 6 (N) EXTERIOR WALL
- 7 8' HIGH FENCE - CORRUGATED METAL
- 8 8' HIGH FENCE - RECLAIMED WOOD
- 9 9'-6" HIGH BOARD FORMED CONC. FENCE
- 10 4' HIGH FENCE - RECLAIMED WOOD
- 11 (N) FIRE RATED TRANSLUCENT GLASS BLOCK WINDOW-WALL
- 12 CONCRETE PAVERS
- 13 PROPOSED PARKING: (2) SPACES AT 9'X19' ACCESSED BY (E) 10' WIDE 1-WAY DRIVE / RIGHT OF WAY
- 14 GATE
- 15 (E) HOGWIRE FENCE
- 16 DISPLAY GARDEN
- 17 (N) UPPER LEVEL - CORRUGATED METAL SIDING AND ALUM. WINDOWS/DOORS
- 18 (N) OR RECONFIGURED WINDOW OPENING IN (E) CONC. WALL
- 19 (N) WDO. OR DR. IN (E) OPENING
- 20 (N) ROOFING OVER (E) STEEL STRUCTURE: CORRUGATED METAL TO MATCH (E) SIDING OVER 2X6 PURLINS LAID FLAT
- 21 STANDING SEAM METAL ROOF

5 KEY NOTES



2 SOUTH ELEVATION - EXISTING
SCALE: 3/16" = 1'-0"



1 SOUTH ELEVATION - PROPOSED
SCALE: 3/16" = 1'-0"

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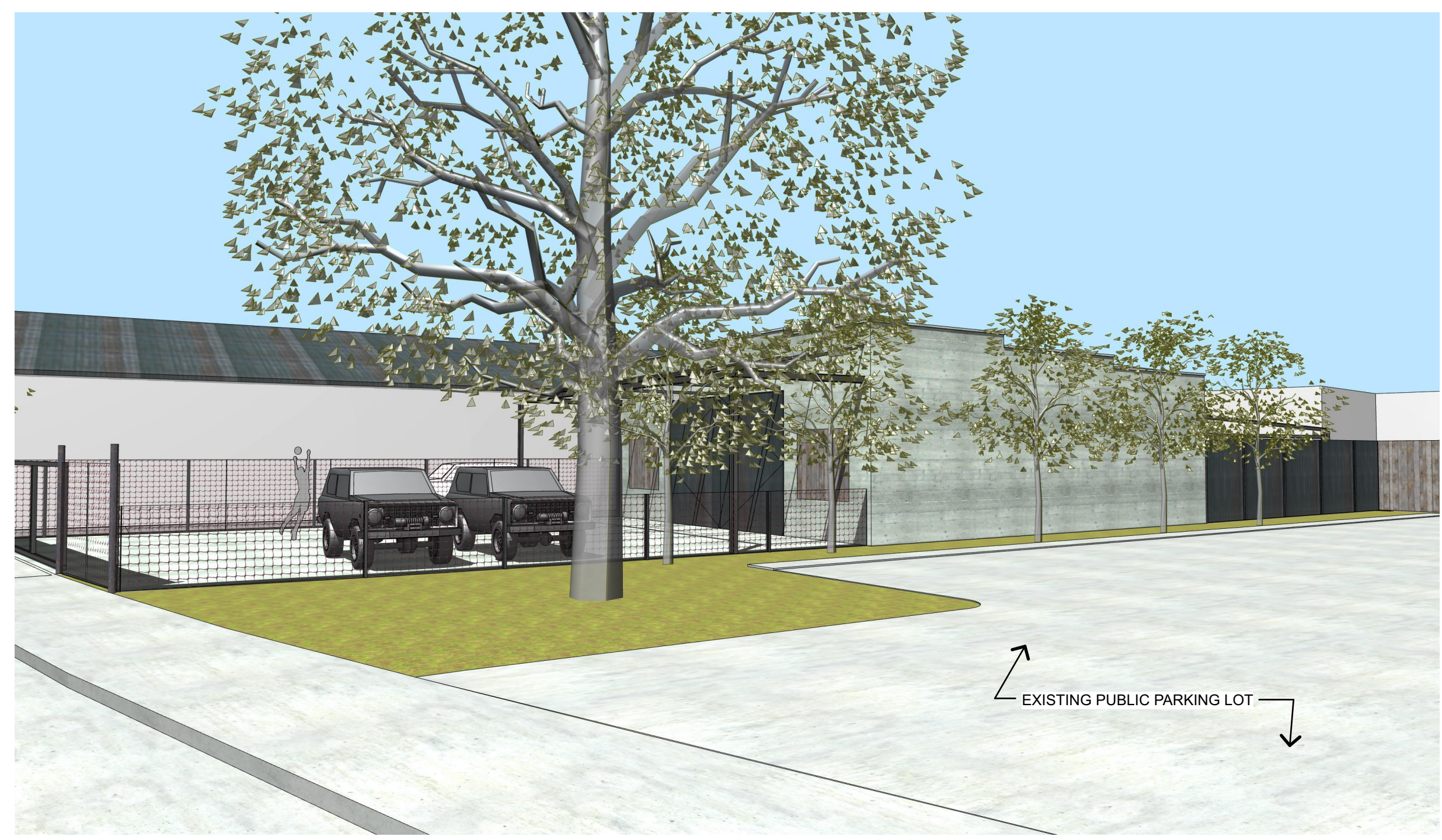
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NORTH ARROW

SHEET TITLE
EXTERIOR
ELEVATIONS -
EAST & WEST

A22



7 VIEW FROM HEALDSBURG AVENUE SIDEWALK - EXISTING



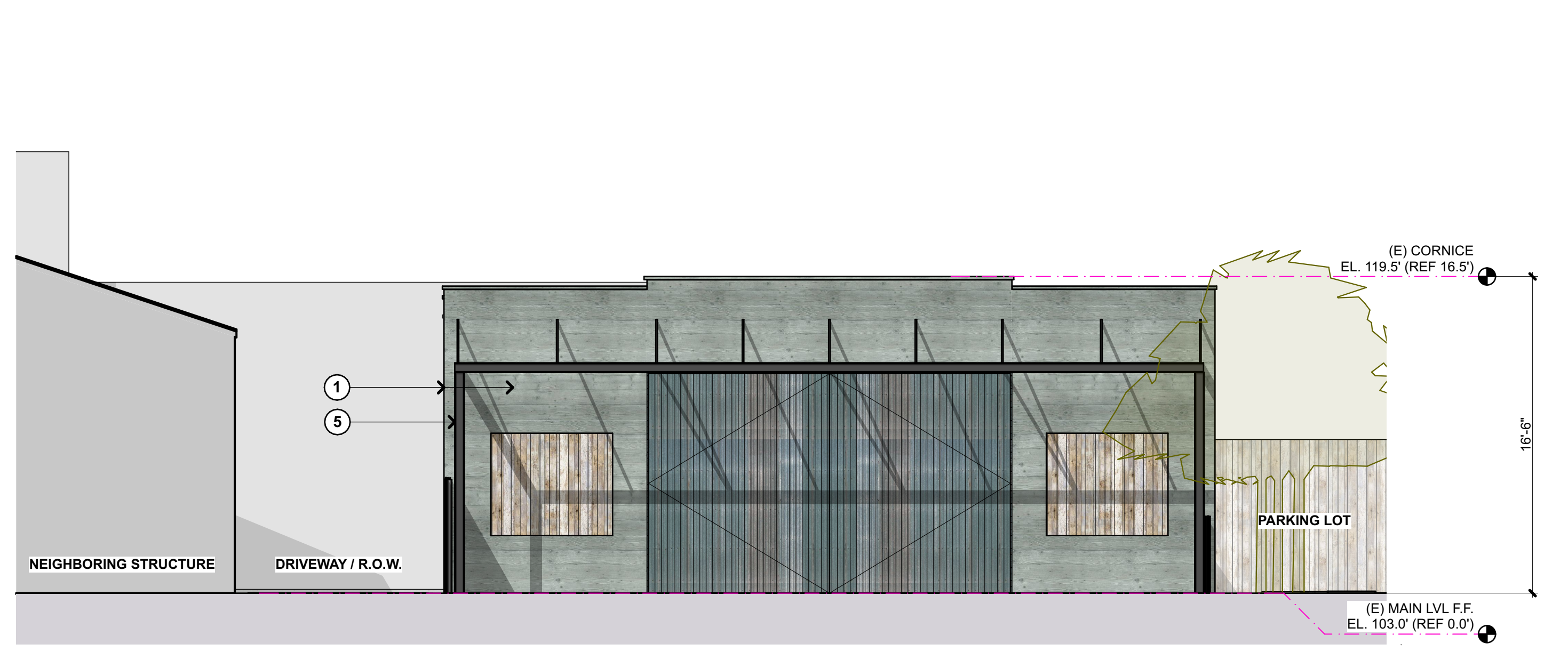
6 VIEW FROM HEALDSBURG AVENUE SIDEWALK - PROPOSED

- 1 (E) EXTERIOR WALL
- 2 PROPERTY LINES AND FENCE LOCATIONS TO BE VERIFIED BY SUBSEQUENT BOUNDARY SURVEY
- 3 (E) FENCE
- 4 (E) ROLLING GATE FOR VEHICLE ACCESS
- 5 (E) STEEL FRAMING FOR ABANDONED ROOF - DASHED WHERE OVERHEAD
- 6 (N) EXTERIOR WALL
- 7 8' HIGH FENCE - CURROGATED METAL
- 8 8' HIGH FENCE - RECLAIMED WOOD
- 9 9'-6" HIGH BOARD FORMED CONC. FENCE
- 10 4' HIGH FENCE - 2X2 @ 4" PICKETS W/ STEEL POSTS AND RAILS
- 11 DISPLAY GARDEN W/ PLANTINGS, BENCHES AND FOUNTAIN
- 12 CONCRETE PAVERS
- 13 PROPOSED PARKING: (2) SPACES AT 9'X19' ACCESSED BY (E) 10' WIDE 1-WAY DRIVE / RIGHT OF WAY
- 14 GATE
- 15 (E) HOGWIRE FENCE
- 16 DISPLAY GARDEN
- 17 (N) UPPER LEVEL - CURROGATED METAL SIDING AND ALUM. WINDOWS/DOORS
- 18 (N) OR RECONFIGURED WINDOW OPENING IN (E) CONC. WALL
- 19 (N) WDO. OR DR. IN (E) OPENING
- 20 (N) ROOFING OVER (E) STEEL STRUCTURE: CURROGATED METAL TO MATCH (E) SIDING OVER 2X6 PURLINS LAID FLAT
- 21 STANDING SEAM METAL ROOF

5 KEY NOTES



4 EAST ELEVATION - EXISTING
SCALE: 3/16" = 1'-0"



2 WEST ELEVATION - EXISTING
SCALE: 3/16" = 1'-0"



3 EAST ELEVATION - PROPOSED
SCALE: 3/16" = 1'-0"



1 WEST ELEVATION - PROPOSED
SCALE: 3/16" = 1'-0"

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STAMP / SIGNATURE



ARCH REG #: C-27667

REMODEL AND ADDITION
FOR KENNY AND ERIN WERNER
444 HEALDSBURG AVE
HEALDSBURG, CA 95448
APN: 002-171-013-000

ISSUE DATE	
5.8.26	PLANNING

#	DATE	DESCRIPTION

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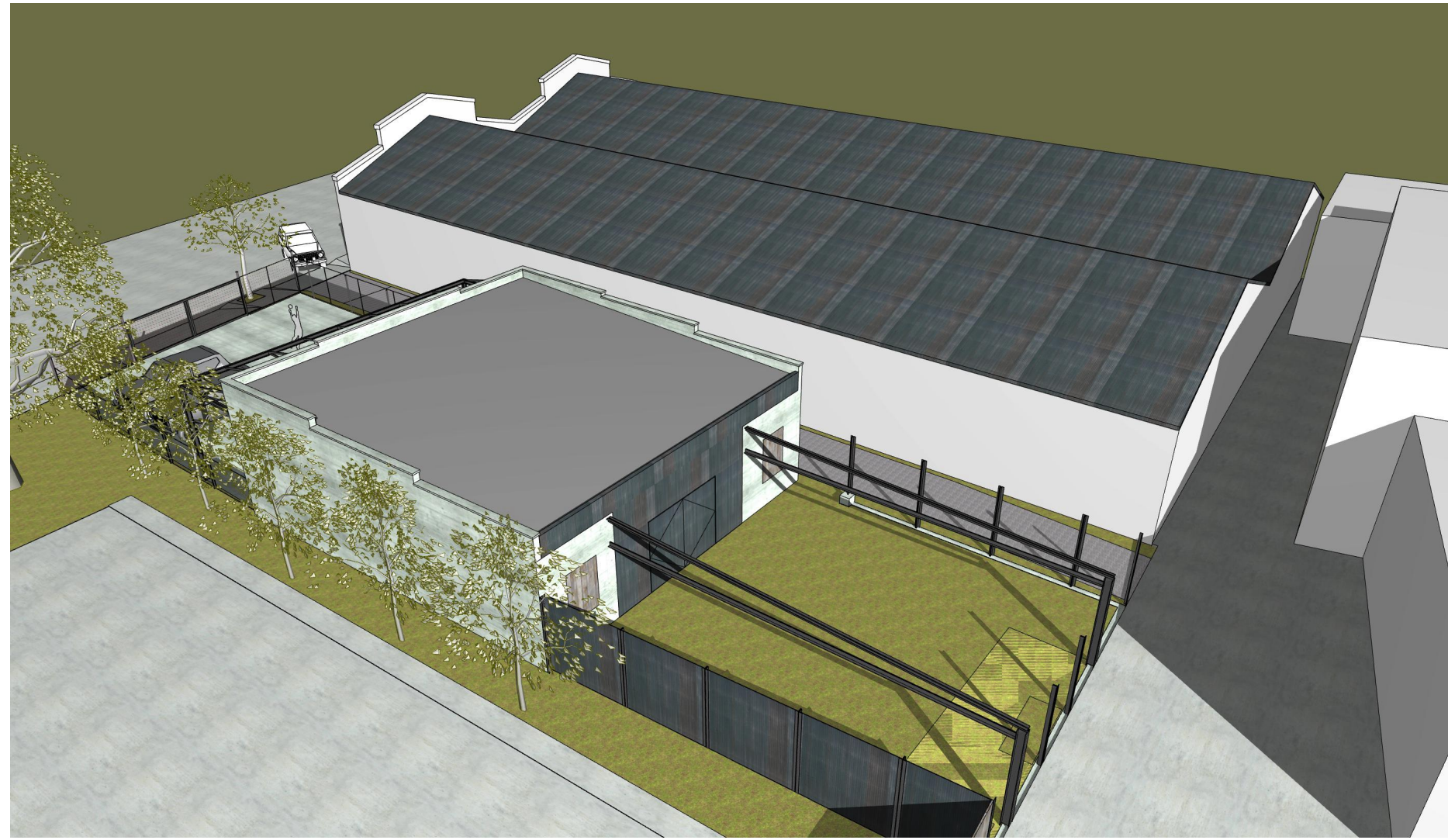
NORTH ARROW

SHEET TITLE
SITE SECTIONS - EAST-WEST

A23

- EXISTING WALL
- NEW WALL

- 1 (E) EXTERIOR WALL
- 2 PROPERTY LINES AND FENCE LOCATIONS TO BE VERIFIED BY SUBSEQUENT BOUNDARY SURVEY
- 3 (E) FENCE
- 4 (E) ROLLING GATE FOR VEHICLE ACCESS
- 5 (E) STEEL FRAMING FOR ABANDONED ROOF
- 6 (N) EXTERIOR WALL
- 7 8' HIGH FENCE - CURROGATED METAL
- 8 8' HIGH FENCE - RECLAIMED WOOD
- 9 9'-6" HIGH BOARD FORMED CONC. FENCE
- 10 4' HIGH FENCE - RECLAIMED WOOD
- 11 (N) FIRE RATED TRANSLUCENT GLASS BLOCK WINDOW- WALL
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- 21 STANDING SEAM METAL ROOF
- 22 (N) ROLLING GATE FOR VEHICLE ACCESS

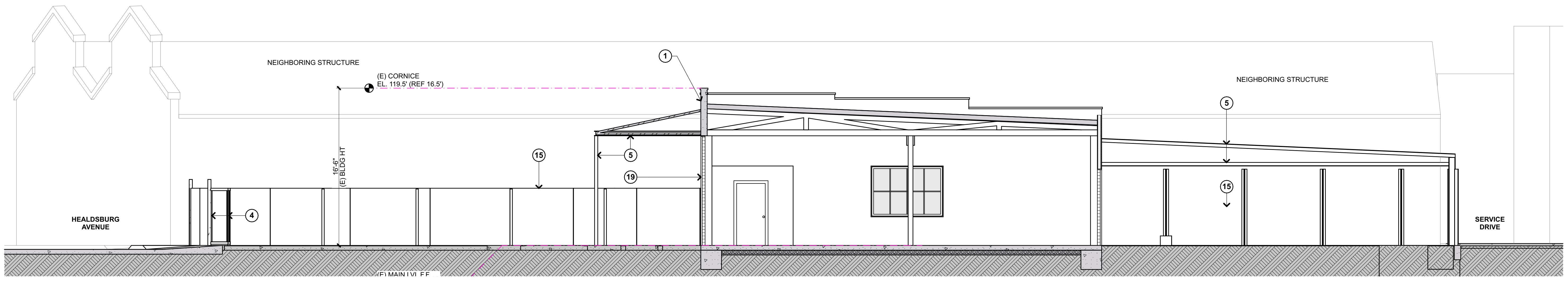


5 AIREAL FROM SOUTHEAST - EXISTING

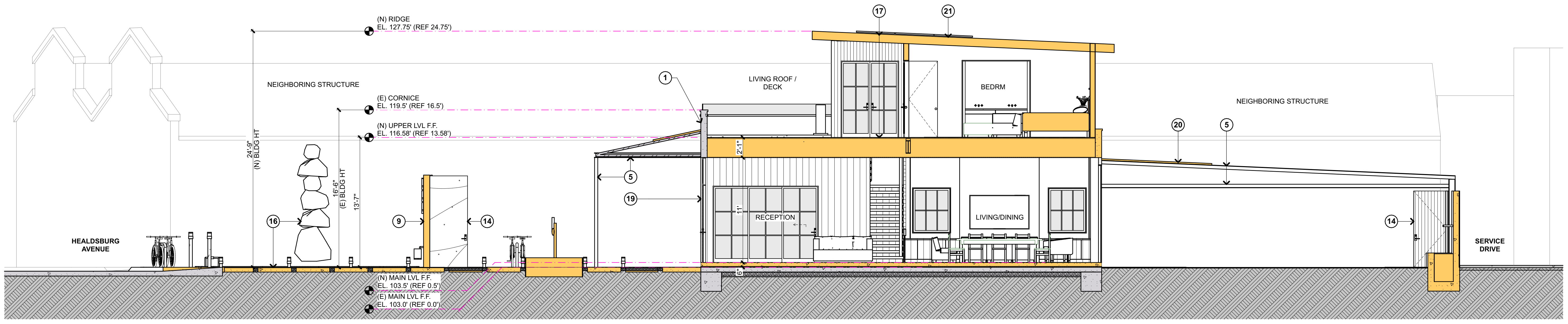


4 AIREAL FROM SOUTHEAST - PROPOSED

3 KEY NOTES



2 SITE SECTION EAST-WEST - EXISTING
SCALE: 3/16" = 1'-0"



1 SITE SECTION EAST-WEST - PROPOSED
SCALE: 3/16" = 1'-0"

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NORTH ARROW

SHEET TITLE

SITE SECTION - NORTH-SOUTH

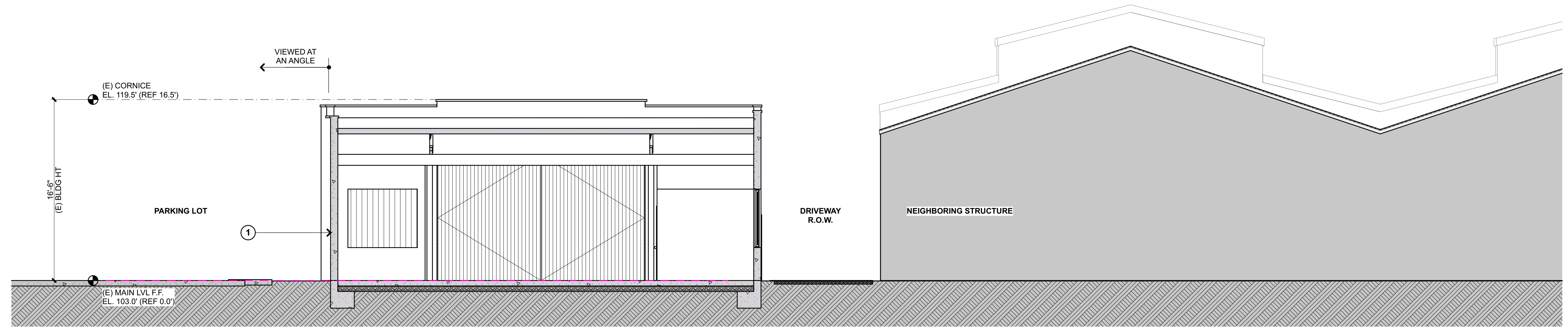
A24



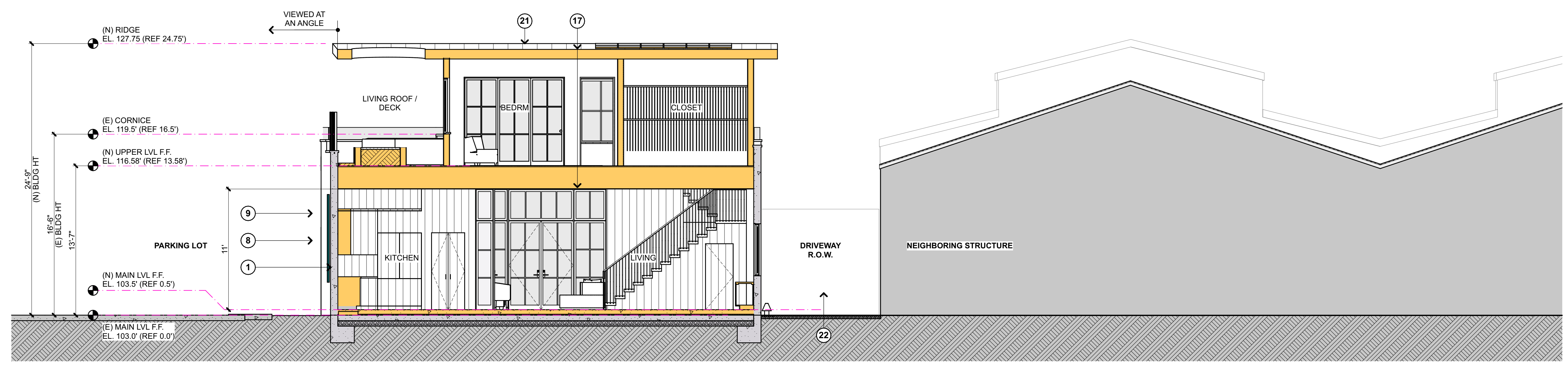
5 VIEW FROM HEALDSBURG AVENUE DRIVEWAY - EXISTING



4 VIEW FROM HEALDSBURG AVENUE DRIVEWAY - PROPOSED



3 SITE SECTION NORTH-SOUTH - EXISTING
SCALE: 3/16" = 1'-0"



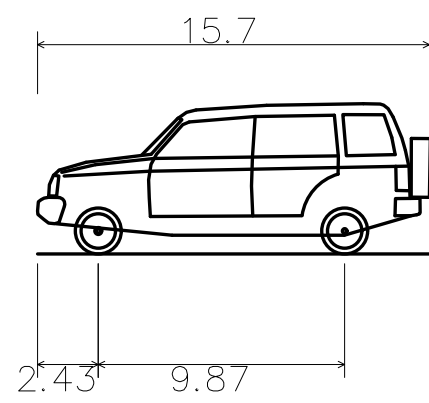
1 SITE SECTION NORTH-SOUTH - PROPOSED
SCALE: 3/16" = 1'-0"

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- NEW WALL

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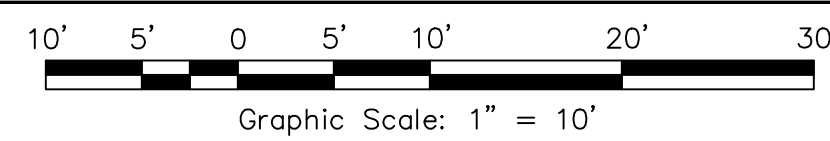
2 KEY NOTES

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Jeep Wrangler 2024
 Overall Length 15.700ft
 Overall Width 6.158ft
 Overall Body Height 6.022ft
 Min Body Ground Clearance 0.753ft
 Track Width 9.242ft
 Lock-to-lock time 4.00s
 Curb to Curb Turning Radius 19.400ft

TURNING MOVEMENT ANALYSIS

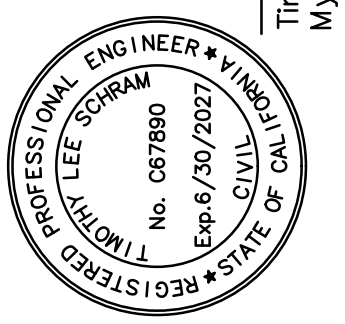


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Revisions	No.	Date	Description	Approved

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 Website: www.adobeinc.com
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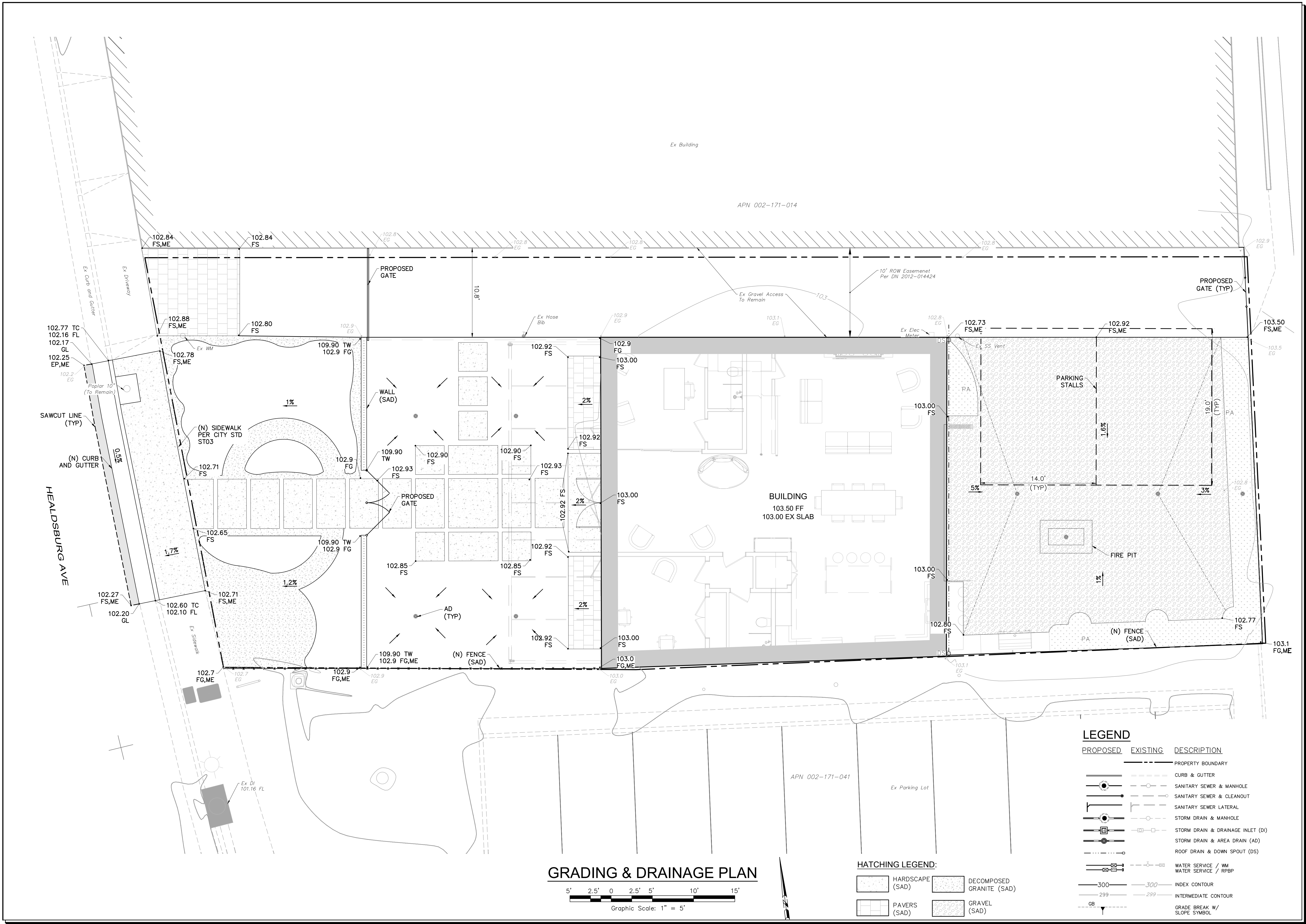


IMPROVEMENT PLAN
444 HEALDSBURG AVE
TURNING MOVEMENT ANALYSIS
 444 Healdsburg Ave
 Healdsburg, California
 APN 002-171-013

SCALE: AS SHOWN
 Date: February 6, 2026
 Design by: SH
 Drawn by: KEG
 Checked by: JLS

Sheet
C1.0
 1 of 3 Sheets
 Job 17139

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GRADING & DRAINAGE PLAN
 5' 2.5' 0 2.5' 5' 10' 15'
 Graphic Scale: 1" = 5'

HATCHING LEGEND:

	HARDSCAPE (SAD)		DECOMPOSED GRANITE (SAD)
	PAVERS (SAD)		GRAVEL (SAD)

LEGEND

PROPOSED	EXISTING	DESCRIPTION
		PROPERTY BOUNDARY
		CURB & GUTTER
		SANITARY SEWER & MANHOLE
		SANITARY SEWER & CLEANOUT
		SANITARY SEWER LATERAL
		STORM DRAIN & MANHOLE
		STORM DRAIN & DRAINAGE INLET (DI)
		STORM DRAIN & AREA DRAIN (AD)
		ROOF DRAIN & DOWN SPOUT (DS)
		WATER SERVICE / WM
		WATER SERVICE / RPBP
		INDEX CONTOUR
		INTERMEDIATE CONTOUR
		GRADE BREAK W/ SLOPE SYMBOL

No.	Description	Date	Approved

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IMPROVEMENT PLAN
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GRADING & DRAINAGE PLAN
 444 Healdsburg Ave
 Healdsburg, California
 APN 002-171-013

SCALE: AS SHOWN
 Date: February 6, 2026
 Design by: SH
 Drawn by: KEG
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 2 of 3 Sheets
 Job 17139

