



# CITY OF HEALDSBURG PLANNING COMMISSION REGULAR MEETING AGENDA

Meeting Date: May 12, 2026  
Time: 06:00 PM  
City Hall Council Chamber  
401 Grove Street  
Healdsburg, CA 95448

**To join by computer, tablet, or mobile device:**

Go to <https://zoom.us/join> and type in the Webinar ID: 815 8894 3494 or follow this link:  
[healdsburg.gov/zoom](https://healdsburg.gov/zoom) (Pre-registration for the meeting is not required.)

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## 1. ROLL CALL

## 2. ADMINISTRATIVE ACTIONS

### 2.a Approval of Agenda

### 2.b Approval of Minutes

By motion, approve the March 10, 2026 Workshop Minutes.

### 2.c Acceptance of Communications and Correspondence

2.c.1 2025 Growth Management Ordinance Annual Report

2.c.2 2025 General Plan Annual Report

### 2.d Declarations of Conflict of Interest

### 2.e Disclosures of Ex Parte Communications

## 3. PUBLIC COMMENTS ON NON-AGENDA ITEMS AND ITEMS ON THIS AGENDA

*This time is set aside to receive comments from the public regarding matters of general interest not on the agenda but related to Planning Commission business. Pursuant to the Brown Act, however, the Planning Commission cannot consider any issues or take action on any request during this comment period.*

*Persons speaking on items on this agenda are requested to provide their name,*

*address and the subject of their comments. Comments are generally limited to three minutes; however, additional time may be granted by the Commission Chair as appropriate, depending on the scope of the project.*

#### **4. PUBLIC HEARINGS**

##### **4.a 2026-2031 Capital Improvement Program General Plan Consistency**

Adopt a Resolution finding that the City of Healdsburg Capital Improvement Program for 2026-2031 is consistent with the Healdsburg 2030 General Plan.

##### **4.b Major Design Review Application for a new single-family residence and ADU located at 712 Johnson Street in the Johnson Street Historic District**

Adopt a Resolution approving Major Design Review Application DR-0002-2026 for a new single-family residence and ADU located at 712 Johnson Street based on the suggested findings and subject to the recommended conditions of approval.

##### **4.c Major Design Review Application and Major Variance Application for Petruzella Personal Storage facility located at 1501 Grove Street**

Adopt a Resolution approving Major Design Review Application DR-0001-2026 and Major Variance Application VAR-0001-2026 for an unmanned personal storage facility located at 1501 Grove Street based on the suggested findings and subject to the recommended conditions of approval.

#### **5. BUSINESS ITEMS**

#### **6. COMMISSIONER AND SUBCOMMITTEE REPORTS**

#### **7. DIRECTOR'S REPORT**

#### **8. ADJOURNMENT**

Scott M. Duiven, Community Development Director

**Posting:** This agenda was posted on City bulletin boards and the City's website at least 72 hours prior to the meeting, in accordance with state law.

**Availability of Written Materials:** All written materials (e.g., staff reports, conditions, resolutions) prepared for items on this agenda are available for public review at least 72 hours prior to the meeting at the Community Development Department at 401 Grove Street and on the City's website at [www.healdsburg.gov](http://www.healdsburg.gov). Written materials submitted after the posting of this agenda, but before the Commission meeting, will also be made available for public review in the Community Development Department. If written materials are presented to the Commission at the meeting, a copy will be made for public review at the meeting.

**Disabled Accommodations:** The City of Healdsburg will make reasonable accommodations for persons having special needs due to disabilities. Please contact Amanda Gray, Administrative Technician, at Healdsburg City Hall, 401 Grove Street, Healdsburg, California, 707-431-3393, at least 72 hours prior to the meeting, to ensure the necessary accommodations are made.

**Appeals:** Anyone that does not agree with the Commission's decision may appeal the decision to the City Council, provided that a written appeal is filed within ten (10) calendar days from the date of the Commission's action.

**CITY OF HEALDSBURG  
PLANNING COMMISSION  
WORKSHOP MEETING MINUTES - DRAFT  
March 10, 2026  
City Hall Council Chamber  
401 Grove Street, Healdsburg**

**1. CALL TO ORDER/ROLL CALL**

Chair McKay called to order the meeting of the Planning Commission of the City of Healdsburg at 6:00 p.m.

Commissioners present: Barber, Gerlach, Luks, McKay, Pearlman, Schadlich, Wood

City Staff present: Community Development Director Scott Duiven, Assistant Planner Jeff Fisher, and Administrative Technician Amanda Gray.

**2. ADMINISTRATIVE ACTIONS**

**A. Approval of Agenda**

On a motion by Commissioner Pearlman, seconded by Commissioner Wood, the Commission voted 7-0-0 to approve the March 10, 2026 agenda.

**B. Approval of Minutes**

On a motion by Pearlman, seconded by Commissioner Schadlich, the Commission voted 7-0-0 to approve the January 27, 2026 regular meeting minutes.

**C. Acceptance of Communications and Correspondence**

**D. Declarations of Conflict of Interest**

Commissioner Gerlach declared a conflict of interest with Agenda Item 4A – The Willows Condominiums, and said he would be recusing himself from the agenda item.

**E. Disclosures of Ex Parte Communications – None**

**3. PUBLIC COMMENTS**

None.

**4. WORKSHOP**

*(Commissioner Gerlach recused himself from this agenda item)*

**A. The Willows Condominiums**

The Planning Commission conducted a workshop to receive a presentation from the applicant regarding their proposal to construct a new 4-unit condominium project and related site improvements. The purpose of the workshop was to receive public input, and to provide informal feedback to the applicant and City staff. No official action was taken.

Assistant Planner, Jeff Fisher, provided a presentation and discussed the project background, location, description, applications, and standards for review.

Warren and Nancy Fine, Applicants, introduced the project team, discussed the workshop objectives and provided a presentation.

The Commission had questions regarding the following:

- Ingress and egress
- Tree removal and replacement
- Grove Street Neighborhood Plan
- Retaining wall
- Habitat preservation area
- RM and ORM Districts
- Height limits

The Commission provided feedback regarding the following:

- Citywide Design Guidelines
- W. Grant/Grove Street Design District Guidelines
- Habitat preservation area impacts and habitat biology
- Heritage trees
- Setbacks
- Building architecture, design, orientation, height and massing reduction, roof types
- Street frontage facades
- Moving the driveway
- Safety concerns

**Public Speaking to the Item:**

Tom Carlile  
Sarah Pena  
Sunny York  
Ann Geary  
Tom Gerlach

The members of the public shared their comments and concerns regarding the following:

- Height and massing of the buildings
- Removal of the large redwood tree at the corner of the lot
- The need for an arborist report
- Potential safety and traffic hazards due to the proposed driveway location
- Privacy for adjacent properties
- Construction staging for worker vehicles
- Drainage issues for the Norton Slough

**9. ADJOURNMENT**

The meeting adjourned at 8:11 p.m.

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Scott M. Duiven, Secretary

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Conor McKay, Chair



**CITY OF HEALDSBURG  
PLANNING COMMISSION  
AGENDA STAFF REPORT**

**MEETING DATE:** May 12, 2026

**SUBJECT:** 2025 Growth Management Ordinance Annual Report

**PREPARED BY:** Ellen McDowell, Senior Planner

**STRATEGIC INITIATIVE(S):**

Establish Proactive Policies/Programs to Continue to Promote Economic Diversity & Sustainable Growth.

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**RECOMMENDED ACTION(S):**

There is no recommended action as this is an informational only report.

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**BACKGROUND:**

Measure M, a residential growth management initiative, was approved by Healdsburg voters on November 7, 2000. This measure limited residential building permits to an average of 30 units per year and no more than 90 over a 3-year period, with affordable units and accessory dwelling units exempt. Measure P, approved by voters on November 6, 2018, amended the City's Growth Management Ordinance to allow an average of 50 additional multifamily rental units per year, not to exceed 150 units in a 3-year period, restricted to households earning no more than 160% of the Sonoma County Area Median Income, adjusted for household size for the unit. Measure H, approved by voters on March 3, 2020, amended Measure P's additional unit allowance to permit these units to be for sale as well as for rent.

The *Policies and Procedures for the Healdsburg Residential Growth Management Program* were revised twice in 2019, first in January to recognize and implement passage of Measure P and secondly in May to incorporate recommendations made in 2018 by the Community Housing Committee, which had considered Growth Management policies at the direction of the City Council. The second revision of the Policies and Procedures in May 2019 also initiated a slightly new way of administering Healdsburg's Growth Management program along with slightly increased flexibility. Several large projects had been approved, making growth management allocations difficult to secure for projects seeking the 30 units allowed under Measure M, and the City Council was interested in adding flexibility within the parameters of the Growth Management Ordinance. The *Policies and Procedures* were further updated in May 2020 to reflect the changes made by Measure H allowing for Category C projects to include multifamily for sale units in addition to multifamily rental units. Category C projects are defined as those with 50 or fewer multifamily rental or for sale units restricted to households earning no more than 160% of the Sonoma County Area Median Income, adjusted for household size for the unit.

The *Policies and Procedures* allow all 90 Category A (projects of four or fewer units) and B (projects of five or more units) allocations to be available in year one of a three-year period, rather than 30 units at the beginning of each year within the three-year period, which enables projects to receive allocations while fulfilling the Measure M provision of no more than an average of 30 units per year. The *Policies and Procedures* also allow all 150 Category C allocations to be available in year one of a three-year period rather than 50 units at the beginning of each year within the three-year period. Changes to the definitions of Category A and B to allow more cross-allocation also increases flexibility.

#### **DISCUSSION/ANALYSIS:**

The *Policies and Procedures, Section 6. Administration* requires the Community Development Director to prepare an annual report and sets forth the specific content of the report. Responses are shown in *italics* below each item.

- (1) The number of dwelling allocations issued during the three-year period and in future periods.

*The year 2025 was year one of a 3-year period under the Growth Management Program (Cycle 9). At the end of 2025, there were five (5) allocations (five (5) Category A and zero (0) Category B and zero (0) Category C) issued in year one of the 3-year period. In 2025, five (5) Category A allocations were issued to construct five (5) new single-family dwellings, and no Category B or Category C allocations were issued during the cycle.*

*Forty-five (45) Category B allocations are effective and reserved for the Mill District project and expire on December 31, 2027, leaving just fifteen (15) available through the end of Cycle 9.*

*In accordance with the Development Agreement between the City of Healdsburg and Replay Healdsburg LLC, unused GMO allocations that would expire or be forfeited at the end of a calendar year shall, if requested, be issued to the Mill District project. On December 31, 2024, the end of Cycle 8, ten (10) Saggio Hill allocations were set to expire or be forfeited along with nineteen (19) unused Category A allocations. On December 16, 2024, Replay Healdsburg LLC requested that any expiring allocations from Cycle 8 be reassigned to the Mill District project. The ten (10) expiring allocations from Saggio Hills and the nineteen (19) expiring Category A allocations were reassigned to the Mill District and will expire on December 31, 2027, if unused.*

*The 2023 Saggio Hills reassignment of fourteen (14) expiring GMO allocations to the Mill District expired on 12/31/2025, and were unused.*

- (2) The number of building permits issued for dwelling units during the prior year, including the Category of dwelling allocation and whether the permitted unit was exempt from the Growth Management Ordinance.

*The City of Healdsburg issued permits for 121 new residential dwelling units in 2025. Of these, 116 were exempt from the Growth Management Ordinance. The exempt units include nine (9) accessory dwelling units, 106 affordable units, and one (1) replacement unit.*

*The five (5) units subject to the GMO were five (5) Category A units. No Category B or Category C allocations were issued in 2025.*

- (3) The status of any waiting list.

*A waiting list was not established for Cycle 9 during 2025.*

- (4) A description of any significant problems that arose during the prior year in administering the Growth Management Program.

*No significant problems arose in administering the Growth Management Program during 2025. However, scarcity of Category B allocations will remain an issue with only fifteen (15) Category B allocations available for new projects (5 or more units in size) through the end of the current 3-year cycle ending on December 31, 2027 (Cycle 9).*

- (5) Recommendations with regard to changes or revisions to these Policies and Procedures to improve their effectiveness and/or administration.

*Revised Growth Management Ordinance Policies and Procedures were last adopted by the City Council in May 2020; no revisions are recommended at this time.*

**ALTERNATIVES:**

No alternative has been identified since the report is required in accordance with the *Policies and Procedures for the Healdsburg Residential Growth Management Program, Section 6. Administration.*

**FISCAL IMPACT:**

The administration of the Growth Management Program is supported by the processing fee assessed for growth management allocations. According to the current fee schedule, the base fee is \$767.68 per growth management allocation. There is no fiscal impact related to the proposed action.

**ENVIRONMENTAL REVIEW:**

The annual report is not a “project” that is subject to environmental review because the report represents a compilation of information and could not possibly impact the environment (California Environmental Quality Act, CEQA Guidelines Section 15061(B)(3)). Therefore, no further environmental review of the annual report is required.



**CITY OF HEALDSBURG  
PLANNING COMMISSION  
AGENDA STAFF REPORT**

**MEETING DATE:** May 12, 2026

**SUBJECT:** 2025 General Plan Annual Report

**PREPARED BY:** Ellen McDowell, Senior Planner

**STRATEGIC INITIATIVE(S):**

- Establish Proactive Policies/Programs to Continue to Promote Economic Diversity & Sustainable Growth
- Pursue Initiatives that Promote Environmental Stewardship
- Expand Affordable Housing Opportunities
- Maintain and Improve Infrastructure and Facilities
- Provide Effective Governance
- Maintain and Enhance Public Health and Safety

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**RECOMMENDED ACTION(S):**

There is no recommended action as this is an informational item.

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**BACKGROUND:**

The Healdsburg 2030 General Plan helps to guide decision making by residents, property owners, business interests, and elected and appointed officials about public and private land use and development that shape Healdsburg’s physical environment.

State law requires the City submit an annual report to the City Council, the Governor’s Office of Planning and Research and the California Department of Housing and Community Development on the status of the General Plan and progress made in its implementation.

Additionally, General Plan Implementation Measure AI-1 requires the preparation of an annual report to the Planning Commission and City Council, focusing on actions undertaken in the previous year to carry out General Plan implementation measures, outlining actions planned for the coming year and identifying necessary revisions to the policy document.

In 2025, the Planning Commission and City Council took numerous actions which forwarded goals and policies included in the General Plan. The attachment to this memorandum provides summaries of those actions by element of the General Plan for the Planning Commission’s information.

**ATTACHMENT(S):**

2025 General Plan Annual Report

## City of Healdsburg General Plan Annual Report 2025 – Year in Review

### INTRODUCTION

The 2030 General Plan, adopted July 6, 2009, provides a strategic program for addressing and planning for the quality of life and needs of the Healdsburg community through 2030. It includes all the State required elements as well as additional optional elements important to the Healdsburg community. The document consists of guiding principles and goals, policies, and implementation programs, and it guides the physical development of the City. The report has been prepared in accordance with the State Office of Planning and Research’s General Plan Guidelines.

California state law requires preparation of an annual report for presentation to the City Council and submittal to the Office of Planning and Research and the Department of Housing and Community Development by April 1. Local policy also addresses annual reporting, providing additional direction. General Plan policy AI-1 directs preparation of an annual report to the Planning Commission and City Council which focuses on actions undertaken in the previous year to carry out General Plan implementation measures, outlines actions planned for the coming year and identifies any necessary revisions.

This report addresses these requirements and outlines how key General Plan goals have been implemented over the last calendar year. The complete General Plan is available on the City’s website at <https://www.ci.healdsburg.ca.us/354/General-Plan>.

### GENERAL PLAN IMPLEMENTATION ACTIONS IN 2025

State law allows amendment of the General Plan up to four times per year. During 2025, there were no General Plan amendments considered by the Planning Commission and City Council.

Progress was made in advancing key implementation actions during 2025. Below is a summary of implementation actions completed or underway by General Plan element.

### LAND USE/COMMUNITY DESIGN

The Land Use Element sets forth the density and intensity of land uses and addresses development and redevelopment of land within the Urban Growth Boundary. It includes the Land Use Plan (map) and goals, policies, and implementation measures. The Community Design Element addresses the visual quality and character of Healdsburg’s built environment. The following summarizes new development in the City.

#### *North Village*

In February 2020, the Planning Commission approved a Master Conditional Use Permit for the North Village Project, a 32-acre mixed-use development in north Healdsburg. The project includes a senior community (Enso Village) with 221 independent living units (30 affordable) and 54 assisted living/memory care units; 75 multifamily apartments and five live-work units (53 affordable and 27 middle-income); 12,000 square feet of retail/commercial; and a 108-key hotel with restaurant, bar, and event space.

In 2020, the City Council approved the Development Agreement, which includes benefits to the City such as affordable housing units, construction of a fire department substation, and connectivity improvements including a shuttle from the site to downtown. In May 2021, the Planning Commission approved Conditional Use Permits and Design Review applications for the mixed-use and hotel components of the project. Building permits for the senior community component (Enso Village) were issued in 2021, and construction was completed in 2024. The hotel building permit was issued in 2023, and construction was completed in 2025. In 2024, building permits were issued for 53 affordable residential units and 12,000 square feet of retail/commercial space and construction was nearing completion in 2025.

The North Village project helps implement Housing Element Goal H-A which calls for the City to “maximize opportunities for the development of a variety of housing types to accommodate anticipated growth, facilitate mobility within both the ownership and rental markets, and encourage a diverse community.”

### ***Mill District***

In 2019, the City Council and the Planning Commission approved the Mill District mixed-use project to redevelop the 9.59-acre site located at 146 and 164 Healdsburg Avenue with 146 market-rate residential units, 30 middle-income residential units, 16 low-income residential units, 24 very low-income residential units, 15,000 square feet of commercial space, 53 hotel rooms, and a 0.78-acre park. The building permits for the affordable housing component of the project were issued in 2021, and construction was completed in 2024, and the units occupied. The park was completed in 2025. Entitlements for the amenity and retail building were approved by the Planning Commission in 2024, and construction was well underway in 2025.

The Mill District project helps implement Housing Element Goal H-A, which calls for the City to “maximize opportunities for the development of a variety of housing types to accommodate anticipated growth, facilitate mobility within both the ownership and rental markets, and encourage a diverse community.”

### ***Saggio Hills***

In 2025, the City advanced multiple projects associated with the overall Saggio Hills development including the affordable housing component of the Saggio Hills project. The Saggio Hills affordable housing project advances General Plan Program H-14 which calls for the City to “develop the Saggio Hills affordable housing site with a range of housing types and target income groups.” Building permits for Saggio Hills affordable housing were issued in early 2025, as well as building permits for multiple estate homes.

The development has continued to pull permits throughout 2025, to continue the construction of the previously approved housing units. The villa component of the project consists of 25 single family homes and all permits were issued and construction was completed in 2024. The amenities building was issued a building permit in 2024, and construction was completed in 2025.

### ***3 Healdsburg Avenue***

In 2022, the Planning Commission approved a Major Design Review allowing for the construction of a 30-unit apartment project with a density bonus. The project includes the demolition of five existing dwelling units and the construction of five new two-story buildings. The City continued to advance the

project in 2024 by issuing demolition, grading, and building permits and construction is well underway. Each building will contain six apartments ranging in size from 490 square feet to 1,029 square feet. The project includes six bonus units as allowed by the State Density Bonus Law. The 3 Healdsburg project helps implement General Plan Policy H-A-4, which calls for the City to “Provide for a wide range of housing opportunities for all economic segments of the community, while maintaining a mix of housing types in Healdsburg.” The project will consist of affordable, middle-income, and market rate units. Permits were issued in early 2025, and construction is anticipated to be completed in 2026.

### ***155 Dry Creek Road***

On September 27, 2022, the Planning Commission approved a Major Design Review and adopted a Mitigated Negative Declaration and Mitigated Monitoring and Reporting Program allowing the construction of a 58-unit, four-story affordable housing project consisting of (28) 1-bedroom, (14) two-bedroom, and (15) three-bedroom units for extremely-low, very-low, and low-income families in partnership with Burbank Housing. The development helps implement General Plan Policy H-C-2, which calls for the City to “work with non-profit organizations to benefit from their expertise and the resources available to them for the development of affordable housing and its ongoing support.” In 2025, a building permit was issued and construction began late 2025. The project construction is anticipated to be completed in late 2026 or early 2027.

### ***Land Use Code Amendments to address new state laws***

In 2025, numerous land use code amendments were brought forward to address recent state laws related to Accessory Dwelling Units, Density Bonus, Senate Bill 9, Senate Bill 684, and Senate Bill 1123. Initiatives related to ADU’s expand opportunities for constructing ADU’s on properties zoned for multifamily dwellings and make other minor edits. Initiatives related to Density Bonus Law enhances the development of affordable and moderate-income housing. Ordinance amendments were adopted incorporating ADU and Density Bonus Law into the Land Use Code in 2025.

Senate Bill 9 increases residential density in areas previously zoned for exclusive single-family zoning. Senate Bill 9 allows for increased densities through allowing up to four homes on a lot that was previously zoned for single family residential and further allows for an expedited lot split process if certain criteria are met. Senate Bill 684 and Senate Bill 1123 are both designed to streamline approval processes for small-scale residential developments if certain criteria are met. Ordinances related to SB9, SB684, and SB 1123 were drafted and went to Planning Commission in 2025, with anticipated City Council adoption in early 2026.

## **HOUSING**

The City Council forwarded General Plan housing goals with actions taken in 2025. More detail on housing accomplishments is included in the separate, Annual Progress Report, specific to the Housing Element, but a few notable items are highlighted here:

- The City continued to assist in the funding of the Dry Creek Commons and the Saggio Hills affordable housing projects.
- The City continued to partner with Reach for Home for the L&M Village and extended an agreement through FY 25/26.
- The Housing Department continued to advance finance actions for affordable housing and loan support and approved long-term affordability agreements.

## **ECONOMIC DEVELOPMENT**

The Economic Development Element promotes economic opportunities and stability in Healdsburg. Policies seek to provide opportunities, including ensuring a diversified employment base and meeting commercial needs of residents and visitors. The following summarizes economic development projects and actions for 2025.

### ***Parklet Program***

On February 7, 2022, the City Council authorized an ongoing parklet program establishing fees and encroachment permits for businesses operating within the Public Right of Way. The project helps the City to achieve General Plan Goal ED-B to “maintain a thriving downtown, with the Plaza as the City’s commercial center.” In 2025, the City continued to partner with local businesses to implement and maintain the ongoing parklet program.

### ***Retail Cannabis***

On April 17, 2023, the City Council established a procedure, guidelines, and review criteria to govern the application and selection process for Cannabis storefront retail permits. In May of 2023, the City Council established the Cannabis Business Tax and on November 13, 2023, the City Council selected two retail cannabis businesses to operate within the City of Healdsburg. In 2024, building permits were issued to two retail cannabis businesses. Solful opened in 2024, and Jane dispensary opened in 2025. The establishment of a commercial cannabis program furthers General Plan Policies ED-A-3 to “Provide for the continuation and expansion of Healdsburg’s commercial services to meet the needs of both Healdsburg area residents and visitors.”

### ***Formula Retail***

In 2025, the City adopted an ordinance amendment to Title 20 of the Healdsburg Municipal Code to implement 2030 General Plan policies regulating formula businesses and prohibiting big box retail and outlet malls. The General Plan includes Policy LU-D-5 and Policy ED-B-3, which prohibit formula businesses on properties around the historic Plaza to support local, independently owned businesses, and Policy LU-E-1, which prohibits big box retail and outlet malls citywide. Implementation Measures LU-16 and ED-12 direct the City to amend the Land Use Code to regulate formula businesses around the Plaza, prohibit big box retail and outlet malls throughout the City, and ensure development outside downtown complements, but does not compete with, the Plaza’s role as the community’s commercial core.

In 2024, staff prepared updated ordinance amendments to clarify definitions and codify the General Plan’s policy framework. The amendments revise district purpose statements, update use tables, and add definitions and standards related to formula retail, big box retail, and outlet malls; prohibit formula retail in the Plaza Retail District and south of North Street within the Downtown Commercial District; permit formula retail in the Service Commercial and Mixed-Use districts; and prohibit big box retail and outlet malls citywide. In 2025, the City Council adopted an ordinance formalizing and implementing the above General Plan Policies.

## **TRANSPORTATION**

The Transportation Element contains goals and policies related to the transportation system in Healdsburg, including streets, public transit, bicycle, pedestrian connections, and rail service. They address each of the transportation modes with the objective of creating a safe, efficient, and convenient transportation system. The projects below also help implement the City Council goal to diversify transportation options. The following summarizes mobility projects forwarded in 2025.

### ***March Avenue Reconstruction and Pedestrian Upgrades***

In 2025, the City Council adopted a resolution approving a Professional Services Agreement (PSA) to provide engineering design services for the March Avenue Reconstruction and Pedestrian Upgrades Project. The project is a major Public Works initiative to improve a key east-west corridor in Healdsburg. The project will reconstruct the roadway pavement and significantly enhance walking, rolling, and bicycling conditions along March Avenue between Healdsburg Avenue and University Street.

### ***Active Transportation Plan***

In January 2025, the City of Healdsburg adopted its first Active Transportation Plan (ATP), a citywide strategic framework to improve and expand opportunities for walking, bicycling, and other human-powered modes of travel for residents and visitors. The ATP is designed to support safer, more comfortable, and more connected non-motorized transportation throughout the community, with a focus on accessibility for people of all ages and abilities.

## **PUBLIC SERVICES**

The Public Services Element focuses on providing facilities and services that are important to residents’ safety and quality of life. These facilities and services include drainage facilities, sewer and water lines, wastewater treatment plants, electrical utility infrastructure, passive and active recreation, police, fire, education, and health care. The following summarizes the public services projects approved in 2025.

### ***3 North Street – Foley Family Pavilion***

The City owns 3 North Street, across from City Hall and, in 2017, approved a schematic design for a Community Pavilion and Farmer’s Market at this location, directing staff to commence design work and to seek funding. In January 2020, the City received a funding pledge of \$7 million for the plan from the Foley Family Foundation.

On April 19, 2021, City Council approved a memorandum of understanding with the Foley Family Foundation for funding the final design phase of the Community Pavilion Project and City Council agreed the Foundation will have the right to name the Community Pavilion Project. Once the design and the other project approvals had been approved by Planning Commission and City Council, the City and the

Foundation commenced discussion and negotiation regarding the construction agreements for the project. City Council also approved a PSA with TLCD Architects to provide the final design for the project.

The project was approved by the Planning Commission in 2023, building permits were issued in March 2024, and construction was completed in late 2025.

This action continues to allow the City implement Land Use Element policy LU-D-2 which directs the City to “seek to provide a diversity of uses within the downtown that serve both residents and visitors and shall avoid an over-concentration of a single type of use” as well as Public Services Element Goal PS-H which calls for “a park and recreation system that is suited to the needs and interests of Healdsburg residents and visitors.”

### ***Infrastructure Improvements***

The City Council accepted and authorized numerous infrastructure improvements during 2025, consistent with General Plan policies directing adequate levels of service for the City’s water, wastewater, and storm drain systems.

Some improvements completed in 2025 include:

- Sidewalk Repair and Gap Closure Project (Reso. 26-2025)
- Powell and Johnson Street pedestrian enhancements (Reso. 28-2025)
- Ward Street Neighborhood Revitalization project (Reso. 80-2025)
- Advanced a significant airport reinvestment program (Reso. 62-2025, Reso. 63-2025)

### **NATURAL RESOURCES**

The Natural Resources Element seeks to protect and improve Healdsburg’s water, agricultural, mineral, air, plant, wildlife, and scenic resources.

The City Council took several actions in 2025, consistent with Natural Resources Goal NR-E, “Reduce greenhouse gas emissions and increase energy efficiency communitywide” and Natural Resources Implementation Measure NR-16, “Implement greenhouse gas emissions reduction measures adopted by the City Council.”

### ***Climate Mobilization Strategy***

In 2023, the City adopted a Climate Mobilization Strategy to pursue greenhouse gas emission reductions for the City in support of RCPA’s goal for carbon neutrality by 2030. The plan details actions and measures the City can take in the future to reduce greenhouse gas emissions through building energy, transportation, waste, water and wastewater, carbon sequestration, and administration. In 2025, the City continued to implement the Climate Mobilization Strategy to reduce greenhouse gas emissions.

### ***Energy Efficiency and Zero Emission Building Programs***

Healdsburg’s Electric Department continues to operate numerous energy efficiency and rebate programs for residential and commercial customers.

### **SAFETY**

The Safety Element seeks to prevent the loss of lives, injuries, and property damage due to geological hazards, flooding, fire, crime, hazardous materials, and noise.

***Fire Substation Project***

On August 24, 2021, The Planning Commission re-approved a previously expired Major Design Review Application for the construction of a Fire Substation located at 1804 Healdsburg Avenue near the northern City boundary. The Fire Substation project is being developed in accordance with the Saggio Hills and North Village Development Agreements and helps to implement fire safety objectives of the Saggio Hills Area Plan. The project completed construction in early 2025.

***Verizon Wireless***

On February 27, 2024, the Planning Commission approved a new cellular tower at 451 Moore Lane. Wireless communication facilities are used by first responders and emergency personnel such as police, fire, emergency medical, homeland security, and disaster response agencies to respond to incidents or situations that pose a threat to people or property. Building permits were issued in 2024, and construction was completed in 2025.

**HISTORIC AND CULTURAL RESOURCES**

The Historic and Cultural Resources Element seeks to preserve significant historic and Native American cultural resources. Such resources include buildings and neighborhoods of historic architectural significance, places of special historic or archaeological value, and other features that have special value to the community. Staff implements policies in this element throughout the year in its review of development proposals.

In 2025, the City advanced several actions that support the preservation of community heritage and cultural resources. Through continued progress on the Foley Family Community Pavilion and the 155 Dry Creek Road projects, the City incorporated environmental compliance and archaeological monitoring into project implementation to help protect potential cultural resources. The City also adopted measures that reinforce community identity, including naming the Valley Oak as the official tree of the City of Healdsburg, reflecting the community's connection to the local landscape and natural heritage.



**CITY OF HEALDSBURG  
PLANNING COMMISSION  
AGENDA STAFF REPORT**

**MEETING DATE:** May 12, 2026

**SUBJECT:** 2026-2031 Capital Improvement Program General Plan Consistency

**PREPARED BY:** Ellen McDowell, Senior Planner

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**RECOMMENDED ACTION(S):**

Adopt a Resolution finding that the City of Healdsburg Capital Improvement Program for 2026-2031 is consistent with the Healdsburg 2030 General Plan.

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**BACKGROUND:**

A Capital Improvement Program (CIP) is a comprehensive planning instrument used by the City to identify needed capital projects and to coordinate the timing and financing of these projects in a way that ensures their implementation. The CIP is adopted in conjunction with the City budget. The City Council has identified capital projects that will be entirely or partially funded in the coming fiscal years (FY 2026-2031).

California Government Code Sections 65400-65404 establish requirements for the Planning Commission review of the City's CIP for compliance with the Healdsburg General Plan's goals and policies.

Proposed Projects

Exhibit A to the draft resolution provides details and descriptions regarding the capital projects that are intended to be funded in FY 2026-2031.

**GENERAL PLAN AND LAND USE CODE ANALYSIS:**

Exhibit A identifies applicable General Plan goals, policies, and programs for each of the CIP projects. The Commission's review is intended to ensure that the projects identified in the CIP are supported by the General Plan.

The General Plan goals, policies and programs identified for each project included in Exhibit A support a consistency finding.

**ENVIRONMENTAL REVIEW:**

The CIP is exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15061(b)(3), the commonsense rule, because the CIP is a planning and funding planning document; each project contained in the document will require an independent environmental assessment appropriate to the nature of the project prior to its implementation.

**ATTACHMENT(S):**

1. Resolution
2. Exhibit A – CIP Projects Summary and General Plan Consistency

**PC RESOLUTION NO.**

**THE PLANNING COMMISSION OF THE CITY OF HEALDSBURG  
FINDS THAT THE CAPITAL IMPROVEMENT PROGRAM FOR  
FISCAL YEAR 2026-2031 IS CONSISTENT WITH THE HEALDSBURG  
2030 GENERAL PLAN**

**WHEREAS**, on May 12, 2026, the Planning Commission of the City of Healdsburg reviewed projects intended to be funded by the FY 2026-2031 Capital Improvement Program (CIP) that have not previously been determined by the Planning Commission to be consistent with the Healdsburg General Plan; and

**WHEREAS**, Exhibit A attached hereto demonstrates that all the included capital projects are consistent with goals, policies, and programs of the Healdsburg General Plan; and

**WHEREAS**, the adoption of the CIP is exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15061(b)(3) of the CEQA Guidelines because the CIP is a planning and funding planning document; each project contained in the document will require an independent environmental assessment appropriate to the nature of the project prior to its implementation.

**NOW, THEREFORE, BE IT RESOLVED** that the Healdsburg Planning Commission hereby finds that the proposed City of Healdsburg 2026-2031 Capital Improvement Program is consistent with the Healdsburg 2030 General Plan based upon the General Plan goals, policies and programs identified in Exhibit A attached hereto.

**DULY AND REGULARLY ADOPTED** by the Healdsburg Planning Commission on the 12<sup>th</sup> day of May 2026, by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

Approved:

Attest:

\_\_\_\_\_  
Conor McKay, Chair

\_\_\_\_\_  
Scott M. Duiven, Secretary

**FIVE-YEAR CAPITAL IMPROVEMENT PROGRAM SUMMARY**

Item 4.a

**Streets Projects - Fund 512**

Project Name	Project #	Adopted Budget	FY 26-27 Budget	FY 27-28 Budget	FY 28-29 Budget	FY 29-30 Budget	FY 30-31 Budget	Total
Healdsburg Avenue Complete Streets	ST006	\$ 15,394,640	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 15,394,640
Grove Street Neighborhood Plan Implementation	ST007	\$ 3,270,000	\$ 1,701,802	\$ -	\$ -	\$ -	\$ -	\$ 4,971,802
Ward St Neighborhood Revitalization	ST009	\$ 1,506,037	\$ -	\$ 106,001	\$ -	\$ -	\$ -	\$ 1,612,038
South Healdsburg Avenue Connectivity	ST011	\$ 1,259,780	\$ -	\$ -	\$ 2,550,000	\$ -	\$ -	\$ 3,809,780
March Avenue Reconstruction - Lupine Road Pedestrian Crossing Upgrades	ST013	\$ 3,351,696	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 3,351,696
Powell Ave at Johnson St Pedestrian Crossing Enhancements	ST014	\$ 360,435	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 360,435
US-101 and Dry Creek Road Interchange Improvements	ST015	\$ 700,000	\$ 125,000	\$ 1,661,000	\$ -	\$ 13,734,000	\$ -	\$ 16,220,000
University Avenue Pedestrian Improvements - Powell to Monte Vista	ST016	\$ -	\$ 629,396	\$ -	\$ -	\$ -	\$ -	\$ 629,396
Pavement Preventative Maintenance	ST017	\$ -	\$ 225,000	\$ 1,142,000	\$ -	\$ -	\$ -	\$ 1,367,000
Sunset Drive Slope Stabilization and Pavement Repair	ST018	\$ -	\$ -	\$ 175,000	\$ 1,275,000	\$ -	\$ -	\$ 1,450,000
West Plaza Parking Lot Rehabilitation	ST019	\$ -	\$ 150,000	\$ 850,000	\$ -	\$ -	\$ -	\$ 1,000,000
Front Street and First Street Rehabilitation	ST020	\$ -	\$ -	\$ 300,000	\$ -	\$ 2,500,000	\$ -	\$ 2,800,000
Sidewalk Repair and Gap Closure	ST021	\$ -	\$ -	\$ 75,000	\$ -	\$ -	\$ -	\$ 75,000
West Grant Street Bridge Rehabilitation	TBD	\$ -	\$ -	\$ -	\$ 300,000	\$ -	\$ 2,000,000	\$ 2,300,000
Sherman Street Retaining Wall Replacement	TBD	\$ -	\$ -	\$ -	\$ 170,000	\$ -	\$ -	\$ 170,000
Grove Street North	TBD	\$ -	\$ -	\$ -	\$ 100,000	\$ 743,750	\$ -	\$ 843,750
Borel Street Wall and Sidewalk Improvements	TBD	\$ -	\$ -	\$ -	\$ 71,000	\$ 544,190	\$ -	\$ 615,190
SMART Multi-Use Path Access at Parkland Farms	TBD	\$ -	\$ -	\$ -	\$ 50,000	\$ 250,000	\$ -	\$ 300,000
Bridge Deck Treatment	TBD	\$ -	\$ -	\$ -	\$ 22,000	\$ 240,000	\$ -	\$ 262,000
Powell Avenue Pavement Reconstruction and Pedestrian Improvements	TBD	\$ -	\$ -	\$ -	\$ -	\$ 250,000	\$ 1,500,000	\$ 1,750,000
Mill Street West Complete Streets	TBD	\$ -	\$ -	\$ -	\$ -	\$ 200,000	\$ 1,525,000	\$ 1,725,000
Traffic Signal Upgrades	TBD	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 500,000	\$ 500,000
		<b>\$ 25,842,589</b>	<b>\$ 2,831,198</b>	<b>\$ 4,309,001</b>	<b>\$ 4,538,000</b>	<b>\$ 18,461,940</b>	<b>\$ 5,525,000</b>	<b>\$ 61,507,728</b>

**Water Projects - Fund 522**

Project Name	Project #	Adopted Budget	FY 26-27 Budget	FY 27-28 Budget	FY 28-29 Budget	FY 29-30 Budget	FY 30-31 Budget	Total
UV Treatment of Cryptosporidium at Fitch	WA002	\$ 84,579	\$ -	\$ 1,250,000	\$ -	\$ -	\$ -	\$ 1,334,579
Brown Street Sewer and Water Replacement	WA003	\$ 2,828,252	\$ 1,213,732	\$ -	\$ -	\$ -	\$ -	\$ 4,041,984
University Street Sewer and Water Replacement	WA005	\$ 256,516	\$ -	\$ -	\$ 2,705,858	\$ -	\$ -	\$ 2,962,374
Groundwater Supply Wells / ASR	WA006	\$ 2,164,059	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 2,164,059
Dry Creek Water Treatment Plant Upgrades - Pumping & Clear Water Improvem	WA008	\$ -	\$ 1,477,457	\$ -	\$ -	\$ -	\$ -	\$ 1,477,457
Dry Creek Wells Capacity Improvements	WA009	\$ -	\$ 1,456,416	\$ -	\$ -	\$ -	\$ -	\$ 1,456,416
Front Street Water Main Casing	WA010	\$ -	\$ 150,000	\$ -	\$ -	\$ -	\$ -	\$ 150,000
Gauntlett Reservoir Liner Replacement	WA011	\$ -	\$ -	\$ 658,625	\$ -	\$ -	\$ -	\$ 658,625
Gauntlett Water Treatment Plant Membranes Replacement	WA012	\$ -	\$ -	\$ 301,662	\$ 319,376	\$ 330,555	\$ -	\$ 951,593
Gauntlett Well Field Pipeline Rehab/Replacement	WA013	\$ -	\$ -	\$ 273,895	\$ 642,384	\$ -	\$ -	\$ 916,279
McDonough Water Transmission Main Replacement	WA014	\$ -	\$ -	\$ 227,567	\$ 2,591,437	\$ -	\$ -	\$ 2,819,004
Fitch Well Field Pipeline Rehab/Replacement	WA015	\$ -	\$ -	\$ 125,000	\$ -	\$ 466,763	\$ -	\$ 591,763
Reed Court and Bianca Lane Sewer and Water Replacement	TBD	\$ -	\$ -	\$ -	\$ -	\$ 308,247	\$ 3,400,000	\$ 3,708,247
		<b>\$ 5,333,405</b>	<b>\$ 4,297,605</b>	<b>\$ 2,836,749</b>	<b>\$ 6,259,055</b>	<b>\$ 1,105,565</b>	<b>\$ 3,400,000</b>	<b>\$ 23,232,379</b>

**FIVE-YEAR CAPITAL IMPROVEMENT PROGRAM SUMMARY**

Item 4.a

**Wastewater Projects - Fund 532**

Project Name	Project #	Adopted Budget	FY 26-27 Budget	FY 27-28 Budget	FY 28-29 Budget	FY 29-30 Budget	FY 30-31 Budget	Total
Healdsburg Avenue Utility Replacements	SE004	\$ 3,265,833	\$ 875,807	\$ -	\$ -	\$ -	\$ -	\$ 4,141,640
Orchard Lift Station Reconstruction	SE005	\$ 277,981	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 277,981
Magnolia Lift Station Structure Rehabilitation	SE006	\$ 216,332	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 216,332
Healdsburg Avenue Sewer Replacement	SE007	\$ -	\$ 2,007,053	\$ -	\$ -	\$ -	\$ -	\$ 2,007,053
Hudson Street to Ward Street Sewer Replacement	SE008	\$ -	\$ 1,050,000	\$ -	\$ -	\$ -	\$ -	\$ 1,050,000
Grove Street and Vine Street Trunk Main Replacement	SE009	\$ -	\$ 325,000	\$ -	\$ 3,250,000	\$ -	\$ -	\$ 3,575,000
Heron Lift Station Relocation	SE010	\$ -	\$ -	\$ 1,706,118	\$ -	\$ -	\$ -	\$ 1,706,118
Inflow and Infiltration Investigation and Repairs	SE011	\$ -	\$ -	\$ 1,579,343	\$ -	\$ -	\$ -	\$ 1,579,343
WRF Filtrate Gallery Valves	SE012	\$ -	\$ -	\$ 70,000	\$ 360,000	\$ -	\$ -	\$ 430,000
Corp Yard Force Main - Westside Rd Gravity Sewer	TBD	\$ -	\$ -	\$ -	\$ 1,557,636	\$ -	\$ -	\$ 1,557,636
		<b>\$ 3,760,146</b>	<b>\$ 4,257,860</b>	<b>\$ 3,355,461</b>	<b>\$ 5,167,636</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ 16,541,103</b>

**Drainage Projects - Fund 532**

Project Name	Project #	Adopted Budget	FY 26-27 Budget	FY 27-28 Budget	FY 28-29 Budget	FY 29-30 Budget	FY 30-31 Budget	Total
Chablis Road Drainage Channel Sediment Removal	DR001	\$ -	\$ -	\$ -	\$ -	\$ 300,000	\$ -	\$ 300,000
900 Powell Avenue Catch Basin Replacement	DR003	\$ 75,000	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 75,000
Willow Glen Court Storm Drain Repair	DR004	\$ -	\$ 325,000	\$ -	\$ -	\$ -	\$ -	\$ 325,000
Foss Creek Storm Drain Bypass Inlet Improvements	DR005	\$ -	\$ 100,000	\$ -	\$ -	\$ -	\$ -	\$ 100,000
Grant Avenue Storm Drain Repair	DR006	\$ -	\$ 75,000	\$ -	\$ -	\$ -	\$ -	\$ 75,000
Trash Capture Implementation - Phase 1	DR007	\$ -	\$ -	\$ 100,000	\$ -	\$ -	\$ -	\$ 100,000
Foss Creek Sediment Removal at North Street	DR008	\$ -	\$ -	\$ 50,000	\$ -	\$ -	\$ -	\$ 50,000
Bridal Path Drainage Improvements	DR009	\$ -	\$ -	\$ 50,000	\$ -	\$ -	\$ -	\$ 50,000
Healdsburg Ave Storm Drain Improvements - Front Street to US 101	TBD	\$ -	\$ -	\$ -	\$ 750,000	\$ -	\$ -	\$ 750,000
Pordon Lane Storm Drain Improvements - Phase 2	TBD	\$ -	\$ -	\$ -	\$ 500,000	\$ -	\$ -	\$ 500,000
Stream Gauge / Flood Monitoring System	TBD	\$ -	\$ -	\$ -	\$ 75,000	\$ -	\$ -	\$ 75,000
Flood Plain Map Update	TBD	\$ -	\$ -	\$ -	\$ -	\$ 350,000	\$ -	\$ 350,000
135 Healdsburg Avenue Storm Drain Replacement	TBD	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 150,000	\$ 150,000
Center Street Storm Drain Replacement	TBD	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 125,000	\$ 125,000
		<b>\$ 75,000</b>	<b>\$ 500,000</b>	<b>\$ 200,000</b>	<b>\$ 1,325,000</b>	<b>\$ 650,000</b>	<b>\$ 275,000</b>	<b>\$ 3,025,000</b>

**Electric Projects - Fund 542**

Project Name	Project #	Adopted Budget	FY 26-27 Budget	FY 27-28 Budget	FY 28-29 Budget	FY 29-30 Budget	FY 30-31 Budget	Total
Underground Healdsburg Ave	EL008	\$ 4,120,000	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 4,120,000
Public Electric Vehicle Charging Stations	EL009	\$ -	\$ 883,333	\$ -	\$ -	\$ -	\$ -	\$ 883,333
Install Backtie for South Healdsburg	EL010	\$ -	\$ 836,000	\$ -	\$ -	\$ -	\$ -	\$ 836,000
Reconductor Grove Street North of Dry Creek	EL011	\$ -	\$ 157,850	\$ -	\$ -	\$ -	\$ -	\$ 157,850
Badger Substation Bank Replacement	EL012	\$ -	\$ -	\$ 1,518,825	\$ 14,229,600	\$ -	\$ -	\$ 15,748,425
		<b>\$ 4,120,000</b>	<b>\$ 1,877,183</b>	<b>\$ 1,518,825</b>	<b>\$ 14,229,600</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ 21,745,608</b>

**FIVE-YEAR CAPITAL IMPROVEMENT PROGRAM SUMMARY**

Item 4.a

**Airport Projects - Fund 572**

<b>Project Name</b>	<b>Project #</b>	<b>Adopted Budget</b>	<b>FY 26-27 Budget</b>	<b>FY 27-28 Budget</b>	<b>FY 28-29 Budget</b>	<b>FY 29-30 Budget</b>	<b>FY 30-31 Budget</b>	<b>Total</b>
Airport Runway Pavement Reconstruction	AP004	\$ 204,000.00	\$ 2,906,000	\$ -	\$ -	\$ -	\$ -	\$ 3,110,000
Airport Taxiways A (East) and A1 Pavement Rehabilitation	AP005	\$ 716,641.00	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 716,641
Airport Hangar Re-Roof and Replacement of Existing Light Transmitting Panels	AP007	\$ 95,000.00	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 95,000
Airport Taxiways Reconfiguration Phase 2	AP008	\$ -	\$ -	\$ 767,500	\$ -	\$ -	\$ -	\$ 767,500
Reconstruct North Apron	TBD	\$ -	\$ -	\$ -	\$ -	\$ 107,000	\$ -	\$ 107,000
		<b>\$ 1,015,641</b>	<b>\$ 2,906,000</b>	<b>\$ 767,500</b>	<b>\$ -</b>	<b>\$ 107,000</b>	<b>\$ -</b>	<b>\$ 4,796,141</b>

**Community Services Projects - Fund 582**

<b>Project Name</b>	<b>Project #</b>	<b>Adopted Budget</b>	<b>FY 26-27 Budget</b>	<b>FY 27-28 Budget</b>	<b>FY 28-29 Budget</b>	<b>FY 29-30 Budget</b>	<b>FY 30-31 Budget</b>	<b>Total</b>
Badger Park Redevelopment	CS002	\$ 2,300,000	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 2,300,000
Saggio Hills Park Development	CS003	\$ 7,676,355	\$ 409,894	\$ -	\$ -	\$ -	\$ -	\$ 8,086,249
Community Center Resilience Hub Improvements	CS006	\$ 500,000	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 500,000
Villa Chanticleer Modernization	CS007	\$ 1,500,000	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,500,000
		<b>\$ 11,976,355</b>	<b>\$ 409,894</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ 12,386,249</b>
<b>Total</b>		<b>\$ 52,123,136</b>	<b>\$ 17,079,740</b>	<b>\$ 12,987,536</b>	<b>\$ 31,519,291</b>	<b>\$ 20,324,505</b>	<b>\$ 9,200,000</b>	<b>\$ 143,234,208</b>

Streets Projects - Fund 512

Project Name	Project #	Adopted Budget	FY 26-27 Budget	FY 27-28 Budget	FY 28-29 Budget	FY 29-30 Budget	FY 30-31 Budget	Total
Healdsburg Avenue Complete Streets	ST006	\$ 15,394,640	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 15,394,640
Grove Street Neighborhood Plan Implementation	ST007	\$ 3,270,000	\$ 1,701,802	\$ -	\$ -	\$ -	\$ -	\$ 4,971,802
Ward St Neighborhood Revitalization	ST009	\$ 1,506,037	\$ -	\$ 106,001	\$ -	\$ -	\$ -	\$ 1,612,038
South Healdsburg Avenue Connectivity	ST011	\$ 1,259,780	\$ -	\$ -	\$ 2,550,000	\$ -	\$ -	\$ 3,809,780
March Avenue Reconstruction - Lupine Road Pedestrian Crossing Upgrades	ST013	\$ 3,351,696	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 3,351,696
Powell Ave at Johnson St Pedestrian Crossing Enhancements	ST014	\$ 360,435	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 360,435
US-101 and Dry Creek Road Interchange Improvements	ST015	\$ 700,000	\$ 125,000	\$ 1,661,000	\$ -	\$ 13,734,000	\$ -	\$ 16,220,000
University Avenue Pedestrian Improvements - Powell to Monte Vista	ST016	\$ -	\$ 629,396	\$ -	\$ -	\$ -	\$ -	\$ 629,396
Pavement Preventative Maintenance	ST017	\$ -	\$ 225,000	\$ 1,142,000	\$ -	\$ -	\$ -	\$ 1,367,000
Sunset Drive Slope Stabilization and Pavement Repair	ST018	\$ -	\$ -	\$ 175,000	\$ 1,275,000	\$ -	\$ -	\$ 1,450,000
West Plaza Parking Lot Rehabilitation	ST019	\$ -	\$ 150,000	\$ 850,000	\$ -	\$ -	\$ -	\$ 1,000,000
Front Street and First Street Rehabilitation	ST020	\$ -	\$ -	\$ 300,000	\$ -	\$ 2,500,000	\$ -	\$ 2,800,000
Sidewalk Repair and Gap Closure	ST021	\$ -	\$ -	\$ 75,000	\$ -	\$ -	\$ -	\$ 75,000
West Grant Street Bridge Rehabilitation	TBD	\$ -	\$ -	\$ -	\$ 300,000	\$ -	\$ 2,000,000	\$ 2,300,000
Sherman Street Retaining Wall Replacement	TBD	\$ -	\$ -	\$ -	\$ 170,000	\$ -	\$ -	\$ 170,000
Grove Street North	TBD	\$ -	\$ -	\$ -	\$ 100,000	\$ 743,750	\$ -	\$ 843,750
Borel Street Wall and Sidewalk Improvements	TBD	\$ -	\$ -	\$ -	\$ 71,000	\$ 544,190	\$ -	\$ 615,190
SMART Multi-Use Path Access at Parkland Farms	TBD	\$ -	\$ -	\$ -	\$ 50,000	\$ 250,000	\$ -	\$ 300,000
Bridge Deck Treatment	TBD	\$ -	\$ -	\$ -	\$ 22,000	\$ 240,000	\$ -	\$ 262,000
Powell Avenue Pavement Reconstruction and Pedestrian Improvements	TBD	\$ -	\$ -	\$ -	\$ -	\$ 250,000	\$ 1,500,000	\$ 1,750,000
Mill Street West Complete Streets	TBD	\$ -	\$ -	\$ -	\$ -	\$ 200,000	\$ 1,525,000	\$ 1,725,000
Traffic Signal Upgrades	TBD	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 500,000	\$ 500,000
		\$ 25,842,589	\$ 2,831,198	\$ 4,309,001	\$ 4,538,000	\$ 18,461,940	\$ 3,760,146	\$ 61,507,728

FY 26-27

Project Name	Project #	Measure T Fund 105	SB1 (RMRA) Fund 202	Electric Fund 540	Parking Impact Fee Fund 905	Traffic Impact Fee Fund 910	Drainage Impact Fund 931	Developer Funding	Total
Grove Street Neighborhood Plan Implementation	ST007	\$ 837,741	\$ -	\$ 400,000	\$ -	\$ -	\$ 464,061	\$ -	\$ 1,701,802
Ward St Neighborhood Revitalization	ST009	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
US-101 and Dry Creek Road Interchange Improvements	ST015	\$ -	\$ -	\$ -	\$ -	\$ 125,000	\$ -	\$ -	\$ 125,000
University Avenue Pedestrian Improvements - Powell to Monte Vista	ST016	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 629,396	\$ 629,396
Pavement Preventative Maintenance	ST017	\$ -	\$ 225,000	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 225,000
Sunset Drive Slope Stabilization and Pavement Repair	ST018	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
West Plaza Parking Lot Rehabilitation	ST019	\$ -	\$ -	\$ -	\$ 150,000	\$ -	\$ -	\$ -	\$ 150,000
Front Street and First Street Rehabilitation	ST020	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Sidewalk Repair and Gap Closure	ST021	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
		\$ 837,741	\$ 225,000	\$ 400,000	\$ 150,000	\$ 125,000	\$ 464,061	\$ 629,396	\$ 2,831,198

FY 27-28

Project Name	Project #	Measure T Fund 105	SB1 (RMRA) Fund 202	Water Fund 520	Building Maintenance Fund 604	Parking Impact Fee Fund 905	Traffic Impact Fee Fund 910	Landfill Settlement Funds	TDA	Total
Grove Street Neighborhood Plan Implementation	ST007	\$ 106,001	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 106,001
Ward St Neighborhood Revitalization	ST009	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Powell Ave at Johnson St Pedestrian Crossing Enhancements	ST014	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,661,000	\$ -	\$ -	\$ 1,661,000
US-101 and Dry Creek Road Interchange Improvements	ST015	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
University Avenue Pedestrian Improvements - Powell to Monte Vista	ST016	\$ -	\$ 500,000	\$ -	\$ -	\$ -	\$ -	\$ 642,000	\$ -	\$ 1,142,000
Pavement Preventative Maintenance	ST017	\$ 122,500	\$ -	\$ 52,500	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 175,000
Sunset Drive Slope Stabilization and Pavement Repair	ST018	\$ -	\$ -	\$ -	\$ 730,000	\$ 120,000	\$ -	\$ -	\$ -	\$ 850,000
West Plaza Parking Lot Rehabilitation	ST019	\$ 300,000	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 300,000
Front Street and First Street Rehabilitation	ST020	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 75,000	\$ 75,000
Sidewalk Repair and Gap Closure	ST021	\$ 528,501	\$ 500,000	\$ 52,500	\$ 730,000	\$ 120,000	\$ 1,661,000	\$ 642,000	\$ 75,000	\$ 4,309,001

City of Healdsburg  
Five Year Capital Improvement Program  
Project Detail

Item 4.a

**Project Name:**  
Healdsburg Avenue Complete Streets

**Project Number:**  
ST006

**Project Priority:**  
Desirable

**Project Description:**  
This project will increase walking and bicycling by adding separated bikeways, continuously protected sidewalks, enhanced crosswalks, and improved bus stops. Landscape barriers with street trees will separate bike lanes and sidewalks from traffic and serve to treat storm water at key locations.



**Department:** Public Works

**General Plan Consistency:**

Goal T-D Bicycle and pedestrian routes and facilities that provide safe and convenient access and an alternative to the use of motor vehicles.  
Policy T-D-1 The use of alternative transportation modes shall be encouraged by establishing a safe and convenient bicycle and pedestrian network interconnecting residential areas with recreation, shopping, and employment areas.

**Appropriations beyond the 5 year program period are needed to complete the project:** Yes ( ) No (X)

Capital Improvement Program Detail	Adopted Budget	Estimated Expenditures	2026-27	2027-28	2028-29	2029-30	2030-31	Projected Project Total
<b>Project Costs:</b>	<b>\$ 15,394,640</b>	<b>\$ 15,394,640</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ 15,394,640</b>
Planning	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Design	\$ 1,617,640	\$ 1,617,640	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,617,640
Construction	\$ 13,777,000	\$ 13,777,000	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 13,777,000
<b>Funding Sources:</b>								
Measure T Fund 105	\$ 2,856,901	\$ 2,856,901	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 2,856,901
Streets Fund 510	\$ 24,033	\$ 24,033	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 24,033
Federal Funding	\$ 37,000	\$ 37,000	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 37,000
ARPA	\$ 57,705	\$ 57,705	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 57,705
OBAG Grant	\$ 600,001	\$ 600,001	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 600,001
ATP Grant	\$ 11,819,000	\$ 11,819,000	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 11,819,000
<b>Total</b>	<b>\$ 15,394,640</b>	<b>\$ 15,394,640</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ 15,394,640</b>

City of Healdsburg  
Five Year Capital Improvement Program  
Project Detail

Item 4.a

**Project Name:**

Grove Street Neighborhood Plan Implementation

**Project Number:**

ST007

**Project Priority:**

Desirable

**Project Description:**

This project will construct continuous curb, gutter, and sidewalks to improve pedestrian access along Grove Street between Grant Street and Dry Creek Road. Additional project elements will include upgrades to the two existing bus stops, storm water treatment within landscape strips to improve water quality, and street trees to shade the walkways.



**Department:** Public Works

**General Plan Consistency:**

Goal T-D Bicycle and pedestrian routes and facilities that provide safe and convenient access and an alternative to the use of motor vehicles.  
Policy T-D-1 The use of alternative transportation modes shall be encouraged by establishing a safe and convenient bicycle and pedestrian network interconnecting residential areas with recreation, shopping and, employment areas.

**Appropriations beyond the 5 year program period are needed to complete the project:** Yes ( ) No (X)

Capital Improvement Program Detail	Adopted Budget	Estimated Expenditures	2026-27	2027-28	2028-29	2029-30	2030-31	Projected Project Total
<b>Project Costs:</b>	<b>\$ 3,270,000</b>	<b>\$ 3,270,000</b>	<b>\$ 1,701,802</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ 4,971,802</b>
Planning	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Design	\$ 418,822	\$ 418,822	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 418,822
Construction	\$ 2,851,178	\$ 2,851,178	\$ 1,701,802	\$ -	\$ -	\$ -	\$ -	\$ 4,552,980
<b>Funding Sources:</b>								
Measure T Fund 105	\$ 770,000	\$ 770,000	\$ 837,741	\$ -	\$ -	\$ -	\$ -	\$ 1,607,741
Electric Fund 540	\$ -	\$ -	\$ 400,000	\$ -	\$ -	\$ -	\$ -	\$ 400,000
Drainage Impact Fee Fund 931	\$ -	\$ -	\$ 464,061	\$ -	\$ -	\$ -	\$ -	\$ 464,061
County Tax Measure Grant	\$ 283,000	\$ 283,000	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 283,000
OBAG 3 Grant	\$ 2,217,000	\$ 2,217,000	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 2,217,000
<b>Total</b>	<b>\$ 3,270,000</b>	<b>\$ 3,270,000</b>	<b>\$ 1,701,802</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ 4,971,802</b>

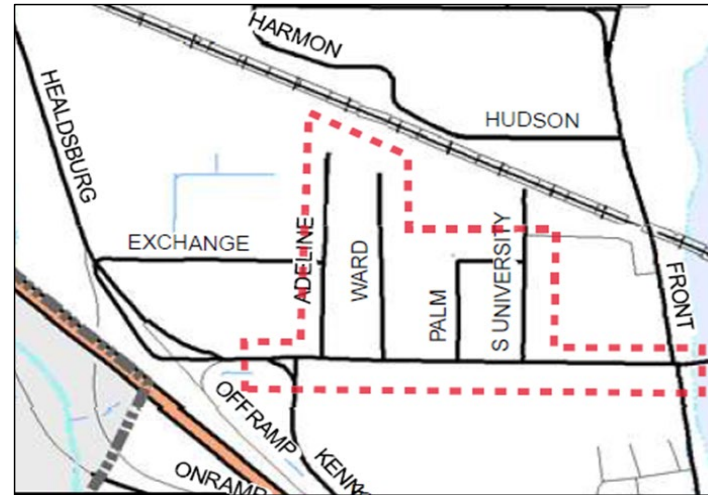
City of Healdsburg  
Five Year Capital Improvement Program  
Project Detail

Item 4.a

**Project Name:**  
Ward St Neighborhood Revitalization

**Project Number:** ST009  
**Project Priority:** Desirable

**Project Description:**  
This project will perform an evaluation of the existing infrastructure and develop a comprehensive plan outlining needed public improvements with the Ward Street Neighborhood. The completed plan will be used as a basis to implement various improvements and pursue additional funding. Initial grant funding will be used to close sidewalk gaps, repair uneven walkway surfaces, install ADA ramps, reconstruct pavement, and improve storm drainage.



**Department:** Public Works

**General Plan Consistency:**  
Goal T-A A circulation system that is correlated with existing and proposed land use and provides for the efficient movement of people, goods, and services within and through Healdsburg.  
Goal T-D Bicycle and pedestrian routes and facilities that provide safe and convenient access and an alternative to the use of motor vehicles.

**Appropriations beyond the 5 year program period are needed to complete the project:** Yes ( ) No (X)

Capital Improvement Program Detail	Adopted Budget	Estimated Expenditures	2026-27	2027-28	2028-29	2029-30	2030-31	Projected Project Total
<b>Project Costs:</b>	\$ 1,506,037	\$ 1,506,037	\$ -	\$ 106,001	\$ -	\$ -	\$ -	\$ 1,612,038
Planning	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Design	\$ 148,000	\$ 148,000	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 148,000
Construction	\$ 1,358,037	\$ 1,358,037	\$ -	\$ 106,001	\$ -	\$ -	\$ -	\$ 1,464,038
<b>Funding Sources:</b>								
Measure T Fund 105	\$ 255,000	\$ 255,000	\$ -	\$ 106,001	\$ -	\$ -	\$ -	\$ 361,001
Streets Fund 510	\$ 57,037	\$ 57,037	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 57,037
County Tax Measure Grant	\$ 1,194,000	\$ 1,194,000	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,194,000
<b>Total</b>	<b>\$ 1,506,037</b>	<b>\$ 1,506,037</b>	<b>\$ -</b>	<b>\$ 106,001</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ 1,612,038</b>

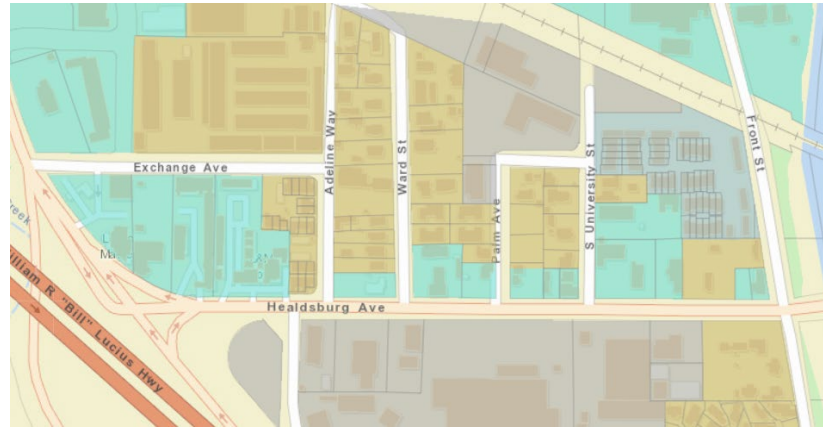
City of Healdsburg  
Five Year Capital Improvement Program  
Project Detail

Item 4.a

**Project Name:**  
South Healdsburg Avenue Connectivity

**Project Number:** ST011                      **Project Priority:** Desirable

**Project Description:**  
This project will design and construct bike and pedestrian improvements along Healdsburg Avenue between Front Street and Exchange Avenue.



**Department:** Public Works

**General Plan Consistency:**  
Goal T-D Bicycle and pedestrian routes and facilities that provide safe and convenient access and an alternative to the use of motor vehicles.  
Policy T-D-1 The use of alternative transportation modes shall be encouraged by establishing a safe and convenient bicycle and pedestrian network interconnecting residential areas with recreation, shopping, and employment areas.

**Appropriations beyond the 5 year program period are needed to complete the project:** Yes ( ) No (X)

Capital Improvement Program Detail	Adopted Budget	Estimated Expenditures	2026-27	2027-28	2028-29	2029-30	2030-31	Projected Project Total
<b>Project Costs:</b>	<b>\$ 1,259,780</b>	<b>\$ 1,259,780</b>	\$ -	\$ -	\$ 2,550,000	\$ -	\$ -	\$ 3,809,780
Planning	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Design	\$ 200,000	\$ 200,000	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 200,000
Construction	\$ 1,059,780	\$ 1,059,780	\$ -	\$ -	\$ 2,550,000	\$ -	\$ -	\$ 3,609,780
<b>Funding Sources:</b>								
Developer Funded	\$ 1,259,780	\$ 1,259,780	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,259,780
Grant Funding	\$ -	\$ -	\$ -	\$ -	\$ 2,550,000	\$ -	\$ -	\$ 2,550,000
<b>Total</b>	<b>\$ 1,259,780</b>	<b>\$ 1,259,780</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ 2,550,000</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ 3,809,780</b>

City of Healdsburg  
Five Year Capital Improvement Program  
Project Detail

Item 4.a

**Project Name:**

March Avenue Reconstruction - Lupine Road Pedestrian Crossing Upgrades

**Project Number:**

ST013

**Project Priority:**

Necessary

**Project Description:**

This project will reconstruct the roadway along March Avenue between Healdsburg Avenue and University Avenue. Additionally, the project will improve the pedestrian crossing at the intersection of Lupine Road and March Avenue.



**Department:** Public Works

**General Plan Consistency:**

Goal T-A A circulation system that is correlated with existing and proposed land use and provides for the efficient movement of people, goods, and services within and through Healdsburg.

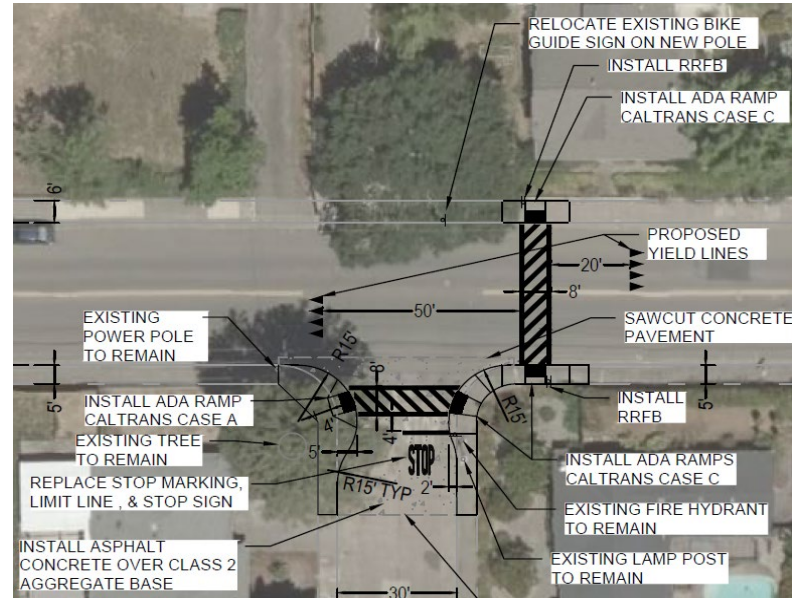
**Appropriations beyond the 5 year program period are needed to complete the project:** Yes ( ) No (X)

Capital Improvement Program Detail	Adopted Budget	Estimated Expenditures	2026-27	2027-28	2028-29	2029-30	2030-31	Projected Project Total
<b>Project Costs:</b>	<b>\$ 3,351,696</b>	<b>\$ 3,351,696</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ 3,351,696</b>
Planning	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Design	\$ 235,000	\$ 235,000	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 235,000
Construction	\$ 3,116,696	\$ 3,116,696	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 3,116,696
<b>Funding Sources:</b>								
Measure T Fund 105	\$ 365,338	\$ 365,338	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 365,338
SB1 (RMRA) Fund 202	\$ 2,093,258	\$ 2,093,258	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 2,093,258
Water Fund 520	\$ 193,100	\$ 193,100	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 193,100
County Tax Measure Grant	\$ 700,000	\$ 700,000	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 700,000
<b>Total</b>	<b>\$ 3,351,696</b>	<b>\$ 3,351,696</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ 3,351,696</b>

**Project Name:**  
Powell Ave at Johnson St Pedestrian Crossing Enhancements

**Project Number:** ST014                      **Project Priority:** Desired

**Project Description:**  
This project will install Rectangular Rapid Flashing Beacons (RRFBs), curb extensions, ADA curb ramps, yield lines, traffic signs, striping, and pavement markings to improve the pedestrian crossings at the intersection of Powell Avenue and Johnson Street.



**Department:** Public Works

**General Plan Consistency:**  
Goal T-D Bicycle and pedestrian routes and facilities that provide safe and convenient access and an alternative to the use of motor vehicles.  
Policy T-D-1 The use of alternative transportation modes shall be encouraged by establishing a safe and convenient bicycle and pedestrian network interconnecting residential areas with recreation, shopping and employment areas.

**Appropriations beyond the 5 year program period are needed to complete the project:** Yes ( ) No (X)

Capital Improvement Program Detail	Adopted Budget	Estimated Expenditures	2026-27	2027-28	2028-29	2029-30	2030-31	Projected Project Total
<b>Project Costs:</b>	<b>\$ 360,435</b>	<b>\$ 360,435</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ 360,435</b>
Planning	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Design	\$ 44,600	\$ 44,600	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 44,600
Construction	\$ 315,835	\$ 315,835	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 315,835
<b>Funding Sources:</b>								
Measure T Fund 105	\$ 135,615	\$ 135,615	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 135,615
HSIP Grant Funds	\$ 224,820	\$ 224,820	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 224,820
<b>Total</b>	<b>\$ 360,435</b>	<b>\$ 360,435</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ 360,435</b>

City of Healdsburg  
Five Year Capital Improvement Program  
Project Detail

Item 4.a

**Project Name:**

US-101 and Dry Creek Road Interchange Improvements

**Project Number:**

ST015

**Project Priority:**

Necessary

**Project Description:**

Design and construct intersection improvements at the intersection of Dry Creek Road and the US 101 ramps in coordination with the County of Sonoma and Caltrans.



**Department:** Public Works

**General Plan Consistency:**

Goal T-A A circulation system that is correlated with existing and proposed land use that for the efficient movement of people, goods, and services within and through Healdsburg.

Policy T-A-16 Work with California Department of Transportation (CalTrans), Sonoma County, and the Sonoma County Transportation Authority (SCTA) to plan and implement improvements to the Highway 101 interchanges at Dry Creek and Westside Road, based on a fair share formula for cooperative funding of the improvements among jurisdictions and agencies.

**Appropriations beyond the 5 year program period are needed to complete the project:** Yes ( ) No (X)

Capital Improvement Program Detail	Adopted Budget	Estimated Expenditures	2026-27	2027-28	2028-29	2029-30	2030-31	Projected Project Total
<b>Project Costs:</b>	<b>\$ 700,000</b>	<b>\$ 700,000</b>	<b>\$ 125,000</b>	<b>\$ 1,661,000</b>	<b>\$ -</b>	<b>\$ 13,734,000</b>	<b>\$ -</b>	<b>\$ 16,220,000</b>
Planning	\$ 500,000	\$ 500,000	\$ 125,000	\$ -	\$ -	\$ -	\$ -	\$ 625,000
Design	\$ 200,000	\$ 200,000	\$ -	\$ 1,661,000	\$ -	\$ -	\$ -	\$ 1,861,000
Construction	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 13,734,000	\$ -	\$ 13,734,000
<b>Funding Sources:</b>								
Traffic Impact Fee Fund 910	\$ 200,000	\$ 200,000	\$ 125,000	\$ 1,661,000	\$ -	\$ -	\$ -	\$ 1,986,000
County Tax Measure Grant	\$ 500,000	\$ 500,000	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 500,000
County Contribution	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 2,000,000	\$ -	\$ 2,000,000
Grant Funding	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 11,734,000	\$ -	\$ 11,734,000
<b>Total</b>	<b>\$ 700,000</b>	<b>\$ 700,000</b>	<b>\$ 125,000</b>	<b>\$ 1,661,000</b>	<b>\$ -</b>	<b>\$ 13,734,000</b>	<b>\$ -</b>	<b>\$ 16,220,000</b>

City of Healdsburg  
Five Year Capital Improvement Program  
Project Detail

Item 4.a

**Project Name:**  
University Avenue Pedestrian Improvements - Powell to Monte Vista

**Project Number:** ST016                      **Project Priority:** Desired

**Project Description:**  
Improvements to the existing sidewalk along University Avenue between Powell Avenue and Monte Vista, including curb ramps and driveway apron replacements to meet ADA requirements.



**Department:** Public Works

**General Plan Consistency:**

Goal T-D Bicycle and pedestrian routes and facilities that provide safe and convenient access and an alternative to the use of motor vehicles.

Policy T-D-1 The use of alternative transportation modes shall be encouraged by establishing a safe and convenient bicycle and pedestrian network interconnecting residential areas with recreation, shopping, and employment areas.

**Appropriations beyond the 5 year program period are needed to complete the project:** Yes ( ) No (X)

Capital Improvement Program Detail	Adopted Budget	Estimated Expenditures	2026-27	2027-28	2028-29	2029-30	2030-31	Projected Project Total
<b>Project Costs:</b>	\$ -	\$ -	\$ 629,396	\$ -	\$ -	\$ -	\$ -	\$ 629,396
Planning	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Design	\$ -	\$ -	\$ 72,623	\$ -	\$ -	\$ -	\$ -	\$ 72,623
Construction	\$ -	\$ -	\$ 556,774	\$ -	\$ -	\$ -	\$ -	\$ 556,774
<b>Funding Sources:</b>								
Developer Funding	\$ -	\$ -	\$ 629,396	\$ -	\$ -	\$ -	\$ -	\$ 629,396
<b>Total</b>	\$ -	\$ -	\$ 629,396	\$ -	\$ -	\$ -	\$ -	\$ 629,396

City of Healdsburg  
Five Year Capital Improvement Program  
Project Detail

Item 4.a

**Project Name:**  
Pavement Preventative Maintenance

**Project Number:**  
ST017

**Project Priority:**  
Necessary

**Project Description:**  
The Pavement preservation of existing City streets, including, but not limited to, crack sealing pavement repairs, micro surfacing, slurry seals, and cape seals on various streets within the City, including Healdsburg Avenue from Memorial Bridge south to the City limit, Vine Street from the Roundabout to North Street, Healdsburg Avenue from the Roundabout to Grant Street, Grove Street from North Street to Grant Street, and Parkland Farms from Healdsburg Avenue to Latigo Lane and others. The final roadway locations and limits will be further refined during design.



**Department:** Public Works

**General Plan Consistency:**  
Goal T-A A circulation system that is correlated with existing and proposed land use and provides for the efficient movement of people, goods, and services within and through Healdsburg.

**Appropriations beyond the 5 year program period are needed to complete the project:** Yes ( ) No ( X )

Capital Improvement Program Detail	Adopted Budget	Estimated Expenditures	2026-27	2027-28	2028-29	2029-30	2030-31	Projected Project Total
<b>Project Costs:</b>	\$ -	\$ -	\$ 225,000	\$ 1,142,000	\$ -	\$ -	\$ -	\$ 1,367,000
Planning	\$ -	\$ -	\$ 25,000	\$ -	\$ -	\$ -	\$ -	\$ 25,000
Design	\$ -	\$ -	\$ 200,000	\$ -	\$ -	\$ -	\$ -	\$ 200,000
Construction	\$ -	\$ -	\$ -	\$ 1,142,000	\$ -	\$ -	\$ -	\$ 1,142,000
<b>Funding Sources:</b>								
SB1 (RMRA) Fund 202	\$ -	\$ -	\$ 225,000	\$ 500,000	\$ -	\$ -	\$ -	\$ 725,000
Landfill Settlement Funds	\$ -	\$ -	\$ -	\$ 642,000	\$ -	\$ -	\$ -	\$ 642,000
<b>Total</b>	\$ -	\$ -	\$ 225,000	\$ 1,142,000	\$ -	\$ -	\$ -	\$ 1,367,000

City of Healdsburg  
Five Year Capital Improvement Program  
Project Detail

Item 4.a

**Project Name:**

Sunset Drive Slope Stabilization and Pavement Repair

**Project Number:**

ST018

**Project Priority:**

Necessary

**Project Description:**

This project will stabilize the slope and repair the pavement along a narrow portion of Sunset Drive. Additionally, storm drain and water main replacements within the project limits are anticipated.



**Department:** Public Works

**General Plan Consistency:**

Goal T-A A circulation system that is correlated with existing and proposed land use and provides for the efficient movement of people, goods, and services within and through Healdsburg.

**Appropriations beyond the 5 year program period are needed to complete the project:** Yes ( ) No (X)

Capital Improvement Program Detail	Adopted Budget	Estimated Expenditures	2026-27	2027-28	2028-29	2029-30	2030-31	Projected Project Total
<b>Project Costs:</b>	\$ -	\$ -	\$ -	\$ 175,000	\$ 1,275,000	\$ -	\$ -	\$ 1,450,000
Planning	\$ -	\$ -	\$ -	\$ 20,000	\$ -	\$ -	\$ -	\$ 20,000
Design	\$ -	\$ -	\$ -	\$ 155,000	\$ -	\$ -	\$ -	\$ 155,000
Construction	\$ -	\$ -	\$ -	\$ -	\$ 1,275,000	\$ -	\$ -	\$ 1,275,000
<b>Funding Sources:</b>								
Measure T Fund 105	\$ -	\$ -	\$ -	\$ 122,500	\$ 892,500	\$ -	\$ -	\$ 1,015,000
Water Fund 520	\$ -	\$ -	\$ -	\$ 52,500	\$ 382,500	\$ -	\$ -	\$ 435,000
<b>Total</b>	\$ -	\$ -	\$ -	\$ 175,000	\$ 1,275,000	\$ -	\$ -	\$ 1,450,000

City of Healdsburg  
Five Year Capital Improvement Program  
Project Detail

Item 4.a

**Project Name:**

West Plaza Parking Lot Rehabilitation

**Project Number:**

ST019

**Project Priority:**

Desired

**Project Description:**

This project will rehabilitate the West Plaza Parking lot by performing localized pavement repairs, pavement resurfacing, and restriping.



**Department:** Public Works

**General Plan Consistency:**

Guiding Principal 1.F. Protect and enhance the downtown and its plaza.

**Appropriations beyond the 5 year program period are needed to complete the project:** Yes ( ) No (X)

Capital Improvement Program Detail	Adopted Budget	Estimated Expenditures	2026-27	2027-28	2028-29	2029-30	2030-31	Projected Project Total
<b>Project Costs:</b>	\$ -	\$ -	\$ 150,000	\$ 850,000	\$ -	\$ -	\$ -	\$ 1,000,000
Planning	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Design	\$ -	\$ -	\$ 150,000	\$ -	\$ -	\$ -	\$ -	\$ 150,000
Construction	\$ -	\$ -	\$ -	\$ 850,000	\$ -	\$ -	\$ -	\$ 850,000
<b>Funding Sources:</b>								
Building Maintenance Fund 604	\$ -	\$ -	\$ -	\$ 730,000	\$ -	\$ -	\$ -	\$ 730,000
Parking Impact Fee 905	\$ -	\$ -	\$ 150,000	\$ 120,000	\$ -	\$ -	\$ -	\$ 270,000
<b>Total</b>	\$ -	\$ -	\$ 150,000	\$ 850,000	\$ -	\$ -	\$ -	\$ 1,000,000

City of Healdsburg  
Five Year Capital Improvement Program  
Project Detail

Item 4.a

**Project Name:**  
Front Street and First Street Rehabilitation

**Project Number:** ST020                      **Project Priority:** Desired

**Project Description:**  
Design and construct bicycle and pedestrian access improvements from south of Healdsburg Avenue along Kennedy Lane, along Front Street and along First Street north of Matheson Street. Building upon the Safe Routes to School Plan and in pursuit of Active Transportation Plan (ATP) Cycle 9 or similar grant funding. In coordination with and connecting to future SMART multi-use pathway.



**Department:** Public Works

**General Plan Consistency:**

Goal T-D Bicycle and pedestrian routes and facilities that provide safe and convenient access and an alternative to the use of motor vehicles.  
Policy T-D-1 The use of alternative transportation modes shall be encouraged by establishing a safe and convenient bicycle and pedestrian network interconnecting residential areas with recreation, shopping and employment areas.

**Appropriations beyond the 5 year program period are needed to complete the project:** Yes ( X )    No ( )

Capital Improvement Program Detail	Adopted Budget	Estimated Expenditures	2026-27	2027-28	2028-29	2029-30	2030-31	Projected Project Total
<b>Project Costs:</b>	\$ -	\$ -	\$ -	\$ 300,000	\$ -	\$ 2,500,000	\$ -	\$ 2,800,000
Planning	\$ -	\$ -	\$ -	\$ 25,000	\$ -	\$ -	\$ -	\$ 25,000
Design	\$ -	\$ -	\$ -	\$ 275,000	\$ -	\$ -	\$ -	\$ 275,000
Construction	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 2,500,000	\$ -	\$ 2,500,000
<b>Funding Sources:</b>								
Measure T Fund 105	\$ -	\$ -	\$ -	\$ 300,000	\$ -	\$ -	\$ -	\$ 300,000
Grant Funding	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 2,500,000	\$ -	\$ 2,500,000
<b>Total</b>	\$ -	\$ -	\$ -	\$ 300,000	\$ -	\$ 2,500,000	\$ -	\$ 2,800,000

City of Healdsburg  
Five Year Capital Improvement Program  
Project Detail

Item 4.a

**Project Name:**  
Sidewalk Repair and Gap Closure

**Project Number:**  
ST021

**Project Priority:**  
Necessary

**Project Description:**  
This project will perform sidewalk repairs and install new sidewalk at select locations throughout the City.



**Department:** Public Works

**General Plan Consistency:**

Goal T-D Bicycle and pedestrian routes and facilities that provide safe and convenient access and an alternative to the use of motor vehicles.

Policy T-D-1 The use of alternative transportation modes shall be encouraged by establishing a safe and convenient bicycle and pedestrian network interconnecting residential areas with recreation, shopping and employment areas.

**Appropriations beyond the 5 year program period are needed to complete the project:** Yes ( ) No (X)

Capital Improvement Program Detail	Adopted Budget	Estimated Expenditures	2026-27	2027-28	2028-29	2029-30	2030-31	Projected Project Total
<b>Project Costs:</b>	\$ -	\$ -	\$ -	\$ 75,000	\$ -	\$ -	\$ -	\$ 75,000
Planning	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Design	\$ -	\$ -	\$ -	\$ 25,000	\$ -	\$ -	\$ -	\$ 25,000
Construction	\$ -	\$ -	\$ -	\$ 50,000	\$ -	\$ -	\$ -	\$ 50,000
<b>Funding Sources:</b>								
TDA	\$ -	\$ -	\$ -	\$ 75,000	\$ -	\$ -	\$ -	\$ 75,000
<b>Total</b>	\$ -	\$ -	\$ -	\$ 75,000	\$ -	\$ -	\$ -	\$ 75,000

City of Healdsburg  
Five Year Capital Improvement Program  
Project Detail

Item 4.a

**Project Name:**  
West Grant Street Bridge Rehabilitation

**Project Number:** TBD                      **Project Priority:** Necessary

**Project Description:**  
Rehabilitation of the West Grant Street Bridge.



**Department:** Public Works

**General Plan Consistency:**  
Goal T-A A circulation system that is correlated with existing and proposed land use and provides for the efficient movement of people, goods, and services within and through Healdsburg.

**Appropriations beyond the 5 year program period are needed to complete the project:** Yes ( ) No (X)

Capital Improvement Program Detail	Adopted Budget	Estimated Expenditures	2026-27	2027-28	2028-29	2029-30	2030-31	Projected Project Total
<b>Project Costs:</b>	\$ -	\$ -	\$ -	\$ -	\$ 300,000	\$ -	\$ 2,000,000	\$ 2,300,000
Planning	\$ -	\$ -	\$ -	\$ -	\$ 25,000	\$ -	\$ -	\$ 25,000
Design	\$ -	\$ -	\$ -	\$ -	\$ 275,000	\$ -	\$ -	\$ 275,000
Construction	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 2,000,000	\$ 2,000,000
<b>Funding Sources:</b>								
Measure T Fund 105	\$ -	\$ -	\$ -	\$ -	\$ 300,000	\$ -	\$ 2,000,000	\$ 2,300,000
<b>Total</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ 300,000</b>	<b>\$ -</b>	<b>\$ 2,000,000</b>	<b>\$ 2,300,000</b>

City of Healdsburg  
Five Year Capital Improvement Program  
Project Detail

Item 4.a

**Project Name:**  
Sherman Street Retaining Wall Replacement

**Project Number:** TBD                      **Project Priority:** Desired

**Project Description:**  
This project will replace approximately 150-ft of failing retaining wall along Sherman Street.



**Department:** Public Works

**General Plan Consistency:**  
Goal T-D Bicycle and pedestrian routes and facilities that provide safe and convenient access and an alternative to the use of motor vehicles.

**Appropriations beyond the 5 year program period are needed to complete the project:** Yes ( ) No (X)

Capital Improvement Program Detail	Adopted Budget	Estimated Expenditures	2026-27	2027-28	2028-29	2029-30	2030-31	Projected Project Total
<b>Project Costs:</b>	\$ -	\$ -	\$ -	\$ -	\$ 170,000	\$ -	\$ -	\$ 170,000
Planning	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Design	\$ -	\$ -	\$ -	\$ -	\$ 20,000	\$ -	\$ -	\$ 20,000
Construction	\$ -	\$ -	\$ -	\$ -	\$ 150,000	\$ -	\$ -	\$ 150,000
<b>Funding Sources:</b>								
Measure T Fund 105	\$ -	\$ -	\$ -	\$ -	\$ 170,000	\$ -	\$ -	\$ 170,000
<b>Total</b>	\$ -	\$ -	\$ -	\$ -	\$ 170,000	\$ -	\$ -	\$ 170,000

City of Healdsburg  
Five Year Capital Improvement Program  
Project Detail

Item 4.a

**Project Name:**  
Grove Street North

**Project Number:**  
TBD

**Project Priority:**  
Desired

**Project Description:**  
Grove Street between Dry Creek Road and Healdsburg Avenue. This project will perform localized pavement repairs followed by street resurfacing of the entire roadway and restriping of the bike lanes. Approximately 300 feet from Grove Street north of Dry Creek Road would be widened to accommodate bike lanes.



**Department:** Public Works

**General Plan Consistency:**  
Goal T-D Bicycle and pedestrian routes and facilities that provide safe and convenient access and an alternative to the use of motor vehicles.  
Policy T-D-1 The use of alternative transportation modes shall be encouraged by establishing a safe and convenient bicycle and pedestrian network interconnecting residential areas with recreation, shopping and employment areas.

**Appropriations beyond the 5 year program period are needed to complete the project:** Yes ( ) No (X)

Capital Improvement Program Detail	Adopted Budget	Estimated Expenditures	2026-27	2027-28	2028-29	2029-30	2030-31	Projected Project Total
<b>Project Costs:</b>	\$ -	\$ -	\$ -	\$ -	\$ 100,000	\$ 743,750	\$ -	\$ 843,750
Planning	\$ -	\$ -	\$ -	\$ -	\$ 100,000	\$ -	\$ -	\$ 100,000
Design	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 115,813	\$ -	\$ 115,813
Construction	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 627,937	\$ -	\$ 627,937
<b>Funding Sources:</b>								
Measure T Fund 105	\$ -	\$ -	\$ -	\$ -	\$ 100,000	\$ 115,813	\$ -	\$ 215,813
Grant Funding	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 627,937	\$ -	\$ 627,937
<b>Total</b>	\$ -	\$ -	\$ -	\$ -	\$ 100,000	\$ 743,750	\$ -	\$ 843,750

City of Healdsburg  
Five Year Capital Improvement Program  
Project Detail

Item 4.a

**Project Name:**

Borel Street Wall and Sidewalk Improvements

**Project Number:**

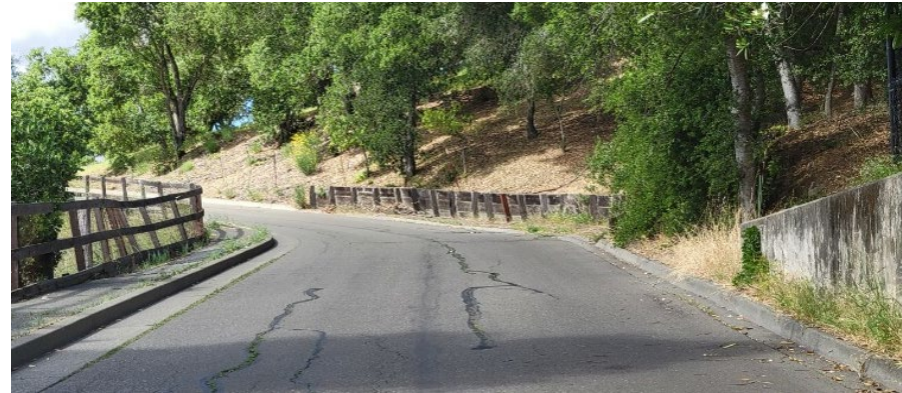
TBD

**Project Priority:**

Necessary

**Project Description:**

Remove and replace failing wood retaining wall, along with 255 feet of sidewalk, curb and gutter.



**Department:** Public Works

**General Plan Consistency:**

Goal T-D Bicycle and pedestrian routes and facilities that provide safe and convenient access and an alternative to the use of motor vehicles.

Policy T-D-1 The use of alternative transportation modes shall be encouraged by establishing a safe and convenient bicycle and pedestrian network interconnecting residential areas with recreation, shopping and employment areas.

**Appropriations beyond the 5 year program period are needed to complete the project:** Yes ( ) No (X)

Capital Improvement Program Detail	Adopted Budget	Estimated Expenditures	2026-27	2027-28	2028-29	2029-30	2030-31	Projected Project Total
<b>Project Costs:</b>	\$ -	\$ -	\$ -	\$ -	\$ 71,000	\$ 544,190	\$ -	\$ 615,190
Planning	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Design	\$ -	\$ -	\$ -	\$ -	\$ 71,000	\$ -	\$ -	\$ 71,000
Construction	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 544,190	\$ -	\$ 544,190
<b>Funding Sources:</b>								
Measure T Fund 105	\$ -	\$ -	\$ -	\$ -	\$ 71,000	\$ 544,190	\$ -	\$ 615,190
<b>Total</b>	\$ -	\$ -	\$ -	\$ -	\$ 71,000	\$ 544,190	\$ -	\$ 615,190

City of Healdsburg  
Five Year Capital Improvement Program  
Project Detail

Item 4.a

**Project Name:**

SMART Multi-Use Path Access at Parkland Farms

**Project Number:**

TBD

**Project Priority:**

Desired

**Project Description:**

Design and construct bike and pedestrian access to SMART multi-use path at the intersection of Healdsburg Avenue and Parkland Farms Boulevard. Includes right-of-way coordination.



**Department:** Public Works

**General Plan Consistency:**

Goal T-D Bicycle and pedestrian routes and facilities that provide safe and convenient access and an alternative to the use of motor vehicles.

Policy T-D-1 The use of alternative transportation modes shall be encouraged by establishing a safe and convenient bicycle and pedestrian network interconnecting residential areas with recreation, shopping and employment areas.

**Appropriations beyond the 5 year program period are needed to complete the project:** Yes ( ) No (X)

Capital Improvement Program Detail	Adopted Budget	Estimated Expenditures	2026-27	2027-28	2028-29	2029-30	2030-31	Projected Project Total
<b>Project Costs:</b>	\$ -	\$ -	\$ -	\$ -	\$ 50,000	\$ 250,000	\$ -	\$ 300,000
Planning	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Design	\$ -	\$ -	\$ -	\$ -	\$ 50,000	\$ -	\$ -	\$ 50,000
Construction	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 250,000	\$ -	\$ 250,000
<b>Funding Sources:</b>								
Measure T Fund 105	\$ -	\$ -	\$ -	\$ -	\$ 50,000	\$ 250,000	\$ -	\$ 300,000
<b>Total</b>	\$ -	\$ -	\$ -	\$ -	\$ 50,000	\$ 250,000	\$ -	\$ 300,000

City of Healdsburg  
Five Year Capital Improvement Program  
Project Detail

Item 4.a

**Project Name:**  
Bridge Deck Treatment

**Project Number:**  
TBD

**Project Priority:**  
Necessary

**Project Description:**  
This project will resurface select bridges to restore skid resistance and protect the underlying concrete structure.



**Department:** Public Works

**General Plan Consistency:**  
Goal T-A A circulation system that is correlated with existing and proposed land use and provides for the efficient movement of people, goods, and services within and through Healdsburg.

**Appropriations beyond the 5 year program period are needed to complete the project:** Yes ( ) No (X)

Capital Improvement Program Detail	Adopted Budget	Estimated Expenditures	2026-27	2027-28	2028-29	2029-30	2030-31	Projected Project Total
<b>Project Costs:</b>	\$ -	\$ -	\$ -	\$ -	\$ 22,000	\$ 240,000	\$ -	\$ 262,000
Planning	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Design	\$ -	\$ -	\$ -	\$ -	\$ 22,000	\$ -	\$ -	\$ 22,000
Construction	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 240,000	\$ -	\$ 240,000
<b>Funding Sources:</b>								
Measure T Fund 105	\$ -	\$ -	\$ -	\$ -	\$ 22,000	\$ 240,000	\$ -	\$ 262,000
<b>Total</b>	\$ -	\$ -	\$ -	\$ -	\$ 22,000	\$ 240,000	\$ -	\$ 262,000

City of Healdsburg  
Five Year Capital Improvement Program  
Project Detail

Item 4.a

**Project Name:**  
Powell Avenue Pavement Rehabilitation and Pedestrian Improvements

**Project Number:** TBD                      **Project Priority:** Necessary

**Project Description:**  
Building upon the Active Transportation Plan and Safe Routes to School Plan, this project will rehabilitate the roadway pavement and construct bicycle and pedestrian upgrades, including crossing enhancements and curb ramp upgrades from Healdsburg Avenue to Borel Road.



**Department:** Public Works

**General Plan Consistency:**  
Goal T-D Bicycle and pedestrian routes and facilities that provide safe and convenient access and an alternative to the use of motor vehicles.  
Policy T-D-1 The use of alternative transportation modes shall be encouraged by establishing a safe and convenient bicycle and pedestrian network interconnecting residential areas with recreation, shopping and employment areas.

**Appropriations beyond the 5 year program period are needed to complete the project:** Yes ( ) No (X)

Capital Improvement Program Detail	Adopted Budget	Estimated Expenditures	2026-27	2027-28	2028-29	2029-30	2030-31	Projected Project Total
<b>Project Costs:</b>	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 250,000	\$ 1,500,000	\$ 1,750,000
Planning	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 25,000	\$ -	\$ 25,000
Design	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 225,000	\$ -	\$ 225,000
Construction	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,500,000	\$ 1,500,000
<b>Funding Sources:</b>								
Measure T Fund 105	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 250,000	\$ 1,500,000	\$ 1,750,000
<b>Total</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ 250,000</b>	<b>\$ 1,500,000</b>	<b>\$ 1,750,000</b>

City of Healdsburg  
Five Year Capital Improvement Program  
Project Detail

Item 4.a

**Project Name:**  
Mill Street West Complete Streets

**Project Number:**  
TBD

**Project Priority:**  
Desired

**Project Description:**  
The Mill Street Complete Street Project will construct new sidewalks, ADA accessible curb ramps, improved bike facilities, and repave and restripe Mill Street between the Roundabout and the north bound on-ramp to US 101.



**Department:** Public Works

**General Plan Consistency:**

Goal T-D Bicycle and pedestrian routes and facilities that provide safe and convenient access and an alternative to the use of motor vehicles.

Policy T-D-1 The use of alternative transportation modes shall be encouraged by establishing a safe and convenient bicycle and pedestrian network interconnecting residential areas with recreation, shopping and employment areas.

**Appropriations beyond the 5 year program period are needed to complete the project:** Yes ( ) No (X)

Capital Improvement Program Detail	Adopted Budget	Estimated Expenditures	2026-27	2027-28	2028-29	2029-30	2030-31	Projected Project Total
<b>Project Costs:</b>	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 200,000	\$ 1,525,000	\$ 1,725,000
Planning	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 200,000	\$ -	\$ 200,000
Design	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,525,000	\$ 1,525,000
Construction	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
<b>Funding Sources:</b>								
Measure T Fund 105	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 200,000	\$ 250,000	\$ 450,000
Grant Funding	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,275,000	\$ 1,275,000
<b>Total</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ 200,000</b>	<b>\$ 1,525,000</b>	<b>\$ 1,725,000</b>

City of Healdsburg  
Five Year Capital Improvement Program  
Project Detail

Item 4.a

**Project Name:**  
Traffic Signal Upgrades

**Project Number:**  
TBD

**Project Priority:**  
Necessary

**Project Description:**  
This project includes traffic signal upgrades throughout the city. These upgrades include new ADA push buttons, countdown heads, and 12-inch traffic signal heads at all signals.



**Department:** Public Works

**General Plan Consistency:**  
Goal T-A A circulation system that is correlated with existing and proposed land use and provides for the efficient movement of people, goods, and services within and through Healdsburg.

**Appropriations beyond the 5 year program period are needed to complete the project:** Yes ( ) No (X)

Capital Improvement Program Detail	Adopted Budget	Estimated Expenditures	2026-27	2027-28	2028-29	2029-30	2030-31	Projected Project Total
<b>Project Costs:</b>	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 500,000	\$ 500,000
Planning	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Design	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 50,000	\$ 50,000
Construction	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 450,000	\$ 450,000
<b>Funding Sources:</b>								
Measure T Fund 105	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 500,000	\$ 500,000
<b>Total</b>	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 500,000	\$ 500,000

**Water Projects - Fund 522**

Project Name	Project #	Adopted Budget	FY 26-27 Budget	FY 27-28 Budget	FY 28-29 Budget	FY 29-30 Budget	FY 30-31 Budget	Total
UV Treatment of Cryptosporidium at Fitch	WA002	\$ 84,579	\$ -	\$ 1,250,000	\$ -	\$ -	\$ -	\$ 1,334,579
Brown Street Sewer and Water Replacement	WA003	\$ 2,828,252	\$ 1,213,732	\$ -	\$ -	\$ -	\$ -	\$ 4,041,984
University Street Sewer and Water Replacement	WA005	\$ 256,516	\$ -	\$ -	\$ 2,705,858	\$ -	\$ -	\$ 2,962,374
Groundwater Supply Wells / ASR	WA006	\$ 2,164,059	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 2,164,059
Dry Creek Water Treatment Plant Upgrades - Pumping & Clear Water Improvements	WA008	\$ -	\$ 1,477,457	\$ -	\$ -	\$ -	\$ -	\$ 1,477,457
Dry Creek Wells Capacity Improvements	WA009	\$ -	\$ 1,456,416	\$ -	\$ -	\$ -	\$ -	\$ 1,456,416
Front Street Water Main Casing	WA010	\$ -	\$ 150,000	\$ -	\$ -	\$ -	\$ -	\$ 150,000
Gauntlett Reservoir Liner Replacement	WA011	\$ -	\$ -	\$ 658,625	\$ -	\$ -	\$ -	\$ 658,625
Gauntlett Water Treatment Plant Membranes Replacement	WA012	\$ -	\$ -	\$ 301,662	\$ 319,376	\$ 330,555	\$ -	\$ 951,593
Gauntlett Well Field Pipeline Rehab/Replacement	WA013	\$ -	\$ -	\$ 273,895	\$ 642,384	\$ -	\$ -	\$ 916,279
McDonough Water Transmission Main Replacement	WA014	\$ -	\$ -	\$ 227,567	\$ 2,591,437	\$ -	\$ -	\$ 2,819,004
Fitch Well Field Pipeline Rehab/Replacement	WA015	\$ -	\$ -	\$ 125,000	\$ -	\$ 466,763	\$ -	\$ 591,763
Reed Court and Bianca Lane Sewer and Water Replacement	TBD	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 3,400,000	\$ 3,708,247
		<b>\$ 5,333,405</b>	<b>\$ 4,297,605</b>	<b>\$ 2,836,749</b>	<b>\$ 6,259,055</b>	<b>\$ 1,105,565</b>	<b>\$ 3,400,000</b>	<b>\$ 23,232,379</b>

Project Name	Project #	FY 26-27			FY 27-28		
		Water Fund 520	Wastewater Fund 530	Total	Water Fund 520	Wastewater Fund 530	Total
UV Treatment of Cryptosporidium at Fitch	WA002	\$ -	\$ -	\$ -	\$ 1,250,000	\$ -	\$ 1,250,000
Brown Street Sewer and Water Replacement	WA003	\$ 606,866	\$ 606,866	\$ 1,213,732	\$ -	\$ -	\$ -
Dry Creek Water Treatment Plant Upgrades - Pumping & Clear Water Improvements	WA008	\$ 1,477,457	\$ -	\$ 1,477,457	\$ -	\$ -	\$ -
Dry Creek Wells Capacity Improvements	WA009	\$ 1,456,416	\$ -	\$ 1,456,416	\$ -	\$ -	\$ -
Front Street Water Main Casing	WA010	\$ 150,000	\$ -	\$ 150,000	\$ -	\$ -	\$ -
Gauntlett Reservoir Liner Replacement	WA011	\$ -	\$ -	\$ -	\$ 658,625	\$ -	\$ 658,625
Gauntlett Water Treatment Plant Membranes Replacement	WA012	\$ -	\$ -	\$ -	\$ 301,662	\$ -	\$ 301,662
Gauntlett Well Field Pipeline Rehab/Replacement	WA013	\$ -	\$ -	\$ -	\$ 273,895	\$ -	\$ 273,895
McDonough Water Transmission Main Replacement	WA014	\$ -	\$ -	\$ -	\$ 182,054	\$ 45,513	\$ 227,567
Fitch Well Field Pipeline Rehab/Replacement	WA015	\$ -	\$ -	\$ -	\$ 125,000	\$ -	\$ 125,000
		<b>\$ 3,690,739</b>	<b>\$ 606,866</b>	<b>\$ 4,297,605</b>	<b>\$ 2,791,236</b>	<b>\$ 45,513</b>	<b>\$ 2,836,749</b>

**City of Healdsburg  
Five Year Capital Improvement Program  
Project Detail**

**Item 4.a**

**Project Name:**  
UV Treatment of Cryptosporidium at Fitch

**Project Number:** WA002                      **Project Priority:** Mandate

**Project Description:**  
The State Enhanced Surface Water Treatment Rule requires that two levels of treatment be provided for wells that tested positive for Cryptosporidium. Because of the water quality at the Fitch well field, the City can use a combination of chlorine treatment already in use, along with six cartridge filters to provide treatment for Cryptosporidium at this location. Filtration at the Fitch well field will also allow the seasonal use limitation to be removed from this diversion point's water right.



**Department:** Utilities

**General Plan Consistency:**  
Goal PS-A An adequate level of service in the City's water system to meet the needs of existing and projected development.  
Policy PS-A-1 The City will ensure the availability of water sources as necessary to serve planned development.

**Appropriations beyond the 5 year program period are needed to complete the project:** Yes ( ) No ( X )

Capital Improvement Program Detail	Adopted Budget	Estimated Expenditures	2026-27	2027-28	2028-29	2029-30	2030-31	Projected Project Total
<b>Project Costs:</b>	<b>\$ 84,579</b>	<b>\$ 84,355</b>	<b>\$ -</b>	<b>\$ 1,250,000</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ 1,334,579</b>
Planning	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Design	\$ 84,579	\$ 84,355	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 84,579
Construction	\$ -	\$ -	\$ -	\$ 1,250,000	\$ -	\$ -	\$ -	\$ 1,250,000
<b>Funding Sources:</b>								
Water Fund 520	\$ 84,579	\$ 84,355	\$ -	\$ 1,250,000	\$ -	\$ -	\$ -	\$ 1,334,579
<b>Total</b>	<b>\$ 84,579</b>	<b>\$ 84,355</b>	<b>\$ -</b>	<b>\$ 1,250,000</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ 1,334,579</b>

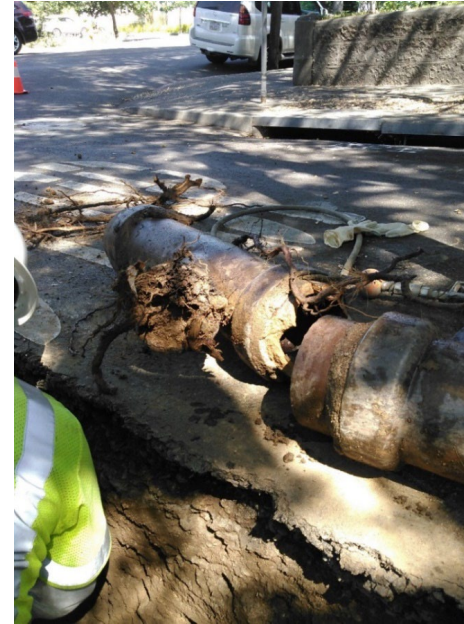
**City of Healdsburg  
Five Year Capital Improvement Program  
Project Detail**

**Item 4.a**

**Project Name:**  
Brown Street Sewer and Water Replacement

**Project Number:** WA003                      **Project Priority:** Necessary

**Project Description:**  
This project will replace approximately 2,600 feet of severely deteriorated sewer and water main along Brown Street from Lincoln Street to Piper Street, Lincoln Street from Brown Street to College Street, and Piper Street from University Street to College Street and additional water rehabilitation in Grant Street from Brown Street to College Street. The existing pipes will be replaced as well as water services, water meters, and sewer laterals. In addition to improving reliability, it will also maintain capacity and reduce the frequency of repairs.



**Department:** Public Works

**General Plan Consistency:**  
Goal PS-A An adequate level of service in the City's water system to meet the needs of existing and projected development.  
Goal PS-B An adequate level of service in the City's sewage collection and disposal system that meets the needs of existing and projected development.

**Appropriations beyond the 5 year program period are needed to complete the project:** Yes ( ) No (X)

Capital Improvement Program Detail	Adopted Budget	Estimated Expenditures	2026-27	2027-28	2028-29	2029-30	2030-31	Projected Project Total
<b>Project Costs:</b>	<b>\$ 2,828,252</b>	<b>\$ 2,828,252</b>	<b>\$ 1,213,732</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ 4,041,984</b>
Planning	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Design	\$ 167,100	\$ 167,100	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 167,100
Construction	\$ 2,661,152	\$ 2,661,152	\$ 1,213,732	\$ -	\$ -	\$ -	\$ -	\$ 3,874,884
<b>Funding Sources:</b>								
Water Fund 520	\$ 1,414,126	\$ 1,414,126	\$ 606,866	\$ -	\$ -	\$ -	\$ -	\$ 2,020,992
Wastewater Fund 530	\$ 1,414,126	\$ 1,414,126	\$ 606,866	\$ -	\$ -	\$ -	\$ -	\$ 2,020,992
<b>Total</b>	<b>\$ 2,828,252</b>	<b>\$ 2,828,252</b>	<b>\$ 1,213,732</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ 4,041,984</b>

**City of Healdsburg  
Five Year Capital Improvement Program  
Project Detail**

Item 4.a

**Project Name:**

University Street Sewer and Water Replacement

**Project Number:**

WA005

**Project Priority:**

Necessary

**Project Description:**

This project will replace approximately 2,450 feet of severely deteriorated sewer and water main along University Street between North Street and approximately 300 feet north of Lincoln Street and along Grant Street between Brown Street and University Street. The existing pipes will be replaced as well as water services, water meters, and sewer laterals. In addition to improving reliability, it will also maintain capacity and reduce the frequency of repairs.



**Department:** Public Works

**General Plan Consistency:**

Goal PS-A An adequate level of service in the City's water system to meet the needs of existing and projected development.

Goal PS-B An adequate level of service in the City's sewage collection and disposal system that meets the needs of existing and projected development.

**Appropriations beyond the 5 year program period are needed to complete the project:** Yes ( ) No (X)

Capital Improvement Program Detail	Adopted Budget	Estimated Expenditures	2026-27	2027-28	2028-29	2029-30	2030-31	Projected Project Total
<b>Project Costs:</b>	<b>\$ 256,516</b>	<b>\$ 256,516</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ 2,705,858</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ 2,962,374</b>
Planning	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Design	\$ 256,516	\$ 256,516	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 256,516
Construction	\$ -	\$ -	\$ -	\$ -	\$ 2,705,858	\$ -	\$ -	\$ 2,705,858
<b>Funding Sources:</b>								
Water Fund 520	\$ 128,258	\$ 128,258	\$ -	\$ -	\$ 1,352,929	\$ -	\$ -	\$ 1,481,187
Wastewater Fund 530	\$ 128,258	\$ 128,258	\$ -	\$ -	\$ 1,352,929	\$ -	\$ -	\$ 1,481,187
<b>Total</b>	<b>\$ 256,516</b>	<b>\$ 256,516</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ 2,705,858</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ 2,962,374</b>

**City of Healdsburg  
Five Year Capital Improvement Program  
Project Detail**

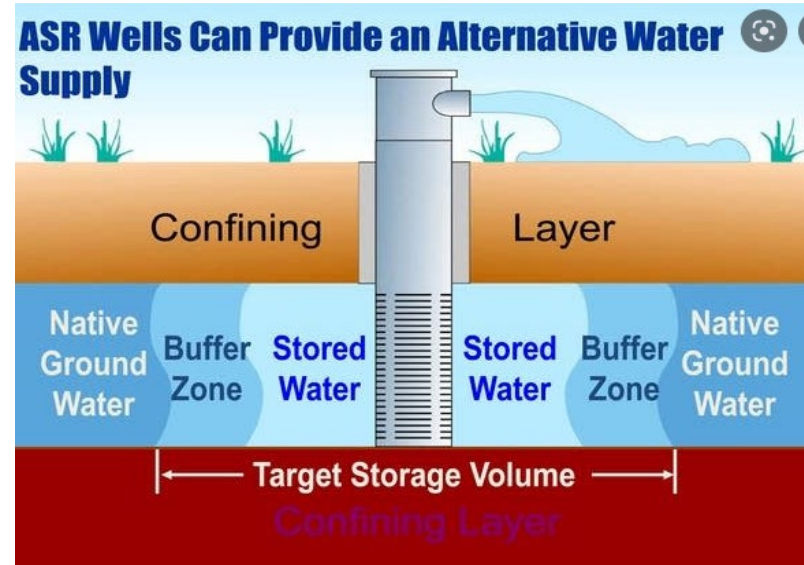
Item 4.a

**Project Name:**  
Groundwater Supply Wells / ASR

**Project Number:**  
WA006

**Project Priority:**  
Necessary

**Project Description:**  
The City's water supply consists of surface water rights. During droughts, these rights are vulnerable to curtailment by the State. The City has investigated the feasibility of using deep aquifers for water supply to supplement the surface water supplies and to also store water for municipal use when water is abundant. The approach is referred to as Aquifer Storage and Recovery (ASR). Three sites have been identified as candidates and will be confirmed by exploratory borings. Once confirmed, wells will be constructed and equipped to use these sites for ASR. Grant funding is being sought to assist with this project's development.



**Department:** Utilities

**General Plan Consistency:**

Goal PS-A An adequate level of service in the City's water system to meet the needs of existing and projected development.  
Policy PS-A-1 The City will ensure the availability of water sources as necessary to serve planned development.

**Appropriations beyond the 5 year program period are needed to complete the project:** Yes ( ) No (X)

Capital Improvement Program Detail	Adopted Budget	Estimated Expenditures	2026-27	2027-28	2028-29	2029-30	2030-31	Projected Project Total
<b>Project Costs:</b>	<b>\$ 2,164,059</b>	<b>\$ 87,651</b>	\$ -	\$ -	\$ -	\$ -	\$ -	<b>\$ 2,164,059</b>
Planning	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Design	\$ 2,164,059	\$ 87,651	\$ -	\$ -	\$ -	\$ -	\$ -	<b>\$ 2,164,059</b>
Construction	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
<b>Funding Sources:</b>								
FEMA Grant	\$ 1,514,841	\$ 61,847	\$ -	\$ -	\$ -	\$ -	\$ -	<b>\$ 1,514,841</b>
Water Impact Fee Fund 920	\$ 649,218	\$ 25,804	\$ -	\$ -	\$ -	\$ -	\$ -	<b>\$ 649,218</b>
<b>Total</b>	<b>\$ 2,164,059</b>	<b>\$ 87,651</b>	\$ -	\$ -	\$ -	\$ -	\$ -	<b>\$ 2,164,059</b>

**City of Healdsburg  
Five Year Capital Improvement Program  
Project Detail**

**Item 4.a**

**Project Name:**  
Dry Creek Water Treatment Plant Upgrades - Pumping & Clear Water Improvements

**Project Number:** WA008                      **Project Priority:** Necessary

**Project Description:**  
The clear well at the Dry Creek water treatment plant provides storage and contact time for disinfection. The tank, originally constructed in the 1960's, has developed leaks that allow some of the treated water to escape. This project would repair the leaks and improve the storage efficiency of the water distribution system. This project will also restore pumping capacity to provide reliable conveyance of current and planned water right productions.



**Department:** Utilities

**General Plan Consistency:**  
Goal PS-A An adequate level of service in the City's water system to meet the needs of existing and projected development.  
Policy PS-A-1 The City will ensure the availability of water sources as necessary to serve planned development.

**Appropriations beyond the 5 year program period are needed to complete the project:** Yes ( ) No ( X )

Capital Improvement Program Detail	Adopted Budget	Estimated Expenditures	2026-27	2027-28	2028-29	2029-30	2030-31	Projected Project Total
<b>Project Costs:</b>	\$ -	\$ -	\$ 1,477,457	\$ -	\$ -	\$ -	\$ -	\$ 1,477,457
Planning	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Design	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Construction	\$ -	\$ -	\$ 1,477,457	\$ -	\$ -	\$ -	\$ -	\$ 1,477,457
<b>Funding Sources:</b>								
Water Fund 520	\$ -	\$ -	\$ 1,477,457	\$ -	\$ -	\$ -	\$ -	\$ 1,477,457
<b>Total</b>	\$ -	\$ -	\$ 1,477,457	\$ -	\$ -	\$ -	\$ -	\$ 1,477,457

**City of Healdsburg  
Five Year Capital Improvement Program  
Project Detail**

Item 4.a

**Project Name:**  
Dry Creek Wells Capacity Improvements

**Project Number:** WA009                      **Project Priority:** Necessary

**Project Description:**  
The changes in the Potter Valley Project, which is a source for water flowing within the upper Russian River, along with droughts of 2013 and 2021, have revealed that the City should maximize its Dry Creek water sources to improve its water supply resiliency. Under this project, wells DC1, DC2, and DC3 at Dry Creek well field will be rehabilitated and have their controls updated to make them available for use in concert with wells DC4 and DC5 which already function under automatic control.



**Department:** Utilities

**General Plan Consistency:**  
Goal PS-A An adequate level of service in the City's water system to meet the needs of existing and projected development.  
Policy PS-A-1 The City will ensure the availability of water sources as necessary to serve planned development.

**Appropriations beyond the 5 year program period are needed to complete the project:** Yes ( X )    No ( )

Capital Improvement Program Detail	Adopted Budget	Estimated Expenditures	2026-27	2027-28	2028-29	2029-30	2030-31	Projected Project Total
<b>Project Costs:</b>	\$ -	\$ -	\$ 1,456,416	\$ -	\$ -	\$ -	\$ -	\$ 1,456,416
Planning	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Design	\$ -	\$ -	\$ 218,463	\$ -	\$ -	\$ -	\$ -	\$ 218,463
Construction	\$ -	\$ -	\$ 1,237,953	\$ -	\$ -	\$ -	\$ -	\$ 1,237,953
<b>Funding Sources:</b>								
Water Fund 520	\$ -	\$ -	\$ 1,456,416	\$ -	\$ -	\$ -	\$ -	\$ 1,456,416
<b>Total</b>	\$ -	\$ -	\$ 1,456,416	\$ -	\$ -	\$ -	\$ -	\$ 1,456,416

**City of Healdsburg**  
**Five Year Capital Improvement Program**  
**Project Detail**

Item 4.a

**Project Name:**  
 Front Street Water Main Casing

**Project Number:**  
 WA010

**Project Priority:**  
 Desired

**Project Description:**  
 Design and construct a steel casing for future installation of a 16" water main crossing the railroad right-of-way along Front Street in coordination with SMART construction of track and grade crossing. It is anticipated that the City will execute a funding agreement for SMART to perform the design and construction.



**Department:** Public Works

**General Plan Consistency:**  
 Goal PS-A An adequate level of service in the City's water system to meet the needs of existing and projected development.

**Appropriations beyond the 5 year program period are needed to complete the project:** Yes ( ) No (X)

Capital Improvement Program Detail	Adopted Budget	Estimated Expenditures	2026-27	2027-28	2028-29	2029-30	2030-31	Projected Project Total
<b>Project Costs:</b>	\$ -	\$ -	\$ 150,000	\$ -	\$ -	\$ -	\$ -	\$ 150,000
Planning	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Design	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Construction	\$ -	\$ -	\$ 150,000	\$ -	\$ -	\$ -	\$ -	\$ 150,000
<b>Funding Sources:</b>								
Water Fund 520	\$ -	\$ -	\$ 150,000	\$ -	\$ -	\$ -	\$ -	\$ 150,000
<b>Total</b>	\$ -	\$ -	\$ 150,000	\$ -	\$ -	\$ -	\$ -	\$ 150,000

**City of Healdsburg  
Five Year Capital Improvement Program  
Project Detail**

Item 4.a

**Project Name:**  
Gauntlett Reservoir Liner Replacement

**Project Number:** WA011                      **Project Priority:** Necessary

**Project Description:**  
In the 2021 replacement of the Gauntlett Reservoir roof structure, the liner of the reservoir was found to be too deteriorated to make repairs for column removal. The columns were left in place and buttressed with timbers to prevent lateral movement. Water was noted behind the liner, which denotes leakage which can over time destabilize the reservoir. This project will remove the columns, which are no longer needed, and replace the liner with a new Hypalon or similar liner.



**Department:** Utilities

**General Plan Consistency:**  
Goal PS-A An adequate level of service in the City's water system to meet the needs of existing and projected development.  
Policy PS-A-1 The City will ensure the availability of water sources as necessary to serve planned development.

**Appropriations beyond the 5 year program period are needed to complete the project:** Yes ( ) No ( X )

Capital Improvement Program Detail	Adopted Budget	Estimated Expenditures	2026-27	2027-28	2028-29	2029-30	2030-31	Projected Project Total
<b>Project Costs:</b>	\$ -	\$ -	\$ -	\$ 658,625	\$ -	\$ -	\$ -	\$ 658,625
Planning	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Design	\$ -	\$ -	\$ -	\$ 50,000	\$ -	\$ -	\$ -	\$ 50,000
Construction	\$ -	\$ -	\$ -	\$ 608,625	\$ -	\$ -	\$ -	\$ 608,625
<b>Funding Sources:</b>								
Water Fund 520	\$ -	\$ -	\$ -	\$ 658,625	\$ -	\$ -	\$ -	\$ 658,625
<b>Total</b>	\$ -	\$ -	\$ -	\$ 658,625	\$ -	\$ -	\$ -	\$ 658,625

**City of Healdsburg  
Five Year Capital Improvement Program  
Project Detail**

Item 4.a

**Project Name:**  
Gauntlett Water Treatment Plant Membranes Replacement

**Project Number:** WA012                      **Project Priority:** Mandate

**Project Description:**  
The Gauntlett Water Treatment Plant uses hollow fiber membranes to provide microfiltration of the water to meet treatment objectives. The membranes have a rated life of approximately 10 years, after which they need to be replaced. The last membrane replacement took place in 2014.



**Department:** Utilities

**General Plan Consistency:**  
Goal PS-A An adequate level of service in the City's water system to meet the needs of existing and projected development.  
Policy PS-A-1 The City will ensure the availability of water sources as necessary to serve planned development.

**Appropriations beyond the 5 year program period are needed to complete the project:** Yes ( ) No ( X )

Capital Improvement Program Detail	Adopted Budget	Estimated Expenditures	2026-27	2027-28	2028-29	2029-30	2030-31	Projected Project Total
<b>Project Costs:</b>	\$ -	\$ -	\$ -	\$ 301,662	\$ 319,376	\$ 330,555	\$ -	\$ 951,593
Planning	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Design	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Construction	\$ -	\$ -	\$ -	\$ 301,662	\$ 319,376	\$ 330,555	\$ -	\$ 951,593
<b>Funding Sources:</b>								
Water Fund 520	\$ -	\$ -	\$ -	\$ 301,662	\$ 319,376	\$ 330,555	\$ -	\$ 951,593
<b>Total</b>	\$ -	\$ -	\$ -	\$ 301,662	\$ 319,376	\$ 330,555	\$ -	\$ 951,593

**City of Healdsburg  
Five Year Capital Improvement Program  
Project Detail**

Item 4.a

**Project Name:**  
Gauntlett Well Field Pipeline Rehab/Replacement

**Project Number:** WA013                      **Project Priority:** Necessary

**Project Description:**  
The Gauntlett well field water pipeline is a single pipeline that conveys water from wells. This makes it a high consequence-of-failure asset. The pipeline was constructed in the 1950's, increasing its likelihood of failure. This project will investigate the condition of the pipeline and develop subsequent rehabilitation/replacement projects as appropriate.



**Department:** Utilities

**General Plan Consistency:**  
Goal PS-A An adequate level of service in the City's water system to meet the needs of existing and projected development.  
Policy PS-A-1 The City will ensure the availability of water sources as necessary to serve planned development.

**Appropriations beyond the 5 year program period are needed to complete the project:** Yes ( ) No ( X )

Capital Improvement Program Detail	Adopted Budget	Estimated Expenditures	2026-27	2027-28	2028-29	2029-30	2030-31	Projected Project Total
<b>Project Costs:</b>	\$ -	\$ -	\$ -	\$ 273,895	\$ 642,384	\$ -	\$ -	\$ 916,279
Planning	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Design	\$ -	\$ -	\$ -	\$ 273,895	\$ -	\$ -	\$ -	\$ 273,895
Construction	\$ -	\$ -	\$ -	\$ -	\$ 642,384	\$ -	\$ -	\$ 642,384
<b>Funding Sources:</b>								
Water Fund 520	\$ -	\$ -	\$ -	\$ 273,895	\$ 642,384	\$ -	\$ -	\$ 916,279
<b>Total</b>	\$ -	\$ -	\$ -	\$ 273,895	\$ 642,384	\$ -	\$ -	\$ 916,279

**City of Healdsburg  
Five Year Capital Improvement Program  
Project Detail**

Item 4.a

**Project Name:**

McDonough Water Transmission Main Replacement

**Project Number:**

WA014

**Project Priority:**

Necessary

**Project Description:**

The McDonough Pump Station and transmission main serve the Sunset pressure zone and the connection of County Service Area 41, to which the City sells treated water. The transmission main, constructed of asbestos cement pipe, has been subject to rupture having joints displace. This will become more frequent as the pipe ages because the pipe is on a slope and within an easement. This project will replace the transmission main preventing subsequent rupture and will investigate locating the pipeline within public right of way. Additionally, aging portions of sewer adjacent to the water main will be replaced.



**Department:** Public Works

**General Plan Consistency:**

Goal PS-A An adequate level of service in the City's water system to meet the needs of existing and projected development.

Goal PS-B An adequate level of service in the City's sewage collection and disposal system that meets the needs of existing and projected development.

**Appropriations beyond the 5 year program period are needed to complete the project:** Yes ( ) No ( X )

Capital Improvement Program Detail	Adopted Budget	Estimated Expenditures	2026-27	2027-28	2028-29	2029-30	2030-31	Projected Project Total
<b>Project Costs:</b>	\$ -	\$ -	\$ -	\$ 227,567	\$ 2,591,437	\$ -	\$ -	\$ 2,819,004
Planning	\$ -	\$ -	\$ -	\$ 25,000	\$ -	\$ -	\$ -	\$ 25,000
Design	\$ -	\$ -	\$ -	\$ 202,567	\$ -	\$ -	\$ -	\$ 202,567
Construction	\$ -	\$ -	\$ -	\$ -	\$ 2,591,437	\$ -	\$ -	\$ 2,591,437
<b>Funding Sources:</b>								
Water Fund 520	\$ -	\$ -	\$ -	\$ 182,054	\$ 2,063,690	\$ -	\$ -	\$ 2,245,744
Wastewater Fund 530	\$ -	\$ -	\$ -	\$ 45,513	\$ 527,747	\$ -	\$ -	\$ 573,260
<b>Total</b>	\$ -	\$ -	\$ -	\$ 227,567	\$ 2,591,437	\$ -	\$ -	\$ 2,819,004

**City of Healdsburg  
Five Year Capital Improvement Program  
Project Detail**

Item 4.a

**Project Name:**  
Fitch Well Field Pipeline Rehab/Replacement

**Project Number:** WA015                      **Project Priority:** Necessary

**Project Description:**  
The Fitch well field water pipeline is a single pipeline that conveys water from wells. This makes it a high consequence-of-failure asset. The pipeline was constructed in the 1970's, increasing its likelihood of failure. This project will investigate the condition of the pipeline using destructive and non-destructive methods to develop subsequent rehabilitation/replacement projects as appropriate.



**Department:** Utilities

**General Plan Consistency:**  
Goal PS-A An adequate level of service in the City's water system to meet the needs of existing and projected development.  
Policy PS-A-1 The City will ensure the availability of water sources as necessary to serve planned development.

**Appropriations beyond the 5 year program period are needed to complete the project:** Yes ( ) No ( X )

Capital Improvement Program Detail	Adopted Budget	Estimated Expenditures	2026-27	2027-28	2028-29	2029-30	2030-31	Projected Project Total
<b>Project Costs:</b>	\$ -	\$ -	\$ -	\$ 125,000	\$ -	\$ 466,763	\$ -	\$ 591,763
Planning	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Design	\$ -	\$ -	\$ -	\$ 125,000	\$ -	\$ -	\$ -	\$ 125,000
Construction	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 466,763	\$ -	\$ 466,763
<b>Funding Sources:</b>								
Water Fund 520	\$ -	\$ -	\$ -	\$ 125,000	\$ -	\$ 466,763	\$ -	\$ 591,763
<b>Total</b>	\$ -	\$ -	\$ -	\$ 125,000	\$ -	\$ 466,763	\$ -	\$ 591,763

**City of Healdsburg  
Five Year Capital Improvement Program  
Project Detail**

**Item 4.a**

**Project Name:**

Reed Court and Bianca Lane Sewer and Water Replacement

**Project Number:**

TBD

**Project Priority:**

Necessary

**Project Description:**

This project will replace approximately 1,700 feet of severely deteriorated sewer and water main along Reed Ct between University Street and First Street, along White Gates Avenue and Bianca Lane and along Bianca Lane between Whites Gates Avenue and Pordon Lane. The existing pipes will be replaced as well as water services, water meters, and sewer laterals. The project will maintain capacity and increase system reliability. Additional drainage improvements would be constructed to reduce flooding and maintenance at the southern end of Pordon Lane. Additionally, the project would extend the water main to the Tayman Reservoir.



**Department:** Public Works

**General Plan Consistency:**

Goal PS-A An adequate level of service in the City's water system to meet the needs of existing and projected development.

Goal PS-B An adequate level of service in the City's sewage collection and disposal system that meets the needs of existing and projected development.

**Appropriations beyond the 5 year program period are needed to complete the project:** Yes ( X ) No ( )

Capital Improvement Program Detail	Adopted Budget	Estimated Expenditures	2026-27	2027-28	2028-29	2029-30	2030-31	Projected Project Total
<b>Project Costs:</b>	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 308,247	\$ 3,400,000	\$ 3,708,247
Planning	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 25,000	\$ -	\$ 25,000
Design	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 283,247	\$ -	\$ 283,247
Construction	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 3,400,000	\$ 3,400,000
<b>Funding Sources:</b>								
Water Fund 520	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 146,552	\$ 1,598,000	\$ 1,744,552
Wastewater Fund 530	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 107,079	\$ 1,190,000	\$ 1,297,079
Drainage Fund 531	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 54,616	\$ 612,000	\$ 666,616
<b>Total</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ 308,247</b>	<b>\$ 3,400,000</b>	<b>\$ 3,708,247</b>

**Wastewater Projects - Fund 532**

Project Name	Project #	Adopted Budget	FY 26-27 Budget	FY 27-28 Budget	FY 28-29 Budget	FY 29-30 Budget	FY 30-31 Budget	Total
Healdsburg Avenue Utility Replacements	SE004	\$ 3,265,833	\$ 875,807	\$ -	\$ -	\$ -	\$ -	\$ 4,141,640
Orchard Lift Station Reconstruction	SE005	\$ 277,981	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 277,981
Magnolia Lift Station Structure Rehabilitation	SE006	\$ 216,332	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 216,332
Healdsburg Avenue Sewer Replacement	SE007	\$ -	\$ 2,007,053	\$ -	\$ -	\$ -	\$ -	\$ 2,007,053
Hudson Street to Ward Street Sewer Replacement	SE008	\$ -	\$ 1,050,000	\$ -	\$ -	\$ -	\$ -	\$ 1,050,000
Grove Street and Vine Street Trunk Main Replacement	SE009	\$ -	\$ 325,000	\$ -	\$ 3,250,000	\$ -	\$ -	\$ 3,575,000
Heron Lift Station Relocation	SE010	\$ -	\$ -	\$ 1,706,118	\$ -	\$ -	\$ -	\$ 1,706,118
Inflow and Infiltration Investigation and Repairs	SE011	\$ -	\$ -	\$ 1,579,343	\$ -	\$ -	\$ -	\$ 1,579,343
WRF Filtrate Gallery Valves	SE012	\$ -	\$ -	\$ 70,000	\$ 360,000	\$ -	\$ -	\$ 430,000
Corp Yard Force Main - Westside Rd Gravity Sewer	TBD	\$ -	\$ -	\$ -	\$ 1,557,636	\$ -	\$ -	\$ 1,557,636
6-Inch Engine-Driven Pump	TBD	\$ -	\$ -	\$ -	\$ 69,458	\$ -	\$ -	\$ 69,458
		<b>\$ 3,760,146</b>	<b>\$ 4,257,860</b>	<b>\$ 3,355,461</b>	<b>\$ 5,237,094</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ 16,610,561</b>

Project Name	Project #	FY 26-27					FY 27-28		
		Water Fund 520	Wastewater Fund 530	Water Impact Fee Fund 920	Wastewater Impact Fee Fund 930	Drainage Impact Fee Fund 931	Total	Wastewater Fund 530	Total
Healdsburg Avenue Utility Replacements	SE004	\$ 122,613	\$ 227,710	\$ 166,403	\$ 113,855	\$ 245,226	\$ 875,807	\$ -	\$ -
Healdsburg Avenue Sewer Replacement	SE007	\$ -	\$ 2,007,053	\$ -	\$ -	\$ -	\$ 2,007,053	\$ -	\$ -
Hudson Street to Ward Street Sewer Replacement	SE008	\$ -	\$ 462,000	\$ -	\$ 588,000	\$ -	\$ 1,050,000	\$ -	\$ -
Grove Street and Vine Street Trunk Main Replacement	SE009	\$ -	\$ -	\$ -	\$ 325,000	\$ -	\$ 325,000	\$ -	\$ -
Heron Lift Station Relocation	SE010	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,706,118	\$ 1,706,118
Inflow and Infiltration Investigation and Repairs	SE011	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,579,343	\$ 1,579,343
WRF Filtrate Gallery Valves	SE012	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 70,000	\$ 70,000
		<b>\$ 122,613</b>	<b>\$ 2,696,763</b>	<b>\$ 166,403</b>	<b>\$ 1,026,855</b>	<b>\$ 245,226</b>	<b>\$ 4,257,860</b>	<b>\$ 3,355,461</b>	<b>\$ 3,355,461</b>

**City of Healdsburg**  
**Five Year Capital Improvement Program**  
**Project Detail**

Item 4.a

**Project Name:**  
 Healdsburg Avenue Utility Replacements

**Project Number:** SE004                      **Project Priority:** Necessary

**Project Description:**  
 Upgrade sewer, water, and storm drain infrastructure along Healdsburg Avenue between Powell Avenue and the Foss Creek bridge - ¼ mile south of Passalacqua Road in advance of the Healdsburg Avenue Complete Streets Project.



**Department:** Public Works

**General Plan Consistency:**  
 Goal PS-B An adequate level of service in the City's sewage collection and disposal system that meets the needs of existing and projected development.  
 Goal PS-A An adequate level of service in the City's water system to meet the needs of existing and projected development.

**Appropriations beyond the 5 year program period are needed to complete the project:** Yes ( ) No (X)

Capital Improvement Program Detail	Adopted Budget	Estimated Expenditures	2026-27	2027-28	2028-29	2029-30	2030-31	Projected Project Total
<b>Project Costs:</b>	<b>\$ 3,265,833</b>	<b>\$ 3,265,833</b>	<b>\$ 875,807</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ 4,141,640</b>
Planning	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Design	\$ 355,761	\$ 355,761	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 355,761
Construction	\$ 2,910,072	\$ 2,910,072	\$ 875,807	\$ -	\$ -	\$ -	\$ -	\$ 3,785,879
<b>Funding Sources:</b>								
Water Fund 520	\$ 449,725	\$ 449,725	\$ 122,613	\$ -	\$ -	\$ -	\$ -	\$ 572,338
Wastewater Fund 530	\$ 860,442	\$ 860,442	\$ 227,710	\$ -	\$ -	\$ -	\$ -	\$ 1,088,152
Water Impact Fee Fund 920	\$ 622,257	\$ 622,257	\$ 166,403	\$ -	\$ -	\$ -	\$ -	\$ 788,660
Wastewater Impact Fee Fund 930	\$ 419,072	\$ 419,072	\$ 113,855	\$ -	\$ -	\$ -	\$ -	\$ 532,927
Drainage Impact Fee Fund 931	\$ 914,337	\$ 914,337	\$ 245,226	\$ -	\$ -	\$ -	\$ -	\$ 1,159,563
<b>Total</b>	<b>\$ 3,265,833</b>	<b>\$ 3,265,833</b>	<b>\$ 875,807</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ 4,141,640</b>

City of Healdsburg  
Five Year Capital Improvement Program  
Project Detail

Item 4.a

**Project Name:**

Orchard Lift Station Reconstruction

**Project Number:**

SE005

**Project Priority:**

Necessary

**Project Description:**

The Orchard Lift Station has structurally reached the end of its useful life. The top of the structure has deteriorated significantly and guiderails for the pumps have become detached. The lift station and valve vault should be replaced to serve the community into the future.



**Department:** Utilities

**General Plan Consistency:**

GOAL PS-B An adequate level of service in the City's sewage collection and disposal system that meets the needs of existing and projected development.  
Policy PS-C-1 The City will plan, construct, and maintain facilities to provide adequate service to existing and planned development.

**Appropriations beyond the 5 year program period are needed to complete the project:** Yes ( ) No (X)

Capital Improvement Program Detail	Adopted Budget	Estimated Expenditures	2026-27	2027-28	2028-29	2029-30	2030-31	Projected Project Total
<b>Project Costs:</b>	\$ 277,981	\$ 277,981	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 277,981
Planning	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Design	\$ 277,981	\$ 27,800	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 277,981
Construction	\$ -	\$ 250,181	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
<b>Funding Sources:</b>								
Wastewater Fund 530	\$ 277,981	\$ 277,981	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 277,981
<b>Total</b>	<b>\$ 277,981</b>	<b>\$ 277,981</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ 277,981</b>

City of Healdsburg  
Five Year Capital Improvement Program  
Project Detail

Item 4.a

**Project Name:**  
Magnolia Lift Station Structure Rehabilitation

**Project Number:**  
SE006

**Project Priority:**  
Necessary

**Project Description:**  
The Magnolia Lift Station was constructed in the early 1970s. The harsh environment of a sanitary lift station, along with time, have caused the structure to deteriorate. Recommended improvements include roof replacement and exterior wall repairs.



**Department:** Utilities

**General Plan Consistency:**  
GOAL PS-B An adequate level of service in the City's sewage collection and disposal system that meets the needs of existing and projected development.  
Policy PS-C-1 The City will plan, construct, and maintain facilities to provide adequate service to existing and planned development.

**Appropriations beyond the 5 year program period are needed to complete the project:** Yes ( ) No (X)

Capital Improvement Program Detail	Adopted Budget	Estimated Expenditures	2026-27	2027-28	2028-29	2029-30	2030-31	Projected Project Total
<b>Project Costs:</b>	<b>\$ 216,332</b>	<b>\$ 216,332</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ 216,332</b>
Planning	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Design	\$ 27,583	\$ 27,583	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 27,583
Construction	\$ 188,749	\$ 188,749	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 188,749
<b>Funding Sources:</b>								
Wastewater Fund 530	\$ 216,332	\$ 216,332	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 216,332
<b>Total</b>	<b>\$ 216,332</b>	<b>\$ 216,332</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ 216,332</b>

**City of Healdsburg**  
**Five Year Capital Improvement Program**  
**Project Detail**

Item 4.a

**Project Name:**  
 Healdsburg Avenue Sewer Replacement

**Project Number:** SE007                      **Project Priority:** Necessary

**Project Description:**  
 This project will replace approximately 2,300 feet of aged and failing sewer main along Healdsburg Avenue between Powell Avenue and Grant Street. This section of sewer main has been prone to failures and requires ongoing maintenance. Replacement of this pipe will reduce annual maintenance.



**Department:** Public Works

**General Plan Consistency:**  
 Goal PS-B An adequate level of service in the City's sewage collection and disposal system that meets the needs of existing and projected development.

**Appropriations beyond the 5 year program period are needed to complete the project:** Yes ( ) No (X)

Capital Improvement Program Detail	Adopted Budget	Estimated Expenditures	2026-27	2027-28	2028-29	2029-30	2030-31	Projected Project Total
<b>Project Costs:</b>	\$ -	\$ -	\$ 2,007,053	\$ -	\$ -	\$ -	\$ -	\$ 2,007,053
Planning	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Design	\$ -	\$ -	\$ 250,000	\$ -	\$ -	\$ -	\$ -	\$ 250,000
Construction	\$ -	\$ -	\$ 1,757,053	\$ -	\$ -	\$ -	\$ -	\$ 1,757,053
<b>Funding Sources:</b>								
Wastewater Fund 530	\$ -	\$ -	\$ 2,007,053	\$ -	\$ -	\$ -	\$ -	\$ 2,007,053
<b>Total</b>	\$ -	\$ -	\$ 2,007,053	\$ -	\$ -	\$ -	\$ -	\$ 2,007,053

City of Healdsburg  
Five Year Capital Improvement Program  
Project Detail

Item 4.a

**Project Name:**

Hudson Street to Ward Street Sewer Replacement

**Project Number:**

SE008

**Project Priority:**

Necessary

**Project Description:**

This project will replace the sewer from Hudson Street across the SMART property extending to Ward Street in advance of SMART passenger service to Healdsburg. This portion of the sewer is undersized, prone to backups, and requires frequent maintenance.



**Department:** Public Works

**General Plan Consistency:**

Goal PS-B An adequate level of service in the City's sewage collection and disposal system that meets the needs of existing and projected development.

**Appropriations beyond the 5 year program period are needed to complete the project:** Yes ( ) No (X)

Capital Improvement Program Detail	Adopted Budget	Estimated Expenditures	2026-27	2027-28	2028-29	2029-30	2030-31	Projected Project Total
<b>Project Costs:</b>	\$ -	\$ -	\$ 1,050,000	\$ -	\$ -	\$ -	\$ -	\$ 1,050,000
Planning	\$ -	\$ -	\$ 25,000	\$ -	\$ -	\$ -	\$ -	\$ 25,000
Design	\$ -	\$ -	\$ 125,000	\$ -	\$ -	\$ -	\$ -	\$ 125,000
Construction	\$ -	\$ -	\$ 900,000	\$ -	\$ -	\$ -	\$ -	\$ 900,000
<b>Funding Sources:</b>								
Wastewater Fund 530	\$ -	\$ -	\$ 462,000	\$ -	\$ -	\$ -	\$ -	\$ 462,000
Wastewater Impact Fee Fund 930	\$ -	\$ -	\$ 588,000	\$ -	\$ -	\$ -	\$ -	\$ 588,000
<b>Total</b>	\$ -	\$ -	\$ 1,050,000	\$ -	\$ -	\$ -	\$ -	\$ 1,050,000

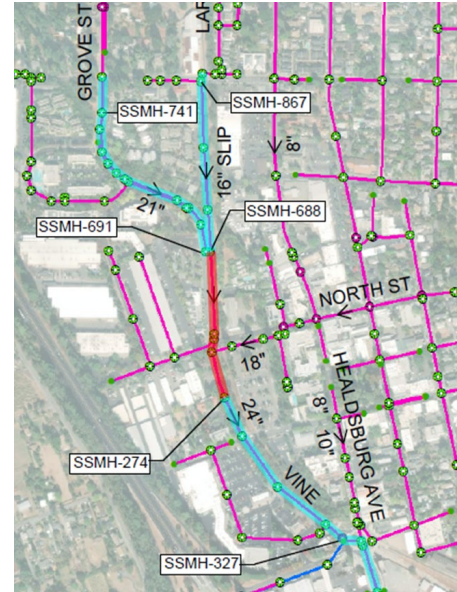
City of Healdsburg  
Five Year Capital Improvement Program  
Project Detail

Item 4.a

**Project Name:**  
Grove Street and Vine Street Trunk Main Replacement

**Project Number:** SE009                      **Project Priority:** Necessary

**Project Description:**  
The 2020 Sewer System Master Plan identified a portion of sewer trunk main along Grove Street between Foss Circle and North Street. There lacks sufficient freeboard capacity for future development. This project would upsize the deficient portion of sewer.



**Department:** Public Works

**General Plan Consistency:**  
Goal PS-B An adequate level of service in the City's sewage collection and disposal system that meets the needs of existing and projected development.

**Appropriations beyond the 5 year program period are needed to complete the project:** Yes ( ) No (X)

Capital Improvement Program Detail	Adopted Budget	Estimated Expenditures	2026-27	2027-28	2028-29	2029-30	2030-31	Projected Project Total
<b>Project Costs:</b>	\$ -	\$ -	\$ 325,000	\$ -	\$ 3,250,000	\$ -	\$ -	\$ 3,575,000
Planning	\$ -	\$ -	\$ 25,000	\$ -	\$ -	\$ -	\$ -	\$ 25,000
Design	\$ -	\$ -	\$ 300,000	\$ -	\$ -	\$ -	\$ -	\$ 300,000
Construction	\$ -	\$ -	\$ -	\$ -	\$ 3,250,000	\$ -	\$ -	\$ 3,250,000
<b>Funding Sources:</b>								
Wastewater Impact Fee Fund 930	\$ -	\$ -	\$ 325,000	\$ -	\$ 3,250,000	\$ -	\$ -	\$ 3,575,000
<b>Total</b>	\$ -	\$ -	\$ 325,000	\$ -	\$ 3,250,000	\$ -	\$ -	\$ 3,575,000

**City of Healdsburg**  
**Five Year Capital Improvement Program**  
**Project Detail**

Item 4.a

**Project Name:**  
Heron Lift Station Relocation

**Project Number:**  
SE010

**Project Priority:**  
Desirable

**Project Description:**  
The Heron Lift Station is located in a greenbelt area adjacent to Badger Park. The location is on the inside of a curve with limited space for service vehicles. The space has planted trees, which tend to seek water in the wet well and have clogged the pumps previously. The approach sewer is inadequately sloped to provide cleansing velocity of the sewage. Under this project, the Heron Lift Station will be relocated to the Badger Park which will correct these deficiencies.



**Department:** Utilities

**General Plan Consistency:**  
GOAL PS-B An adequate level of service in the City's sewage collection and disposal system that meets the needs of existing and projected development.  
Policy PS-C-1 The City will plan, construct, and maintain facilities to provide adequate service to existing and planned development.

**Appropriations beyond the 5 year program period are needed to complete the project:** Yes ( ) No ( X )

Capital Improvement Program Detail	Adopted Budget	Estimated Expenditures	2026-27	2027-28	2028-29	2029-30	2030-31	Projected Project Total
<b>Project Costs:</b>	\$ -	\$ -	\$ -	\$ 1,706,118	\$ -	\$ -	\$ -	\$ 1,706,118
Planning	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Design	\$ -	\$ -	\$ -	\$ 255,918	\$ -	\$ -	\$ -	\$ 255,918
Construction	\$ -	\$ -	\$ -	\$ 1,450,200	\$ -	\$ -	\$ -	\$ 1,450,200
<b>Funding Sources:</b>								
Wastewater Fund 530	\$ -	\$ -	\$ -	\$ 1,706,118	\$ -	\$ -	\$ -	\$ 1,706,118
<b>Total</b>	\$ -	\$ -	\$ -	\$ 1,706,118	\$ -	\$ -	\$ -	\$ 1,706,118

**City of Healdsburg**  
**Five Year Capital Improvement Program**  
**Project Detail**

Item 4.a

**Project Name:**

Inflow and Infiltration Investigation and Repairs

**Project Number:**

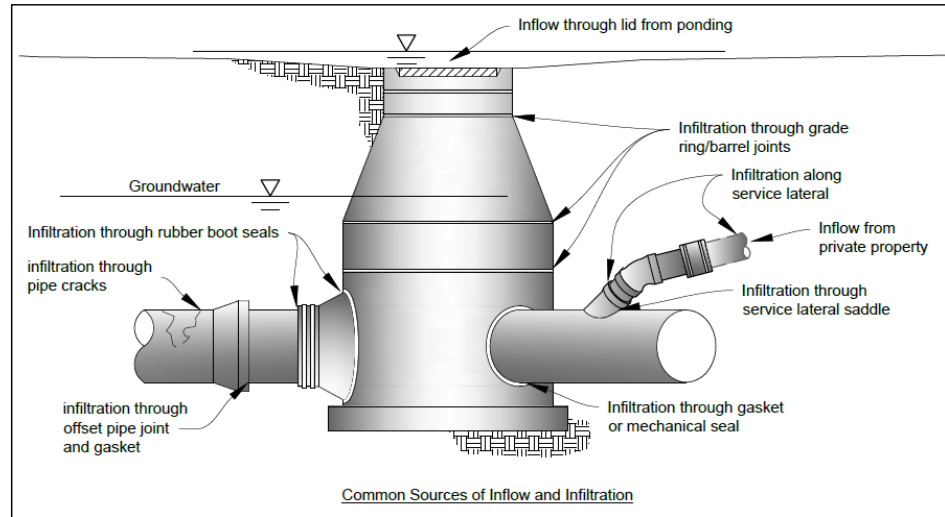
SE011

**Project Priority:**

Necessary

**Project Description:**

This project will analyze the City's existing sewer collection system to locate inflow and infiltration and perform repairs.



**Department:** Public Works

**General Plan Consistency:**

Goal PS-B An adequate level of service in the City's sewage collection and disposal system that meets the needs of existing and projected development.  
 Policy PS-A-1 The City will ensure the availability of water sources as necessary to serve planned development.

**Appropriations beyond the 5 year program period are needed to complete the project:** Yes ( ) No (X)

Capital Improvement Program Detail	Adopted Budget	Estimated Expenditures	2026-27	2027-28	2028-29	2029-30	2030-31	Projected Project Total
<b>Project Costs:</b>	\$ -	\$ -	\$ -	\$ 1,579,343	\$ -	\$ -	\$ -	\$ 1,579,343
Planning	\$ -	\$ -	\$ -	\$ 25,000	\$ -	\$ -	\$ -	\$ 25,000
Design	\$ -	\$ -	\$ -	\$ 225,000	\$ -	\$ -	\$ -	\$ 225,000
Construction	\$ -	\$ -	\$ -	\$ 1,329,343	\$ -	\$ -	\$ -	\$ 1,329,343
<b>Funding Sources:</b>								
Wastewater Fund 530	\$ -	\$ -	\$ -	\$ 1,579,343	\$ -	\$ -	\$ -	\$ 1,579,343
<b>Total</b>	\$ -	\$ -	\$ -	\$ 1,579,343	\$ -	\$ -	\$ -	\$ 1,579,343

City of Healdsburg  
Five Year Capital Improvement Program  
Project Detail

Item 4.a

**Project Name:**  
WRF Filtrate Gallery Vales

**Project Number:**  
SE012

**Project Priority:**  
Necessary

**Project Description:**  
The mixed liquor engineering and filtrate leaving the tertiary membrane filters at the Water Reclamation Facility is controlled by valves that were installed when the plant was constructed in 2007. These valves have become worn and do not operate properly. Consequently, the valves should be rehabilitated or replaced. Because of the location of the valves, special lifting equipment is necessary and a design-bid-build approach is recommended.



**Department:** Public Works

**General Plan Consistency:**  
Goal: PS-B An adequate level of service in the City's sewage collection and disposal system that meets the needs of existing and projected development.  
Policy: PS-C-1 The City will plan, construct, and maintain facilities to provide adequate service to existing and planned development.

**Appropriations beyond the 5 year program period are needed to complete the project:** Yes ( ) No (X)

Capital Improvement Program Detail	Adopted Budget	Estimated Expenditures	2026-27	2027-28	2028-29	2029-30	2030-31	Projected Project Total
<b>Project Costs:</b>	\$ -	\$ -	\$ -	\$ 70,000	\$ 360,000	\$ -	\$ -	\$ 430,000
Planning	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Design	\$ -	\$ -	\$ -	\$ 70,000	\$ -	\$ -	\$ -	\$ 70,000
Construction	\$ -	\$ -	\$ -	\$ -	\$ 360,000	\$ -	\$ -	\$ 360,000
<b>Funding Sources:</b>								
Wastewater Fund 530	\$ -	\$ -	\$ -	\$ 70,000	\$ 360,000	\$ -	\$ -	\$ 430,000
<b>Total</b>	\$ -	\$ -	\$ -	\$ 70,000	\$ 360,000	\$ -	\$ -	\$ 430,000

City of Healdsburg  
Five Year Capital Improvement Program  
Project Detail

Item 4.a

**Project Name:**

Corp Yard Force Main - Westside Rd Gravity Sewer  
- Hendricks Lift Station

**Project Number:**

TBD

**Project Priority:**

Desirable

**Project Description:**

The force main from the corporation yard extends to Kinley Lift Station, requiring a pump station at Hendricks Road for that area to enter the system. Replacing the force main with a gravity sewer would increase reliability, reduce pumping costs, and allow for the abandonment of the Hendricks Lift Station, which is on private property and is a difficult to maintain facility.



**Department:** Utilities

**General Plan Consistency:**

GOAL PS-B An adequate level of service in the City's sewage collection and disposal system that meets the needs of existing and projected development.  
Policy PS-C-1 The City will plan, construct, and maintain facilities to provide adequate service to existing and planned development.

**Appropriations beyond the 5 year program period are needed to complete the project:** Yes ( X ) No ( )

Capital Improvement Program Detail	Adopted Budget	Estimated Expenditures	2026-27	2027-28	2028-29	2029-30	2030-31	Projected Project Total
<b>Project Costs:</b>	\$ -	\$ -	\$ -	\$ -	\$ 1,557,636	\$ -	\$ -	\$ 1,557,636
Planning	\$ -	\$ -	\$ -	\$ -	\$ 25,000	\$ -	\$ -	\$ 25,000
Design	\$ -	\$ -	\$ -	\$ -	\$ 150,000	\$ -	\$ -	\$ 150,000
Construction	\$ -	\$ -	\$ -	\$ -	\$ 1,382,636	\$ -	\$ -	\$ 1,382,636
<b>Funding Sources:</b>								
Wastewater Fund 530	\$ -	\$ -	\$ -	\$ -	\$ 1,557,636	\$ -	\$ -	\$ 1,557,636
<b>Total</b>	\$ -	\$ -	\$ -	\$ -	\$ 1,557,636	\$ -	\$ -	\$ 1,557,636

City of Healdsburg  
Five Year Capital Improvement Program  
Project Detail

Item 4.a

**Project Name:**  
6-Inch Engine-driven pump

**Project Number:**  
TBD

**Project Priority:**  
Desirable

**Project Description:**  
A second 6-inch pump is desirable during high flow to have a pump in use at the Magnolia Lift Station and to have a pump at the Water Reclamation Facility to move flow between storage ponds or if necessary, move flow from ponds to the outfall, avoiding overtopping the ponds at the WRF.



**Department:** Public Works

**General Plan Consistency:**  
Goal: PS-B An adequate level of service in the City's sewage collection and disposal system that meets the needs of existing and projected development.  
Policy: PS-C-1 The City will plan, construct, and maintain facilities to provide adequate service to existing and planned development.

**Appropriations beyond the 5 year program period are needed to complete the project:** Yes ( ) No (X)

Capital Improvement Program Detail	Adopted Budget	Estimated Expenditures	2026-27	2027-28	2028-29	2029-30	2030-31	Projected Project Total
<b>Project Costs:</b>	\$ -	\$ -	\$ -	\$ -	\$ 69,458	\$ -	\$ -	\$ 69,458
Planning	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Design	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Construction	\$ -	\$ -	\$ -	\$ -	\$ 69,458	\$ -	\$ -	\$ 69,458
<b>Funding Sources:</b>								
Wastewater Fund 530	\$ -	\$ -	\$ -	\$ -	\$ 69,458	\$ -	\$ -	\$ 69,458
<b>Total</b>	\$ -	\$ -	\$ -	\$ -	\$ 69,458	\$ -	\$ -	\$ 69,458

**Drainage Projects - Fund 532**

Project Name	Project #	Adopted Budget	FY 26-27 Budget	FY 27-28 Budget	FY 28-29 Budget	FY 29-30 Budget	FY 30-31 Budget	Total
Chablis Road Drainage Channel Sediment Removal	DR001	\$ -	\$ -	\$ -	\$ -	\$ 300,000	\$ -	\$ 300,000
900 Powell Avenue Catch Basin Replacement	DR003	\$ 75,000	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 75,000
Willow Glen Court Storm Drain Repair	DR004	\$ -	\$ 325,000	\$ -	\$ -	\$ -	\$ -	\$ 325,000
Foss Creek Storm Drain Bypass Inlet Improvements	DR005	\$ -	\$ 100,000	\$ -	\$ -	\$ -	\$ -	\$ 100,000
Grant Avenue Storm Drain Repair	DR006	\$ -	\$ 75,000	\$ -	\$ -	\$ -	\$ -	\$ 75,000
Trash Capture Implementation - Phase 1	DR007	\$ -	\$ -	\$ 100,000	\$ -	\$ -	\$ -	\$ 100,000
Foss Creek Sediment Removal at North Street	DR008	\$ -	\$ -	\$ 50,000	\$ -	\$ -	\$ -	\$ 50,000
Bridal Path Drainage Improvements	DR009	\$ -	\$ -	\$ 50,000	\$ -	\$ -	\$ -	\$ 50,000
Healdsburg Ave Storm Drain Improvements - Front Street to US 101	TBD	\$ -	\$ -	\$ -	\$ 750,000	\$ -	\$ -	\$ 750,000
Pordon Lane Storm Drain Improvements - Phase 2	TBD	\$ -	\$ -	\$ -	\$ 500,000	\$ -	\$ -	\$ 500,000
Stream Gauge / Flood Monitoring System	TBD	\$ -	\$ -	\$ -	\$ 75,000	\$ -	\$ -	\$ 75,000
Flood Plain Map Update	TBD	\$ -	\$ -	\$ -	\$ -	\$ 350,000	\$ -	\$ 350,000
135 Healdsburg Avenue Storm Drain Replacement	TBD	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 150,000	\$ 150,000
Center Street Storm Drain Replacement	TBD	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 125,000	\$ 125,000
		<b>\$ 75,000</b>	<b>\$ 500,000</b>	<b>\$ 200,000</b>	<b>\$ 1,325,000</b>	<b>\$ 650,000</b>	<b>\$ 275,000</b>	<b>\$ 3,025,000</b>

Project Name	Project #	FY 26-27			FY 27-28	
		Measure T Fund 105	Drainage Impact Fee Fund 931	Total	Measure T Fund 105	Total
Willow Glen Court Storm Drain Repair	DR004	\$ 325,000	\$ -	\$ 325,000	\$ -	\$ -
Foss Creek Storm Drain Bypass Inlet Improvements	DR005	\$ -	\$ 100,000	\$ 100,000	\$ -	\$ -
Grant Avenue Storm Drain Repair	DR006	\$ 75,000	\$ -	\$ 75,000	\$ -	\$ -
Trash Capture Implementation - Phase 1	DR007	\$ -	\$ -	\$ -	\$ 100,000	\$ 100,000
Foss Creek Sediment Removal at North Street	DR008	\$ -	\$ -	\$ -	\$ 50,000	\$ 50,000
Bridal Path Drainage Improvements	DR009	\$ -	\$ -	\$ -	\$ 50,000	\$ 50,000
		<b>\$ 400,000</b>	<b>\$ 100,000</b>	<b>\$ 500,000</b>	<b>\$ 200,000</b>	<b>\$ 200,000</b>

**City of Healdsburg**  
**Five Year Capital Improvement Program**  
**Project Detail**

Item 4.a

**Project Name:**

Chablis Road Drainage Channel Sediment Removal

**Project Number:**

DR001

**Project Priority:**

Necessary

**Project Description:**

This project will remove accumulated sediment from an unnamed drainage, adjacent to Chablis Road in the Vintage Hills subdivision in the northwest portion of the City.



**Department:** Public Works

**General Plan Consistency:**

Goal S-C Prevent the loss of lives, injuries, and property damage due to flooding.

Policy S-C-3 The City will provide for environmentally-sound channel improvements and tree and brush clearance along Foss Creek and other watercourses to reduce flooding.

**Appropriations beyond the 5 year program period are needed to complete the project:** Yes ( ) No ( X )

Capital Improvement Program Detail	Adopted Budget	Estimated Expenditures	2026-27	2027-28	2028-29	2029-30	2030-31	Projected Project Total
<b>Project Costs:</b>	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 300,000	\$ -	\$ 300,000
Planning	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Design	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 50,000	\$ -	\$ 50,000
Construction	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 250,000	\$ -	\$ 250,000
<b>Funding Sources:</b>								
Measure T Fund 105	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 300,000	\$ -	\$ 300,000
<b>Total</b>	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 300,000	\$ -	\$ 300,000

City of Healdsburg  
Five Year Capital Improvement Program  
Project Detail

Item 4.a

**Project Name:**  
900 Powell Avenue Catch Basin Replacement

**Project Number:** DR003                      **Project Priority:** Necessary

**Project Description:**  
This project will replace the drainage catch basin located along the street frontage of 900 Powell Avenue. This location is prone to flooding and requires frequent maintenance.



**Department:** Public Works

**General Plan Consistency:**  
Goal S-C Prevent the loss of lives, injuries, and property damage due to flooding.

**Appropriations beyond the 5 year program period are needed to complete the project:** Yes ( ) No (X)

Capital Improvement Program Detail	Adopted Budget	Estimated Expenditures	2026-27	2027-28	2028-29	2029-30	2030-31	Projected Project Total
<b>Project Costs:</b>	<b>\$ 75,000</b>	<b>\$ 75,000</b>	\$ -	\$ -	\$ -	\$ -	\$ -	<b>\$ 75,000</b>
Planning	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Design	\$ 10,000	\$ 10,000	\$ -	\$ -	\$ -	\$ -	\$ -	<b>\$ 10,000</b>
Construction	\$ 65,000	\$ 65,000	\$ -	\$ -	\$ -	\$ -	\$ -	<b>\$ 65,000</b>
<b>Funding Sources:</b>								
Drainage Impact Fee Fund 931	\$ 75,000	\$ 75,000	\$ -	\$ -	\$ -	\$ -	\$ -	<b>\$ 75,000</b>
<b>Total</b>	<b>\$ 75,000</b>	<b>\$ 75,000</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ 75,000</b>

**City of Healdsburg**  
**Five Year Capital Improvement Program**  
**Project Detail**

Item 4.a

**Project Name:**  
 Willow Glen Court Storm Drain Repair

**Project Number:** DR004                      **Project Priority:** Necessary

**Project Description:**  
 Repair of the structural slip-line failing 36" storm drain from Willow Glen Court to Sunnyvale Drive.



**Department:** Public Works

**General Plan Consistency:**  
 Goal S-C Prevent the loss of lives, injuries, and property damage due to flooding.

**Appropriations beyond the 5 year program period are needed to complete the project:** Yes ( ) No (X)

Capital Improvement Program Detail	Adopted Budget	Estimated Expenditures	2026-27	2027-28	2028-29	2029-30	2030-31	Projected Project Total
<b>Project Costs:</b>	\$ -	\$ -	\$ 325,000	\$ -	\$ -	\$ -	\$ -	\$ 325,000
Planning	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Design	\$ -	\$ -	\$ 75,000	\$ -	\$ -	\$ -	\$ -	\$ 75,000
Construction	\$ -	\$ -	\$ 250,000	\$ -	\$ -	\$ -	\$ -	\$ 250,000
<b>Funding Sources:</b>								
Measure T Fund 105	\$ -	\$ -	\$ 325,000	\$ -	\$ -	\$ -	\$ -	\$ 325,000
<b>Total</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ 325,000</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ 325,000</b>

City of Healdsburg  
 Five Year Capital Improvement Program  
 Project Detail

Item 4.a

**Project Name:**

Foss Creek Storm Drain Bypass Inlet Improvements

**Project Number:**

DR005

**Project Priority:**

Necessary

**Project Description:**

Construct improvements to optimize flow distribution and inlet capacity of Foss Creek bypass storm drains.



**Department:** Public Works

**General Plan Consistency:**

Goal S-C Prevent the loss of lives, injuries, and property damage due to flooding.

**Appropriations beyond the 5 year program period are needed to complete the project:** Yes ( ) No (X)

Capital Improvement Program Detail	Adopted Budget	Estimated Expenditures	2026-27	2027-28	2028-29	2029-30	2030-31	Projected Project Total
<b>Project Costs:</b>	\$ -	\$ -	\$ 100,000	\$ -	\$ -	\$ -	\$ -	\$ 100,000
Planning	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Design	\$ -	\$ -	\$ 25,000	\$ -	\$ -	\$ -	\$ -	\$ 25,000
Construction	\$ -	\$ -	\$ 75,000	\$ -	\$ -	\$ -	\$ -	\$ 75,000
<b>Funding Sources:</b>								
Drainage Impact Fee Fund 931	\$ -	\$ -	\$ 100,000	\$ -	\$ -	\$ -	\$ -	\$ 100,000
<b>Total</b>	\$ -	\$ -	\$ 100,000	\$ -	\$ -	\$ -	\$ -	\$ 100,000

City of Healdsburg  
Five Year Capital Improvement Program  
Project Detail

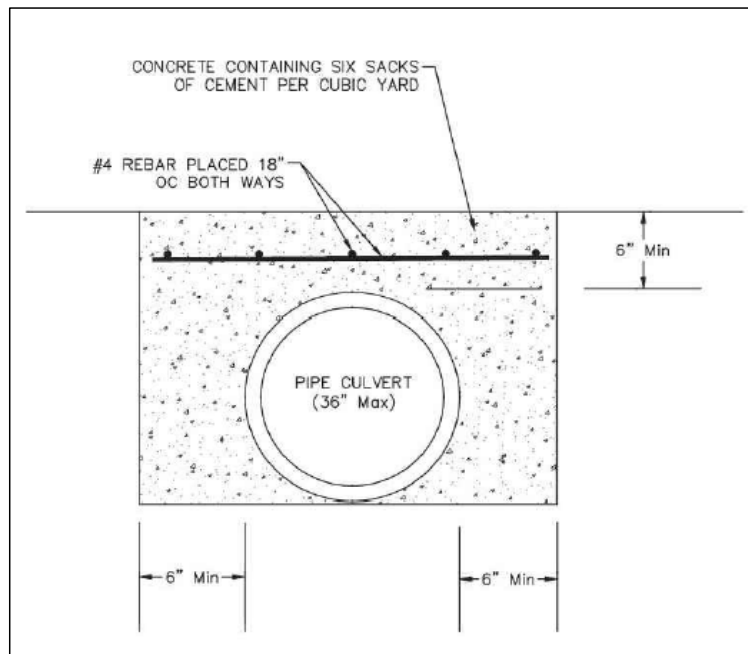
Item 4.a

**Project Name:**  
Grant Avenue Storm Drain Repair

**Project Number:**  
DR006

**Project Priority:**  
Necessary

**Project Description:**  
Replace failed 12" storm drain under Grant Avenue and re-grade drainage ditch to reduce flooding.



**Department:** Public Works

**General Plan Consistency:**  
Goal S-C Prevent the loss of lives, injuries, and property damage due to flooding.

**Appropriations beyond the 5 year program period are needed to complete the project:** Yes ( ) No (X)

Capital Improvement Program Detail	Adopted Budget	Estimated Expenditures	2026-27	2027-28	2028-29	2029-30	2030-31	Projected Project Total
<b>Project Costs:</b>	\$ -	\$ -	\$ 75,000	\$ -	\$ -	\$ -	\$ -	\$ 75,000
Planning	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Design	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Construction	\$ -	\$ -	\$ 75,000	\$ -	\$ -	\$ -	\$ -	\$ 75,000
<b>Funding Sources:</b>								
Measure T Fund 105	\$ -	\$ -	\$ 75,000	\$ -	\$ -	\$ -	\$ -	\$ 75,000
<b>Total</b>	\$ -	\$ -	\$ 75,000	\$ -	\$ -	\$ -	\$ -	\$ 75,000

City of Healdsburg  
Five Year Capital Improvement Program  
Project Detail

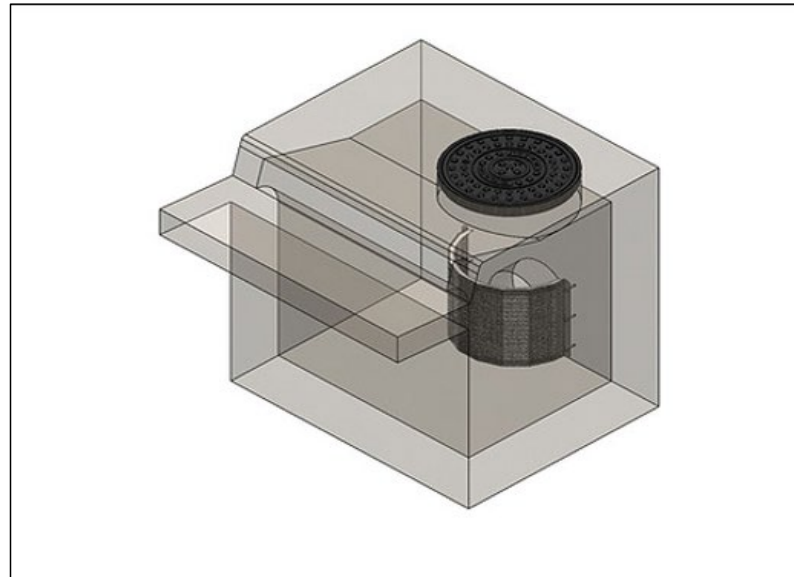
Item 4.a

**Project Name:**  
Trash Capture Implementation - Phase 1

**Project Number:**  
DR007

**Project Priority:**  
Necessary

**Project Description:**  
Design and construct storm water trash capture improvements in compliance with updated stormwater regulations.



**Department:** Public Works

**General Plan Consistency:**

Goal NR-A Improve water quality and flows in the Russian River, Dry Creek, and Foss Creek to protect the City's water supply, recreation, fish, and wildlife.

Policy NR-A-2 The City will seek to minimize siltation, sedimentation, and pollution discharged into receiving waterways from construction activities and ongoing operations.

**Appropriations beyond the 5 year program period are needed to complete the project:** Yes ( ) No (X)

Capital Improvement Program Detail	Adopted Budget	Estimated Expenditures	2026-27	2027-28	2028-29	2029-30	2030-31	Projected Project Total
<b>Project Costs:</b>	\$ -	\$ -	\$ -	\$ 100,000	\$ -	\$ -	\$ -	\$ 100,000
Planning	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Design	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Construction	\$ -	\$ -	\$ -	\$ 100,000	\$ -	\$ -	\$ -	\$ 100,000
<b>Funding Sources:</b>								
Measure T Fund 105	\$ -	\$ -	\$ -	\$ 100,000	\$ -	\$ -	\$ -	\$ 100,000
<b>Total</b>	\$ -	\$ -	\$ -	\$ 100,000	\$ -	\$ -	\$ -	\$ 100,000

City of Healdsburg  
Five Year Capital Improvement Program  
Project Detail

Item 4.a

**Project Name:**

Foss Creek Sediment Removal at North Street

**Project Number:**

DR008

**Project Priority:**

Necessary

**Project Description:**

Remove accumulated sediment from the concrete-lined portion of Foss Creek upstream of the North Street Bridge.



**Department:** Public Works

**General Plan Consistency:**

Goal S-C Prevent the loss of lives, injuries, and property damage due to flooding.

Policy S-C-3 The City will provide for environmentally-sound channel improvements and tree and brush clearance along Foss Creek and other watercourses to reduce flooding.

**Appropriations beyond the 5 year program period are needed to complete the project:** Yes ( ) No (X)

Capital Improvement Program Detail	Adopted Budget	Estimated Expenditures	2026-27	2027-28	2028-29	2029-30	2030-31	Projected Project Total
<b>Project Costs:</b>	\$ -	\$ -	\$ -	\$ 50,000	\$ -	\$ -	\$ -	\$ 50,000
Planning	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Design	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Construction	\$ -	\$ -	\$ -	\$ 50,000	\$ -	\$ -	\$ -	\$ 50,000
<b>Funding Sources:</b>								
Measure T Fund 105	\$ -	\$ -	\$ -	\$ 50,000	\$ -	\$ -	\$ -	\$ 50,000
<b>Total</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ 50,000</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ 50,000</b>

**City of Healdsburg**  
**Five Year Capital Improvement Program**  
**Project Detail**

Item 4.a

**Project Name:**  
 Bridal Path Drainage Improvements

**Project Number:**  
 DR009

**Project Priority:**  
 Necessary

**Project Description:**  
 Remove accumulated sediment from the drainage channel north of Bridal Path to alleviate localized flooding during heavy rain fall.



**Department:** Public Works

**General Plan Consistency:**

Goal S-C Prevent the loss of lives, injuries, and property damage due to flooding.

Policy S-C-3 The City will provide for environmentally-sound channel improvements and tree and brush clearance along Foss Creek and other watercourses to reduce flooding.

**Appropriations beyond the 5 year program period are needed to complete the project:** Yes ( ) No (X)

Capital Improvement Program Detail	Adopted Budget	Estimated Expenditures	2026-27	2027-28	2028-29	2029-30	2030-31	Projected Project Total
<b>Project Costs:</b>	\$ -	\$ -	\$ -	\$ 50,000	\$ -	\$ -	\$ -	\$ 50,000
Planning	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Design	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Construction	\$ -	\$ -	\$ -	\$ 50,000	\$ -	\$ -	\$ -	\$ 50,000
<b>Funding Sources:</b>								
Measure T Fund 105	\$ -	\$ -	\$ -	\$ 50,000	\$ -	\$ -	\$ -	\$ 50,000
<b>Total</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ 50,000</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ 50,000</b>

City of Healdsburg  
Five Year Capital Improvement Program  
Project Detail

Item 4.a

**Project Name:**

Healdsburg Ave Storm Drain Improvements - Front Street to US 101

**Project Number:**

TBD

**Project Priority:**

Necessary

**Project Description:**

Replace the storm drain along Healdsburg Avenue from Front Street to US-101. Work to be completed in conjunction with the South Healdsburg Avenue Connectivity Project.



**Department:** Public Works

**General Plan Consistency:**

Goal S-C Prevent the loss of lives, injuries, and property damage due to flooding.

**Appropriations beyond the 5 year program period are needed to complete the project:** Yes ( ) No (X)

Capital Improvement Program Detail	Adopted Budget	Estimated Expenditures	2026-27	2027-28	2028-29	2029-30	2030-31	Projected Project Total
<b>Project Costs:</b>	\$ -	\$ -	\$ -	\$ -	\$ 750,000	\$ -	\$ -	\$ 750,000
Planning	\$ -	\$ -	\$ -	\$ -	\$ 15,000	\$ -	\$ -	\$ 15,000
Design	\$ -	\$ -	\$ -	\$ -	\$ 35,000	\$ -	\$ -	\$ 35,000
Construction	\$ -	\$ -	\$ -	\$ -	\$ 700,000	\$ -	\$ -	\$ 700,000
<b>Funding Sources:</b>								
Drainage Impact Fee Fund 931	\$ -	\$ -	\$ -	\$ -	\$ 750,000	\$ -	\$ -	\$ 750,000
<b>Total</b>	\$ -	\$ -	\$ -	\$ -	\$ 750,000	\$ -	\$ -	\$ 750,000

City of Healdsburg  
 Five Year Capital Improvement Program  
 Project Detail

Item 4.a

**Project Name:**  
 Pordon Lane Storm Drain Improvements - Phase 2

**Project Number:** TBD                      **Project Priority:** Necessary

**Project Description:**  
 This project will continue drainage improvements at the south end of Pordon Lane to prevent flooding and reduce wintertime maintenance.



**Department:** Public Works

**General Plan Consistency:**  
 Goal S-C Prevent the loss of lives, injuries, and property damage due to flooding.

**Appropriations beyond the 5 year program period are needed to complete the project:** Yes ( ) No (X)

Capital Improvement Program Detail	Adopted Budget	Estimated Expenditures	2026-27	2027-28	2028-29	2029-30	2030-31	Projected Project Total
<b>Project Costs:</b>	\$ -	\$ -	\$ -	\$ -	\$ 500,000	\$ -	\$ -	\$ 500,000
Planning	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Design	\$ -	\$ -	\$ -	\$ -	\$ 30,000	\$ -	\$ -	\$ 30,000
Construction	\$ -	\$ -	\$ -	\$ -	\$ 470,000	\$ -	\$ -	\$ 470,000
<b>Funding Sources:</b>								
Drainage Impact Fee Fund 931	\$ -	\$ -	\$ -	\$ -	\$ 500,000	\$ -	\$ -	\$ 500,000
<b>Total</b>	\$ -	\$ -	\$ -	\$ -	\$ 500,000	\$ -	\$ -	\$ 500,000

City of Healdsburg  
 Five Year Capital Improvement Program  
 Project Detail

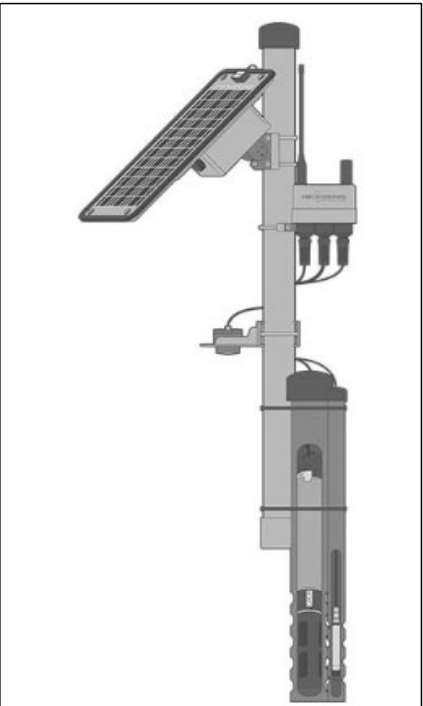
Item 4.a

**Project Name:**  
 Stream Gauge / Flood Monitoring System

**Project Number:**  
 TBD

**Project Priority:**  
 Desired

**Project Description:**  
 Install stream gauges and flood-monitoring systems at select locations within the City.



**Department:** Public Works

**General Plan Consistency:**  
 Goal S-C Prevent the loss of lives, injuries, and property damage due to flooding.

**Appropriations beyond the 5 year program period are needed to complete the project:** Yes ( ) No (X)

Capital Improvement Program Detail	Adopted Budget	Estimated Expenditures	2026-27	2027-28	2028-29	2029-30	2030-31	Projected Project Total
<b>Project Costs:</b>	\$ -	\$ -	\$ -	\$ -	\$ 75,000	\$ -	\$ -	\$ 75,000
Planning	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Design	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Construction	\$ -	\$ -	\$ -	\$ -	\$ 75,000	\$ -	\$ -	\$ 75,000
<b>Funding Sources:</b>								
Measure T Fund 105	\$ -	\$ -	\$ -	\$ -	\$ 75,000	\$ -	\$ -	\$ 75,000
<b>Total</b>	\$ -	\$ -	\$ -	\$ -	\$ 75,000	\$ -	\$ -	\$ 75,000

**City of Healdsburg  
Five Year Capital Improvement Program  
Project Detail**

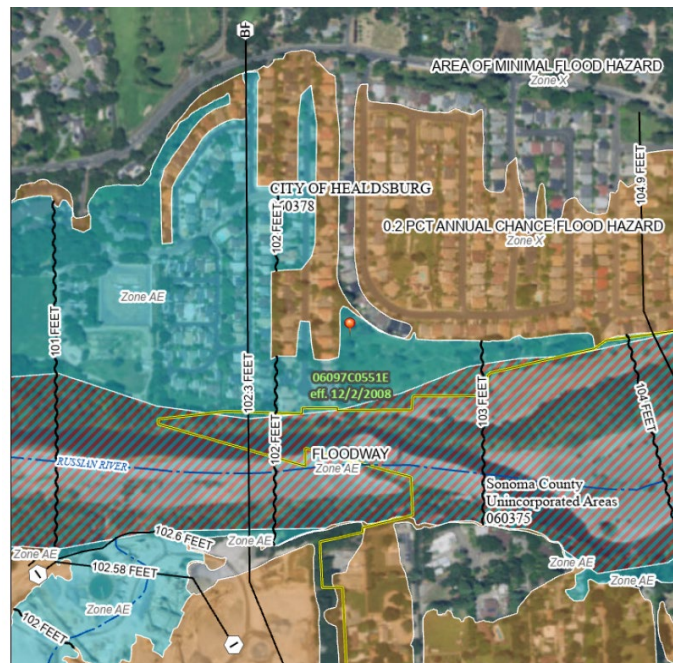
**Item 4.a**

**Project Name:**  
Flood Plain Map Update

**Project Number:**  
TBD

**Project Priority:**  
Necessary

**Project Description:**  
This project will perform a physical map revision of existing flood insurance rate maps to identify and update current flood risks in Healdsburg. The physical map revision process includes technical analysis, to review and change as necessary, flood zones, floodplain and/or floodway delineations, as well as flood surface elevations. The mapping update will include a community input and review process, as well as working with the Federal Emergency Management Agency.



**Department:** Public Works

**General Plan Consistency:**  
Goal S-C Prevent the loss of lives, injuries, and property damage due to flooding.

**Appropriations beyond the 5 year program period are needed to complete the project:** Yes ( ) No (X)

Capital Improvement Program Detail	Adopted Budget	Estimated Expenditures	2026-27	2027-28	2028-29	2029-30	2030-31	Projected Project Total
<b>Project Costs:</b>	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 350,000	\$ -	\$ 350,000
Planning	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Design	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Construction	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 350,000	\$ -	\$ 350,000
<b>Funding Sources:</b>								
Measure T Fund 105	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 350,000	\$ -	\$ 350,000
<b>Total</b>	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 350,000	\$ -	\$ 350,000

City of Healdsburg  
Five Year Capital Improvement Program  
Project Detail

Item 4.a

**Project Name:**  
135 Healdsburg Avenue Storm Drain Replacement

**Project Number:** TBD                      **Project Priority:** Necessary

**Project Description:**  
This project will replace the failing storm drain located within an easement across the property at 135 Healdsburg Avenue.



**Department:** Public Works

**General Plan Consistency:**  
Goal S-C Prevent the loss of lives, injuries, and property damage due to flooding.

**Appropriations beyond the 5 year program period are needed to complete the project:** Yes ( ) No (X)

Capital Improvement Program Detail	Adopted Budget	Estimated Expenditures	2026-27	2027-28	2028-29	2029-30	2030-31	Projected Project Total
<b>Project Costs:</b>	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 150,000	\$ 150,000
Planning	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Design	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 25,000	\$ 25,000
Construction	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 125,000	\$ 125,000
<b>Funding Sources:</b>								
Drainage Impact Fee Fund 931	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 150,000	\$ 150,000
<b>Total</b>	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 150,000	\$ 150,000

**City of Healdsburg  
Five Year Capital Improvement Program  
Project Detail**

**Item 4.a**

**Project Name:**  
Center Street Storm Drain Replacement

**Project Number:** TBD                      **Project Priority:** Necessary

**Project Description:**  
This project will replace the undersized storm drain and nonstandard drain inlets on Center Street between Lincoln Street and Sherman Street.



**Department:** Public Works

**General Plan Consistency:**  
Goal S-C Prevent the loss of lives, injuries, and property damage due to flooding.

**Appropriations beyond the 5 year program period are needed to complete the project:** Yes ( ) No (X)

Capital Improvement Program Detail	Adopted Budget	Estimated Expenditures	2026-27	2027-28	2028-29	2029-30	2030-31	Projected Project Total
<b>Project Costs:</b>	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 125,000	\$ 125,000
Planning	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Design	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 25,000	\$ 25,000
Construction	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 100,000	\$ 100,000
<b>Funding Sources:</b>								
Drainage Impact Fee Fund 931	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 125,000	\$ 125,000
<b>Total</b>	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 125,000	\$ 125,000

**Electric Projects - Fund 542**

Project Name	Project #	Adopted Budget	FY 26-27 Budget	FY 27-28 Budget	FY 28-29 Budget	FY 29-30 Budget	FY 30-31 Budget	Total
Underground Healdsburg Ave	EL008	\$ 4,120,000	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 4,120,000
Public Electric Vehicle Charging Stations	EL009	\$ -	\$ 883,333	\$ -	\$ -	\$ -	\$ -	\$ 883,333
Install Backtie for South Healdsburg	EL010	\$ -	\$ 836,000	\$ -	\$ -	\$ -	\$ -	\$ 836,000
Reconductor Grove Street North of Dry Creek	EL011	\$ -	\$ 157,850	\$ -	\$ -	\$ -	\$ -	\$ 157,850
Badger Substation Bank Replacement	EL012	\$ -	\$ -	\$ 1,518,825	\$ 14,229,600	\$ -	\$ -	\$ 15,748,425
		<b>\$ 4,120,000</b>	<b>\$ 1,877,183</b>	<b>\$ 1,518,825</b>	<b>\$ 14,229,600</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ 21,745,608</b>

Project Name	Project #	FY 26-27			FY 27-28	
		Electric Fund 540	Low Carbon Fuel Standards Fund 547	Total	Electric Fund 540	Total
Underground Healdsburg Ave	EL008	\$ -	\$ -	\$ -	\$ -	\$ -
Public Electric Vehicle Charging Stations	EL009	\$ -	\$ 883,333	\$ 883,333	\$ -	\$ -
Install Backtie for South Healdsburg	EL010	\$ 836,000	\$ -	\$ 836,000	\$ -	\$ -
Reconductor Grove Street North of Dry Creek	EL011	\$ 157,850	\$ -	\$ 157,850	\$ -	\$ -
Badger Substation Bank Replacement	EL012	\$ -	\$ -	\$ -	\$ 1,518,825	\$ 1,518,825
		<b>\$ 993,850</b>	<b>\$ 883,333</b>	<b>\$ 1,877,183</b>	<b>\$ 1,518,825</b>	<b>\$ 1,518,825</b>

City of Healdsburg  
Five Year Capital Improvement Program  
Project Detail

Item 4.a

**Project Name:**  
Underground Healdsburg Ave

**Project Number:**  
EL008

**Project Priority:**  
Desirable

**Project Description:**  
This project places existing overhead wires underground along Healdsburg Avenue in conjunction with the planned north Healdsburg Ave street improvements. This project requires coordination with other utilities to complete the work ahead of the planned street improvements. Total footage of the project is roughly 5,300 feet.



**Department:** Electric

**General Plan Consistency:**  
Policy PS-C-1 The City will plan, construct, and maintain facilities to provide adequate electrical service to existing and planned development.  
Policy CD-14 Develop a plan for undergrounding utilities in Healdsburg to enhance the aesthetic character of its downtown and other commercial areas, neighborhoods and entryways.

**Appropriations beyond the 5 year program period are needed to complete the project:** Yes ( ) No ( X )

Capital Improvement Program Detail	Adopted Budget	Estimated Expenditures	2026-27	2027-28	2028-29	2029-30	2030-31	Projected Project Total
<b>Project Costs:</b>	<b>\$ 4,120,000</b>	<b>\$ 4,120,000</b>	\$ -	\$ -	\$ -	\$ -	\$ -	<b>\$ 4,120,000</b>
Planning	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Design	\$ 220,000	\$ 220,000	\$ -	\$ -	\$ -	\$ -	\$ -	<b>\$ 220,000</b>
Construction	\$ 3,900,000	\$ 3,900,000	\$ -	\$ -	\$ -	\$ -	\$ -	<b>\$ 3,900,000</b>
<b>Funding Sources:</b>								
Electric Fund 540	\$ 4,120,000	\$ 4,120,000	\$ -	\$ -	\$ -	\$ -	\$ -	<b>\$ 4,120,000</b>
<b>Total</b>	<b>\$ 4,120,000</b>	<b>\$ 4,120,000</b>	\$ -	\$ -	\$ -	\$ -	\$ -	<b>\$ 4,120,000</b>

City of Healdsburg  
Five Year Capital Improvement Program  
Project Detail

Item 4.a

**Project Name:**  
Public Electric Vehicle Charging Stations

**Project Number:** EL009                      **Project Priority:** Desirable

**Project Description:**  
In support of Healdsburg's goals of reducing GHG emissions, this project would install additional public electric vehicle charging stations at the Abel de Luna Multicultural Community Center.



**Department:** Electric

**General Plan Consistency:**  
Goal NR-E Reduce greenhouse gas emissions and increase energy efficiency communitywide.  
Policy NR-E-1 The City will reduce greenhouse gas emissions produced communitywide.

**Appropriations beyond the 5 year program period are needed to complete the project:** Yes ( ) No (X)

Capital Improvement Program Detail	Adopted Budget	Estimated Expenditures	2026-27	2027-28	2028-29	2029-30	2030-31	Projected Project Total
<b>Project Costs:</b>	\$ -	\$ -	\$ 883,333	\$ -	\$ -	\$ -	\$ -	\$ 883,333
Planning	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Design	\$ -	\$ -	\$ 88,333	\$ -	\$ -	\$ -	\$ -	\$ 88,333
Construction	\$ -	\$ -	\$ 795,000	\$ -	\$ -	\$ -	\$ -	\$ 795,000
<b>Funding Sources:</b>								
Low Cabon Fuel Standards Fund 547	\$ -	\$ -	\$ 883,333	\$ -	\$ -	\$ -	\$ -	\$ 883,333
<b>Total</b>	\$ -	\$ -	\$ 883,333	\$ -	\$ -	\$ -	\$ -	\$ 883,333

City of Healdsburg  
Five Year Capital Improvement Program  
Project Detail

Item 4.a

**Project Name:**  
Install Backtie for South Healdsburg

**Project Number:**  
EL010

**Project Priority:**  
Desirable

**Project Description:**  
Currently the southern portions of Healdsburg are fed by a single overhead river crossing. During planned maintenance or unplanned outages, the southern portion of Healdsburg is without power until the repairs can be made. This project would extend an underground high-voltage mainline feed a distance of 1,800 feet between Memorial bridge and Bailhache Road to construct a redundant looped feed improving system reliability.



**Department:** Electric

**General Plan Consistency:**

- Goal PS-C An adequate level of service in the City's electrical system that meets the needs of the existing and projected development.
- Policy PS-C-1 The City will plan, construct, and maintain facilities to provide adequate electrical service to existing and planned development.

**Appropriations beyond the 5 year program period are needed to complete the project:** Yes ( ) No (X)

Capital Improvement Program Detail	Adopted Budget	Estimated Expenditures	2026-27	2027-28	2028-29	2029-30	2030-31	Projected Project Total
<b>Project Costs:</b>	\$ -	\$ -	\$ 836,000	\$ -	\$ -	\$ -	\$ -	\$ 836,000
Planning	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Design	\$ -	\$ -	\$ 44,000	\$ -	\$ -	\$ -	\$ -	\$ 44,000
Construction	\$ -	\$ -	\$ 792,000	\$ -	\$ -	\$ -	\$ -	\$ 792,000
<b>Funding Sources:</b>								
Electric Fund 540	\$ -	\$ -	\$ 836,000	\$ -	\$ -	\$ -	\$ -	\$ 836,000
<b>Total</b>	\$ -	\$ -	\$ 836,000	\$ -	\$ -	\$ -	\$ -	\$ 836,000

City of Healdsburg  
Five Year Capital Improvement Program  
Project Detail

Item 4.a

**Project Name:**

Reconductor Grove Street North of Dry Creek

**Project Number:**

EL011

**Project Priority:**

Desirable

**Project Description:**

This project would replace roughly 3,000 feet of 1/0 Aluminum wire with 397MCM Aluminum wire to improve system reliability and the City's ability maintain the electric system without power outages. This improvements allows maintenance on the main feeder serving the northern portions of Healdsburg by providing a strong backtie or looped feed. The work would also replace several deteriorated poles.



**Department:** Electric

**General Plan Consistency:**

Goal PS-C An adequate level of service in the City's electrical system that meets the needs of the existing and projected development.

Policy PS-C-1 The City will plan, construct, and maintain facilities to provide adequate electrical service to existing and planned development.

**Appropriations beyond the 5 year program period are needed to complete the project:** Yes ( ) No (X)

Capital Improvement Program Detail	Adopted Budget	Estimated Expenditures	2026-27	2027-28	2028-29	2029-30	2030-31	Projected Project Total
<b>Project Costs:</b>	\$ -	\$ -	\$ 157,850	\$ -	\$ -	\$ -	\$ -	\$ 157,850
Planning	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Design	\$ -	\$ -	\$ 9,350	\$ -	\$ -	\$ -	\$ -	\$ 9,350
Construction	\$ -	\$ -	\$ 148,500	\$ -	\$ -	\$ -	\$ -	\$ 148,500
<b>Funding Sources:</b>								
Electric Fund 540	\$ -	\$ -	\$ 157,850	\$ -	\$ -	\$ -	\$ -	\$ 157,850
<b>Total</b>	\$ -	\$ -	\$ 157,850	\$ -	\$ -	\$ -	\$ -	\$ 157,850

City of Healdsburg  
Five Year Capital Improvement Program  
Project Detail

Item 4.a

**Project Name:**  
Badger Substation Bank Replacement

**Project Number:** EL012                      **Project Priority:** Desirable

**Project Description:**  
The existing power transformers of Badger Substation were manufactured and installed in the late 1970's. Expected life for this style of transformer is 50 years and they are approaching end of life. Engineering and advanced material purchases will be required well ahead of the actual replacement date.



**Department:** Electric

**General Plan Consistency:**  
Goal PS-C An adequate level of service in the City's electrical system that meets the needs of the existing and projected development.  
Policy PS-C-1 The City will plan, construct, and maintain facilities to provide adequate electrical service to existing and planned development.

**Appropriations beyond the 5 year program period are needed to complete the project:** Yes ( ) No ( X )

Capital Improvement Program Detail	Adopted Budget	Estimated Expenditures	2026-27	2027-28	2028-29	2029-30	2030-31	Projected Project Total
<b>Project Costs:</b>	\$ -	\$ -	\$ -	\$ 1,518,825	\$ 14,229,600	\$ -	\$ -	\$ 15,748,425
Planning	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Design	\$ -	\$ -	\$ -	\$ 1,518,825	\$ -	\$ -	\$ -	\$ 1,518,825
Construction	\$ -	\$ -	\$ -	\$ -	\$ 14,229,600	\$ -	\$ -	\$ 14,229,600
<b>Funding Sources:</b>								
Electric Fund 540	\$ -	\$ -	\$ -	\$ 1,518,825	\$ 14,229,600	\$ -	\$ -	\$ 15,748,425
<b>Total</b>	\$ -	\$ -	\$ -	\$ 1,518,825	\$ 14,229,600	\$ -	\$ -	\$ 15,748,425

**Airport Projects - Fund 572**

<b>Project Name</b>	<b>Project #</b>	<b>Adopted Budget</b>	<b>FY 26-27 Budget</b>	<b>FY 27-28 Budget</b>	<b>FY 28-29 Budget</b>	<b>FY 29-30 Budget</b>	<b>FY 30-31 Budget</b>	<b>Total</b>
Airport Runway Pavement Reconstruction	AP004	\$ 204,000	\$ 2,906,000	\$ -	\$ -	\$ -	\$ -	\$ 3,110,000
Airport Taxiways A (East) and A1 Pavement Rehabilitation	AP005	\$ 716,641	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 716,641
Airport Hangar Re-Roof and Replacement of Existing Light Transmitting Panels	AP007	\$ 95,000	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 95,000
Airport Taxiways Reconfiguration Phase 2	AP008	\$ -	\$ -	\$ 767,500	\$ -	\$ -	\$ -	\$ 767,500
Reconstruct North Apron	TBD	\$ -	\$ -	\$ -	\$ -	\$ 107,000	\$ -	\$ 107,000
		<b>\$ 1,015,641</b>	<b>\$ 2,906,000</b>	<b>\$ 767,500</b>	<b>\$ -</b>	<b>\$ 107,000</b>	<b>\$ -</b>	<b>\$ 4,796,141</b>

<b>Project Name</b>	<b>Project #</b>	<b>FY 26-27</b>				<b>FY 27-28</b>			
		<b>Airport Fund 570</b>	<b>CalTrans Grant</b>	<b>FAA Grants</b>	<b>Total</b>	<b>Airport Fund 570</b>	<b>CalTrans Grant</b>	<b>FAA Grants</b>	<b>Total</b>
Airport Runway Pavement Reconstruction	AP004	\$ 167,294	\$ 123,306	\$ 2,615,400	\$ 2,906,000	\$ -	\$ -	\$ -	\$ -
Airport Taxiways Reconfiguration Phase 2	AP008	\$ -	\$ -	\$ -	\$ -	\$ 42,212	\$ 34,538	\$ 690,750	\$ 767,500
		<b>\$ 167,294</b>	<b>\$ 123,306</b>	<b>\$ 2,615,400</b>	<b>\$ 2,906,000</b>	<b>\$ 42,212</b>	<b>\$ 34,538</b>	<b>\$ 690,750</b>	<b>\$ 767,500</b>

City of Healdsburg  
Five Year Capital Improvement Program  
Project Detail

Item 4.a

**Project Name:**  
Airport Runway Pavement Reconstruction

**Project Number:** AP004  
**Project Priority:** Necessary

**Project Description:**  
This project will reconstruct the runway pavement.



**Department:** Public Works

**General Plan Consistency:**  
Goal T-F Continued maintenance of the Healdsburg Municipal Airport.  
Policy T-F-3 The policies and capital improvement projects contained in the Airport Master Plan shall be pursued as funding allows.

**Appropriations beyond the 5 year program period are needed to complete the project:** Yes ( ) No (X)

Capital Improvement Program Detail	Adopted Budget	Estimated Expenditures	2026-27	2027-28	2028-29	2029-30	2030-31	Projected Project Total
<b>Project Costs:</b>	<b>\$ 204,000</b>	<b>\$ 204,000</b>	<b>\$ 2,906,000</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ 3,110,000</b>
Planning	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Design	\$ 204,000	\$ 204,000	\$ 46,000	\$ -	\$ -	\$ -	\$ -	\$ 250,000
Construction	\$ -	\$ -	\$ 2,860,000	\$ -	\$ -	\$ -	\$ -	\$ 2,860,000
<b>Funding Sources:</b>								
Airport Fund 570	\$ 11,220	\$ 11,220	\$ 167,294	\$ -	\$ -	\$ -	\$ -	\$ 178,514
Caltrans Grant	\$ 9,180	\$ 9,180	\$ 123,306	\$ -	\$ -	\$ -	\$ -	\$ 132,486
FAA AIP Grant	\$ 183,600	\$ 183,600	\$ 2,466,113	\$ -	\$ -	\$ -	\$ -	\$ 2,649,713
FAA AIG Grant	\$ -	\$ -	\$ 149,287	\$ -	\$ -	\$ -	\$ -	\$ 149,287
<b>Total</b>	<b>\$ 204,000</b>	<b>\$ 204,000</b>	<b>\$ 2,906,000</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ 3,110,000</b>

City of Healdsburg  
Five Year Capital Improvement Program  
Project Detail

Item 4.a

**Project Name:**  
Airport Taxiways A (East) and A1 Pavement Rehabilitation

**Project Number:** AP005                      **Project Priority:** Necessary

**Project Description:**  
This project will rehabilitate the failing taxiway pavement.



**Department:** Public Works

**General Plan Consistency:**  
Goal T-F Continued maintenance of the Healdsburg Municipal Airport.  
Policy T-F-3 The policies and capital improvement projects contained in the Airport Master Plan shall be pursued as funding allows.

**Appropriations beyond the 5 year program period are needed to complete the project:** Yes ( ) No (X)

Capital Improvement Program Detail	Adopted Budget	Estimated Expenditures	2026-27	2027-28	2028-29	2029-30	2030-31	Projected Project Total
<b>Project Costs:</b>	\$ 716,641	\$ 716,641	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 716,641
Planning	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Design	\$ 62,000	\$ 62,000	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 62,000
Construction	\$ 654,641	\$ 654,641	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 654,641
<b>Funding Sources:</b>								
Airport Fund 570	\$ 80,088	\$ 80,088	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 80,088
Caltrans Grant	\$ 3,040	\$ 3,040	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 3,040
FAA AIP Grant	\$ 633,513	\$ 633,513	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 633,513
FAA Grant	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
<b>Total</b>	<b>\$ 716,641</b>	<b>\$ 716,641</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ 716,641</b>

City of Healdsburg  
Five Year Capital Improvement Program  
Project Detail

Item 4.a

**Project Name:**

Airport Hangar Re-Roof and Replacement of Existing Light Transmitting Panels

**Project Number:**

AP007

**Project Priority:**

Necessary

**Project Description:**

This project is the removal and replacement of the existing metal roof system on Hangar 610 and replacement of existing flat inlay light transmitting panels on the Administration/Lobby Building 1 and Hangars 203, 303, 801, 804, and 806.



**Department:** Public Works

**General Plan Consistency:**

Goal T-F Continued maintenance of the Healdsburg Municipal Airport.

Policy T-F-3 The policies and capital improvement projects contained in the Airport Master Plan shall be pursued as funding allows.

**Appropriations beyond the 5 year program period are needed to complete the project:** Yes ( ) No (X)

Capital Improvement Program Detail	Adopted Budget	Estimated Expenditures	2026-27	2027-28	2028-29	2029-30	2030-31	Projected Project Total
<b>Project Costs:</b>	<b>\$ 95,000</b>	<b>\$ 95,000</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ 95,000</b>
Planning	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Design	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Construction	\$ 95,000	\$ 95,000	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 95,000
<b>Funding Sources:</b>								
Airport Fund 570	\$ 95,000	\$ 95,000	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 95,000
<b>Total</b>	<b>\$ 95,000</b>	<b>\$ 95,000</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ 95,000</b>

**City of Healdsburg  
Five Year Capital Improvement Program  
Project Detail**

**Item 4.a**

**Project Name:**

Airport Taxiways Reconfiguration Phase 2

**Project Number:**

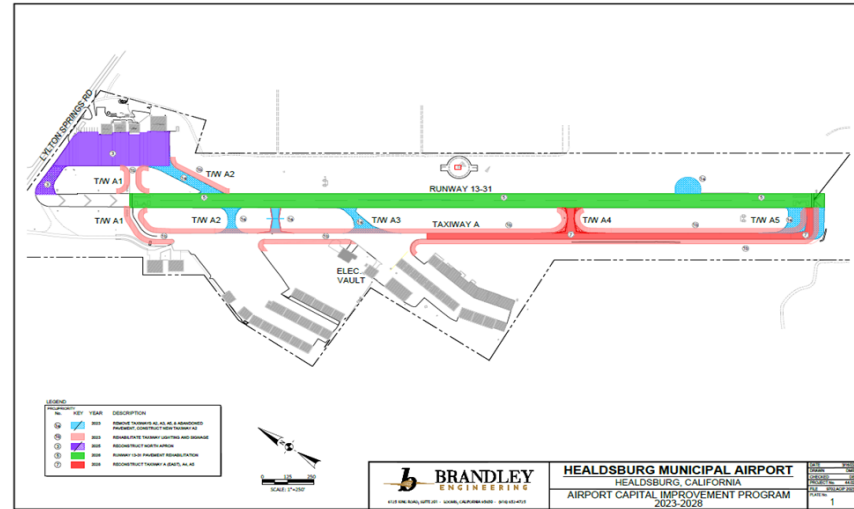
AP008

**Project Priority:**

Necessary

**Project Description:**

This project will remove Taxiway A3 and construct a new Taxiway A3 to be in conformance with current FAA standards. Additionally, upgrades to taxiway signage and lighting will be made.



**Department:** Public Works

**General Plan Consistency:**

Goal T-F Continued maintenance of the Healdsburg Municipal Airport.

Policy T-F-3 The policies and capital improvement projects contained in the Airport Master Plan shall be pursued as funding allows.

**Appropriations beyond the 5 year program period are needed to complete the project:** Yes ( ) No (X)

Capital Improvement Program Detail	Adopted Budget	Estimated Expenditures	2026-27	2027-28	2028-29	2029-30	2030-31	Projected Project Total
			<b>Project Costs:</b>	\$ -	\$ -	\$ -	\$ 767,500	\$ -
Planning	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Design	\$ -	\$ -	\$ -	\$ 135,000	\$ -	\$ -	\$ -	\$ 135,000
Construction	\$ -	\$ -	\$ -	\$ 632,500	\$ -	\$ -	\$ -	\$ 632,500
<b>Funding Sources:</b>								
Airport Fund 570	\$ -	\$ -	\$ -	\$ 42,212	\$ -	\$ -	\$ -	\$ 42,212
Caltrans Grant	\$ -	\$ -	\$ -	\$ 34,538	\$ -	\$ -	\$ -	\$ 34,538
FAA Grant AIP	\$ -	\$ -	\$ -	\$ 690,750	\$ -	\$ -	\$ -	\$ 690,750
<b>Total</b>	\$ -	\$ -	\$ -	\$ 767,500	\$ -	\$ -	\$ -	\$ 767,500

City of Healdsburg  
Five Year Capital Improvement Program  
Project Detail

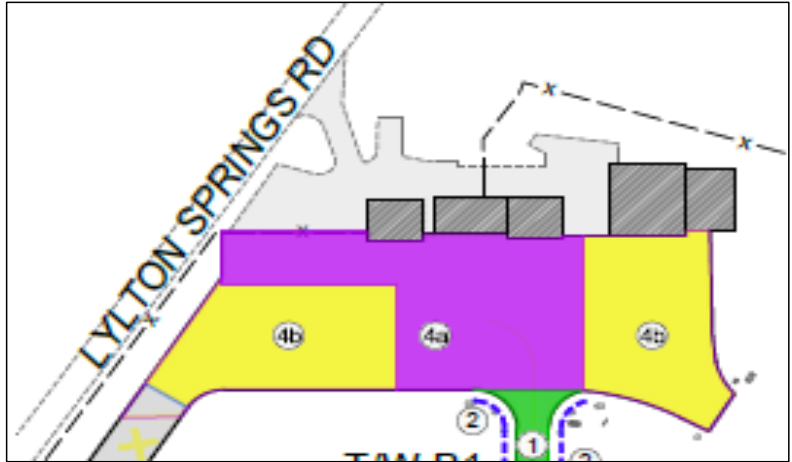
Item 4.a

**Project Name:**  
Reconstruct North Apron

**Project Number:**  
TBD

**Project Priority:**  
Necessary

**Project Description:**  
Reconstruction of the North Apron.



**Department:** Public Works

**General Plan Consistency:**

Goal T-F Continued maintenance of the Healdsburg Municipal Airport.

Policy T-F-3 The policies and capital improvement projects contained in the Airport Master Plan shall be pursued as funding allows.

**Appropriations beyond the 5 year program period are needed to complete the project:** Yes ( X ) No ( )

Capital Improvement Program Detail	Adopted Budget	Estimated Expenditures	2026-27	2027-28	2028-29	2029-30	2030-31	Projected Project Total
<b>Project Costs:</b>	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 107,000	\$ -	\$ 107,000
Planning	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Design	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 107,000	\$ -	\$ 107,000
Construction	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
<b>Funding Sources:</b>								
Airport Fund 570	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 5,885	\$ -	\$ 5,885
Caltrans Grant	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 4,815	\$ -	\$ 4,815
FAA Grant AIP	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 96,300	\$ -	\$ 96,300
<b>Total</b>	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 107,000	\$ -	\$ 107,000

**Community Services Projects - Fund 582**

<b>Project Name</b>	<b>Project #</b>	<b>Adopted Budget</b>	<b>FY 26-27 Budget</b>	<b>FY 27-28 Budget</b>	<b>FY 28-29 Budget</b>	<b>FY 29-30 Budget</b>	<b>FY 30-31 Budget</b>	<b>Total</b>
Badger Park Redevelopment	CS002	\$ 2,300,000	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 2,300,000
Saggio Hills Park Development	CS003	\$ 7,676,355	\$ 409,894	\$ -	\$ -	\$ -	\$ -	\$ 8,086,249
Community Center Resilience Hub Improvements	CS006	\$ 500,000	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 500,000
Villa Chanticleer Modernization	CS007	\$ 1,500,000	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,500,000
		<b>\$ 11,976,355</b>	<b>\$ 409,894</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ 3,760,146</b>	<b>\$ 12,386,249</b>

<b>Project Name</b>	<b>Project #</b>	<b>FY 26-27</b>		<b>FY 27-28</b>	
		<b>Pass-Through State Grant</b>	<b>Total</b>	<b>Pass-Through State Grant</b>	<b>Total</b>
Saggio Hills Park Development	CS003	\$ 409,894	\$ 409,894	\$ -	\$ -
		<b>\$ 409,894</b>	<b>\$ 409,894</b>	<b>\$ -</b>	<b>\$ -</b>

**City of Healdsburg  
Five Year Capital Improvement Program  
Project Detail**

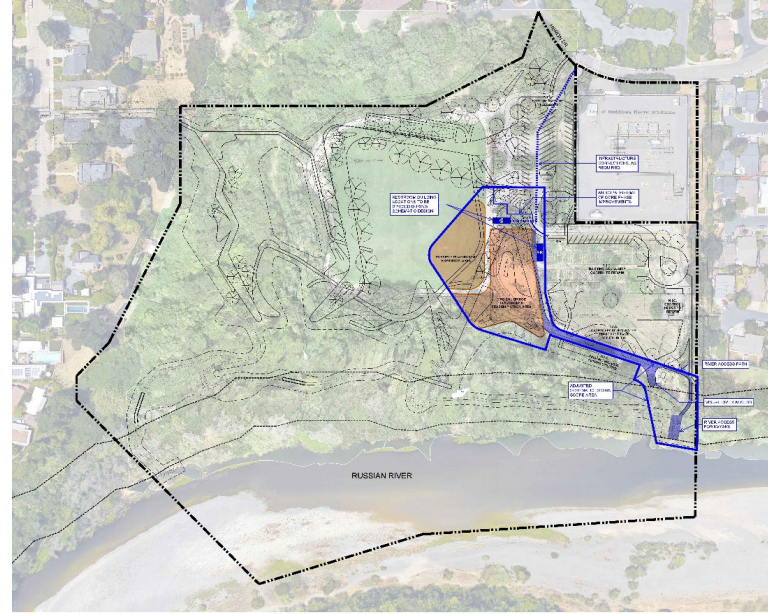
**Item 4.a**

**Project Name:**  
Badger Park Redevelopment

**Project Number:**  
CS002

**Project Priority:**  
Desirable

**Project Description:**  
Phase 1 of the master plan redevelops, renovates, and creates river access opportunities to Badger Park. Phase 1 work includes:  
- Restrooms  
- Pathways  
- River access improvements



**BADGER PARK - PHASE I  
EXHIBIT A - SCOPE (UPDATED)  
Master Plan Overlay with Existing Conditions**

**Department:** Community Services

**General Plan Consistency:**  
Guiding Principal 6.B. Maximize opportunities for active and passive recreation.

**Appropriations beyond the 5 year program period are needed to complete the project:** Yes ( ) No (X)

Capital Improvement Program Detail	Adopted Budget	Estimated Expenditures	2026-27	2027-28	2028-29	2029-30	2030-31	Projected Project Total
<b>Project Costs:</b>	<b>\$ 2,300,000</b>	<b>\$ 2,300,000</b>	\$ -	\$ -	\$ -	\$ -	\$ -	<b>\$ 2,300,000</b>
Planning	\$ 527,500	\$ 133,544	\$ -	\$ -	\$ -	\$ -	\$ -	<b>\$ 527,500</b>
Design	\$ 590,000	\$ 561,373	\$ -	\$ -	\$ -	\$ -	\$ -	<b>\$ 590,000</b>
Construction	\$ 1,182,500	\$ 1,605,083	\$ -	\$ -	\$ -	\$ -	\$ -	<b>\$ 1,182,500</b>
<b>Funding Sources:</b>								
Open Space Grant	\$ 1,000,000	\$ 1,000,000	\$ -	\$ -	\$ -	\$ -	\$ -	<b>\$ 1,000,000</b>
Measure M Parks Fund 581	\$ 494,000	\$ 494,000	\$ -	\$ -	\$ -	\$ -	\$ -	<b>\$ 494,000</b>
Park Dedication Fund 583	\$ 506,000	\$ 506,000	\$ -	\$ -	\$ -	\$ -	\$ -	<b>\$ 506,000</b>
Park Impact Fees Fund 985	\$ 300,000	\$ 300,000	\$ -	\$ -	\$ -	\$ -	\$ -	<b>\$ 300,000</b>
<b>Total</b>	<b>\$ 2,300,000</b>	<b>\$ 2,300,000</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ 2,300,000</b>

**City of Healdsburg  
Five Year Capital Improvement Program  
Project Detail**

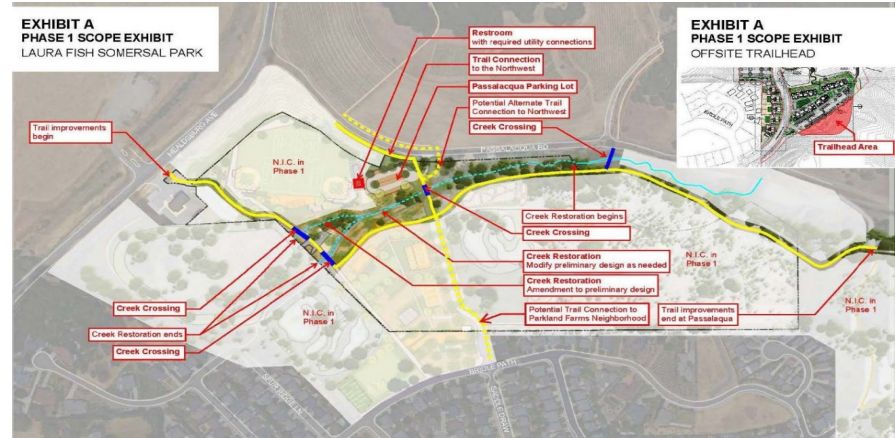
**Item 4.a**

**Project Name:**  
Saggio Hills Park Development

**Project Number:**  
CS003

**Project Priority:**  
Mandate

**Project Description:**  
Plan, design, and construct a first phase of Laura Fish Somersal Park, a 38-acre site associated with the Montage Resort development. Phase 1 will feature a multi-use trail, parking, a gathering area, and potentially a restroom.



**Department:** Community Services

**General Plan Consistency:**  
Guiding Principal 6.B. Maximize opportunities for active and passive recreation.

**Appropriations beyond the 5 year program period are needed to complete the project:** Yes ( ) No (X)

Capital Improvement Program Detail	Adopted Budget	Estimated Expenditures	2026-27	2027-28	2028-29	2029-30	2030-31	Projected Project Total
<b>Project Costs:</b>	<b>\$ 7,676,355</b>	<b>\$ 7,676,355</b>	<b>\$ 409,894</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ 8,086,249</b>
Planning	\$ 61,980	\$ 61,980	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 61,980
Design	\$ 1,000,000	\$ 1,197,353	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,000,000
Construction	\$ 6,614,375	\$ 6,417,022	\$ 409,894	\$ -	\$ -	\$ -	\$ -	\$ 7,024,269
<b>Funding Sources:</b>								
Open Space Grant	\$ 1,000,000	\$ 1,000,000	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,000,000
Creek Restoration Contribution	\$ 578,739	\$ 578,739	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 578,739
Park Restoration Contribution	\$ 2,650,183	\$ 2,650,183	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 2,650,183
Multi-use Trail Contribution	\$ 3,422,233	\$ 3,422,233	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 3,422,233
Crosswalk Contribution	\$ 25,200	\$ 25,200	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 25,200
Pass-Through State Grant	\$ -	\$ -	\$ 409,894	\$ -	\$ -	\$ -	\$ -	\$ 409,894
<b>Total</b>	<b>\$ 7,676,355</b>	<b>\$ 7,676,355</b>	<b>\$ 409,894</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ 8,086,249</b>

City of Healdsburg  
Five Year Capital Improvement Program  
Project Detail

Item 4.a

**Project Name:**

Community Center Resilience Hub Improvements

**Project Number:**

CS006

**Project Priority:**

**Project Description:**

This project includes (1) cost estimating for the design and programming concepts outlined in the Healdsburg Multicultural Center plan/report, and (2) design and implementation of Tier 1 of the plan which includes painting the building in vibrant colors, wayfinding signage, and ADA improvements



**Department:** Community Services

**General Plan Consistency:**

Guiding Principal 6.B. Maximize opportunities for active and passive recreation.

**Appropriations beyond the 5 year program period are needed to complete the project:** Yes ( ) No (X)

Capital Improvement Program Detail	Adopted Budget	Estimated Expenditures	2026-27	2027-28	2028-29	2029-30	2030-31	Projected Project Total
<b>Project Costs:</b>	<b>\$ 500,000</b>	<b>\$ 500,000</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ 500,000</b>
Planning	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Design	\$ 3,000	\$ 87,270	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 3,000
Construction	\$ 497,000	\$ 412,730	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 497,000
<b>Funding Sources:</b>								
Sonoma County Grant Funding	\$ 500,000	\$ 500,000	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 500,000
<b>Total</b>	<b>\$ 500,000</b>	<b>\$ 500,000</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ 500,000</b>

City of Healdsburg  
Five Year Capital Improvement Program  
Project Detail

Item 4.a

**Project Name:**  
Villa Chanticleer Modernization

**Project Number:** CS007                      **Project Priority:**

**Project Description:**  
Villa Chanticleer is an historic property in need of major reinvestment due to its age. This project includes design and construction of kitchen and bar improvements, ADA access compliance at building entrance, HVAC improvements, and fire sprinkler repairs.



**Department:** Community Services

**General Plan Consistency:**  
Guiding Principal 6.D. Respect the City's past and its roots.

**Appropriations beyond the 5 year program period are needed to complete the project:** Yes ( )    No ( X )

Capital Improvement Program Detail	Adopted Budget	Estimated Expenditures	2026-27	2027-28	2028-29	2029-30	2030-31	Projected Project Total
<b>Project Costs:</b>	<b>\$ 1,500,000</b>	<b>\$ 1,500,000</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ 1,500,000</b>
Planning	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Design	\$ 275,000	\$ 275,000	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 275,000
Construction	\$ 1,225,000	\$ 1,225,000	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,225,000
<b>Funding Sources:</b>								
CA Natural Resource Agency Grant	\$ 1,500,000	\$ 1,500,000	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,500,000
<b>Total</b>	<b>\$ 1,500,000</b>	<b>\$ 1,500,000</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ 1,500,000</b>



**CITY OF HEALDSBURG  
PLANNING COMMISSION  
AGENDA STAFF REPORT**

**MEETING DATE:** May 12, 2026

**SUBJECT:** Major Design Review Application for a new single-family residence and ADU located at 712 Johnson Street in the Johnson Street Historic District

**PREPARED BY:** Jeff fisher, Assistant Planner

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**RECOMMENDED ACTION(S):**

It is recommended that the Planning Commission / Historic Committee adopt a resolution approving Major Design Review Application DR-0002-2026 for a new single-family residence and ADU located at 712 Johnson Street based on the suggested findings included in this report and subject to the attached recommended conditions of approval.

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**PROJECT DESCRIPTION:**

The project includes the demolition of an existing single-family dwelling and the construction of a new 2-story residence and ADU. The project details are as follows:

- Demolition of existing single-family residence
- Construct new 2,024 square-foot 2-story residence and 250 square-foot 1-car garage
- 843 square-foot attached 2-story ADU
- Smooth stucco primary siding material – Ivory White
- Stone veneer accents
- Natural wood siding (ADU)
- Standing seam metal roofing – Burnished slate
- Wood barge board with metal edge trim
- Natural wood entry and garage door and porch columns
- Clad wood windows – Dark bronze
- Contemporary lantern style lighting fixtures
- Natural landscaping

**SITE & VICINITY DESCRIPTION**

The 6,527 square-foot project site is located within the Johnson Street Historical Overlay District on the east side of Johnson Street, mid-block between Sherman and Lincoln Streets. The lot is one of the narrowest lots on the block at approximately 42-feet with a depth of 152-feet. The site is surrounded by single-family residential homes. This area is characterized by one and two-story homes, mostly built in the late 19<sup>th</sup> and early 20<sup>th</sup> century, with a few recently built homes. Many of the homes in the neighborhood are classic styles such as Queen Anne, Craftsman, Italianate, Farmhouse, among others. The newly built homes are contemporary farmhouse style. The site is

currently developed with a residence originally built circa 1953. The house on the site will be removed prior to construction of the new home.

## **BACKGROUND**

In February of 2026, an historical resource evaluation (HRE) of the property was prepared by APD Preservation, a qualified historical consulting firm, to determine if the existing house retained any architectural significance or could be considered an historic resource. The assessment (on file with the Planning Department) concluded that the property is not considered a significant historic resource eligible for local registry or for the California Register of Historic Resources based on the statutes of CEQA. Therefore, pursuant to LUC Section 20.24.200(B)(4), an historical demolition permit will not be required to remove the structures on the property. A standard city-issued demolition permit will be required, however.

## **REVIEW PROCESS**

### *Design Review*

Pursuant to LUC Section 20.12.065, any construction of buildings and structures within the HD Overlay area, including accessory structures over 400 square feet in floor area, will require review by the Historic Committee, which is represented by the Planning Commission. The Planning Commission's responsibility, acting as the Historic Committee, is to ensure that all designs for any construction within the overlay area shall be in harmony with the general architectural characteristics of the area, including window and doors and associated trim, use of exterior building materials, roof types and profiles and general size and massing of the buildings.

## **APPLICABLE GENERAL PLAN AND LAND USE CODE INFORMATION**

**General Plan:** The subject site is designated Medium Density Residential (MR) in the Land Use Plan of the Healdsburg 2030 General Plan. The MR designation is intended for single-family residential uses. The proposed single-family residential use is considered consistent with this designation. The General Plan contains guiding principles, goals, and policies included in the Community Design and Historic and Cultural Resources elements, which would be applicable to the proposed project. These include the following:

**Guiding Principle 1.D:** Respect the City's past and its roots.

**Guiding Principle 1.E:** Protect neighborhood character.

**Goal CD-A:** Preservation and enhancement of the most desirable qualities of Healdsburg's built environment.

**Policy CD-A-10:** The integrity of distinct and identifiable neighborhoods and districts shall be preserved and strengthened.

**Policy CD-A-1:** The City will encourage building design of high quality that is in scale with adjacent development and that harmonizes with surrounding development.

**Policy CD-A-5:** City project approvals and other actions relating to physical development shall be consistent with design guidelines set forth in the

Citywide Design Guidelines, in addition to General Plan policies, the Zoning Ordinance and any specific plan design guidelines.

- Goal HCR-A:** Preservation and enhancement of Healdsburg’s historical heritage.
- Policy HCR-A-1:** The City will promote the protection and enhancement of Healdsburg’s historically significant districts, buildings and landscape features.
- Policy HCR-A-3:** The City will support the efforts of property owners to preserve and renovate historically significant structures.

The proposed development is consistent with the goal and policies noted above in that the proposed project will result in a high-quality design in scale with adjacent development consistent with the Citywide Design Guidelines. The project respects the character of the Johnson Street Historic District through a comprehensive architecture and site design. The building design, materials and color palate will be complimentary to the existing neighborhood as discussed below.

**Land Use Code**

Consistent with the General Plan Land Use designation, the site is zoned R1-6,000/HD. This zoning district contains specific development standards pertaining to allowed uses, site coverage, setbacks, and height (§20.08.075). Additionally, Chapter 20.16 of the Land Use Code (LUC) contains further requirements regarding yards, accessory structures, landscaping and parking. As proposed, the project complies with all of the requirements set forth in the Land Use Code.

Historic District Overlay: The purpose of the Historic District (HD) Overlay is to preserve, maintain and enhance the historic integrity of designated areas within the City that are of historic significance or contain significant historic structures. The Historic District Overlay provides a process for review of proposed alterations and/or new construction within the District. It also encourages public and private enhancement of historic districts through placement of compatible street furnishings, restorations of privately owned buildings and public landmarks.

The proposed project plans have been reviewed against the R-1-6,000/HD Development Standards and the project has been found to be consistent with the site coverage, setbacks, height, and parking requirements as noted in Table 1. A discussion of each of these elements is provided in the following sections of this report.

<b>Table 1</b>			
<b>Land Use Code Development Standards</b>			
	<b>Required</b>	<b>Proposed</b>	<b>Conforms/Notes</b>
<b>Max Site Coverage</b>	35%	34%	Yes.
<b>Minimum Setbacks</b>			
Front Setback (porch)	15’	20’	Yes.
Front Setback (front wall of house)	20’	25’	Yes.

Side Setback 1 <sup>st</sup> story (North Property Line)	5'	5'	Yes.
Side Setback 2nd story (North Property Line)	10'	11'	Yes.
Side Setback 1 <sup>st</sup> story (South Property Line)	5'	6'3"	Yes.
Side Setback 2nd story (South Property Line)	10'	12'	Yes.
Rear Setback (East Property Line)	20'	50'	Yes.
ADU side setback (North Property Line)	4'	4'	Yes.
ADU side setback (South Property Line)	4'	24'	Yes.
ADU rear setback	4'	19'2"	Yes.
<b>Max Height (primary)</b>	35'	24'11" grade to ridge	Yes.
<b>ADU</b>	25'	22'4" grade to ridge	
<b>Parking Spaces</b>	1 covered, 1 uncovered	1 covered, 1 uncovered	Yes.

Site Coverage: The single-family zoning districts manage development on the site by limiting the amount of building coverage (site coverage) on a lot. The maximum for R-1-6,000/HD is 35% of the lot size. The subject site is 6,527 square feet and the proposed square footage for the first floor and garage total 2,274 square feet. This results in a site coverage calculation of 34% for the proposed project, which complies with the allowed maximum. ADU's under 850 square-feet and pools are not included in the site coverage calculation

Setbacks: As noted in Table 1 above, the proposed setbacks for the home, garage and ADU comply with the front, interior side and rear setback requirements.

Height: The maximum allowed height is 35 feet for the single-family districts. The proposed building height is 24'11" to the ridge of the roof for the primary dwelling. The height to the ridge of the ADU is 22'4". These are well below the maximum allowed and therefore complies with this requirement.

Parking: Single-family homes are required to provide two on-site parking spaces, one covered and one uncovered. The proposed new garage would accommodate one covered parking space, and the driveway will accommodate the uncovered parking space.

## DISCUSSION/ANALYSIS

The project site is located within Character Area 1 as designated by the Citywide Design Guidelines. The site is also located in the Johnson Street Historic District. The following discussion and analysis evaluate the project's consistency with the applicable sections of the Citywide Design Guidelines, specifically Chapter 4 (Character Areas), Chapter 5 (Single Family Residential), and Chapter 8 (Historic Districts). The design guidelines are included in the tables below with staff's analysis following each table.

<b>Table 2</b> <b>Chapter 4 (Character Area 1) – Key Site Design Elements</b>	
<i>Building Placement</i>	<i>Place a building within the established range of front setbacks on a block within the provisions of the zoning standards.</i>
<i>Side Setbacks</i>	<i>Provide side setbacks in the range of those seen on a block, within the provisions of the zoning standards.</i>
<i>Orientation</i>	<i>Ensure that all buildings are oriented to face the street.</i>
<i>Garage Placement</i>	<i>Place the garage behind the rear wall of the primary structure wherever feasible.</i>
<i>Front Yard Fences</i>	<i>Front yard fences should be low in scale and allow visual permeability</i>
<i>Entry Connection</i>	<i>Provide a directly connected pedestrian pathway from a building entry to the sidewalk through the front yard.</i>

Character Area 1 contains a discussion on key building design elements which are found within the area and contribute to its context. The design elements noted above apply to all projects in Character Area 1 and have been addressed in the project design as follows:

- **Building Placement:** The front porch of the house is setback 20-feet from the front property line. The front wall of the house is located an additional 5-feet back at 25-feet . This front yard setback exceeds the 20-foot front yard setback standard of the Land Use Code and is consistent with the setbacks of many other homes in the neighborhood. The increased setback will reduce the perceived massing and scale of the proposed house. The plan set (Attachment 3) includes a diagram which demonstrates setback consistency with the neighboring properties (see Sheet DR1.2).
- **Side Setbacks:** The north side yard setback will be 5-feet; and the south side will be 6'3", for the 1<sup>st</sup> story. The 2<sup>nd</sup> story setbacks are 11' for the north side, and 12' for the south side. These setbacks are consistent with the LUC standard and consistent with other homes in the area.
- **Orientation:** The house and garage are completely oriented towards Johnson Street consistent with most other homes in the neighborhood.
- **Garage Placement:** The garage will be located on the north side of the property, approximately 32-feet from the front property line and approximately 13-feet beyond the front wall of the house. The garage is not placed behind the rear wall of the house due to

certain property constraints. The lot width of 42-feet is one of the narrowest lots on the street, which restricts garage placement and the ultimate design of the house. Also, there is a 10-foot wide utility easement for power lines located 3-feet west of the rear property line. This reduces the length of the lot and the developable area by approximately 13-feet at the rear of the site. This restricts the location of the ADU, which could have been moved further to the rear if the easement was not there. The location of the ADU, the lot width, and the easement all contribute to the necessity for the proposed garage placement closer to the street. That being said, the garage will be a small one-car garage, modest in size and massing, and setback well beyond the front setback line and the front porch of the house. The garage design will not detract from the prominence of the front façade of the house itself. There are other homes on this block of the street with garages located in similar positions.

- Front Yard Fences: There will be a small 3-foot-high wood rail fence at the front of the property anchored by small stone columns consistent with the LUC fencing standards.
- Entry Connection: The plan includes a curved stone walkway from the sidewalk leading directly to the front porch and entry.

**Staff Finding: Consistent with guidelines**

<b>Table 3 Chapter 4 (Character Area 1) – Key Building Design Elements</b>	
<i>Front Façade Composition</i>	<i>Design a front façade to maximize transparency with a low solid-to-void ratio in keeping with the degree of fenestration typical of traditional buildings in Character Area 1.</i>
<i>Front Porches</i>	<i>Provide a front porch at a one-story scale on the front wall of a building.</i>
<i>Roof Form</i>	<i>Design a roof to be moderately pitched in keeping with the roof forms seen in Character Area 1. Gabled or hipped roof forms are appropriate.</i>
<i>Materials</i>	<i>Use a primary material for a building that is compatible with the wood siding and authentic stucco typically found in Character Area 1.</i>
<i>Scale</i>	<i>Design a building to be in harmony with the predominant character of one- and two-story homes.</i>
<i>Massing</i>	<i>Consider locating the majority of a building’s mass to the center and rear of the structure as opposed to the front of the building.</i>

Character Area 1 contains a discussion on key building design elements which are found within the area and contribute to its context. The design elements noted above apply to all projects in Character Area 1 and have been addressed in the project design as follows:

- Front Façade Composition: The façade design includes a traditional front entry including a large covered porch with columns and stonework. The façade is articulated with three large windows, a large wood door, and attractive lighting fixtures. The design also includes varying roof styles and roof lines which reduce the perceived massing of the house. These numerous articulation elements provide visual interest when viewed from the public realm. The façade design is very traditional and consistent with most other homes in the neighborhood and within the historic district.
- Front Porches: The home includes a large clearly defined porch facing Johnson Street. As noted above, the design of the front porch resembles a traditional front entry, including stonework and wood columns, large windows, a large wood door, and decorative lighting. The porch provides a welcoming presence as viewed from the public realm.
- Roof Form: The project includes traditional gabled roof forms commonly seen in the neighborhood and the historic district. The varying forms and roof lines create visual interest and façade articulation. The burnished slate metal roofs provide a pleasant contrast to the lighter stucco finish of the house.
- Materials: The primary façade material is a traditional ivory white smooth stucco. Accent materials include warm natural wood front and garage doors and columns, stone veneer, bronze-colored clad windows, and contemporary, yet traditional lantern style lighting fixtures. The ADU includes traditional wood vertical siding providing a mild contrast to the stucco of the primary dwelling. Each of these materials are common to other homes in Character Area 1. The gabled standing seam metal roof provides a fire-resistant material.
- Scale: The house is a relatively low height with a maximum height of 24'11" (grade to roof peak), well below the maximum allowable height of 35-feet. This peak height is only seen on the small 2<sup>nd</sup> story portion of the house which is located at the very rear of the house, approximately 40-feet to the rear of the porch. The rear location of this portion minimizes the visual prominence of the 2<sup>nd</sup> story. The majority of the house, which encompasses the front 40-feet of the house is single-story with a maximum height of approximately 21-feet. The ADU at the back of the property has a maximum height of 22-feet. The modest height and increased front yard setback will reduce the perceived massing when viewed from the street. This block of Johnson Street contains a mix of one and two-story houses. The proposed design will be consistent with the neighboring homes with regard to scale. The plan set includes a diagram which illustrates the scale of the house compared with numerous other homes in the vicinity (Sheet DR1.1). As demonstrated on that plan, the proposed house is consistent in scale and height as each of the other houses identified. Also, being that the lot is particularly narrow, the width of the house is also consistent with the other houses in the neighborhood.
- Massing: The home is designed to mitigate any significant massing issues. As noted above, the small 2<sup>nd</sup> story portion which is located at the rear of the house, is approximately 40-feet from the front porch. The rear location of this portion minimizes

the visual prominence of the 2<sup>nd</sup> story. The majority of the house, which encompasses the front 40-feet of the house is single-story with a maximum height of approximately 21-feet. There are numerous design elements which reduce the perceived massing including varied roof slopes and roof lines, varied materials and colors, large windows of varying styles, and a small recessed garage. As seen in the diagram noted above, the height and width is consistent with most of the other homes in the vicinity.

**Staff Finding: Consistent with guidelines**

<b>Table 4 – Chapter 5 Design Guidelines for Single-Family and Small-Scale Multi-Family Residential Development</b>	
<b><i>Site Design</i></b>	
<i>Building Setback and Placement</i>	<i>Addressed in Table 2 discussion</i>
<i>Pedestrian Connections</i>	<i>Addressed in Table 2 discussion</i>
<i>Building Orientation</i>	<i>Addressed in Table 2 discussion</i>
<i>Accessory Dwelling Unit (ADU) Placement</i>	<i>Design an ADU to be subordinate to the primary structure and respect the privacy of neighboring properties.</i>
<i>Driveways and Access</i>	<i>The visual and physical impacts of cars should be minimized.</i>
<i>Front Yard Design</i>	<p><i>5.15 Maintain a landscaped front yard.</i></p> <ul style="list-style-type: none"> <li><i>a. Creative solutions that maintain a sense of traditional yards are encouraged.</i></li> <li><i>b. Maintain visibility from the street to the house.</i></li> <li><i>c. Utilize landscaping materials that minimize the need for irrigation.</i></li> </ul> <p><i>5.16 Minimize the amount of hard surface.</i></p> <ul style="list-style-type: none"> <li><i>a. Use plant materials to the extent feasible.</i></li> <li><i>b. Use porous paving materials that retain water on site.</i></li> </ul>
<i>Fences and Walls</i>	<i>Addressed in Table 2 discussion</i>
<i>Site Lighting</i>	<i>Lighting should be designed to minimize light pollution.</i>

Chapter 5 contains more specific guidelines pertaining to small scale residential development including single-family and small-scale infill residential development. Many of the guidelines have been addressed in previous sections and have been noted in the list of *Site Design* related guidelines above. Specific guidelines noted above are those that apply to the project and were not addressed previously. These include the following:

- ADU:** The 2-story ADU is located at the very rear of the house with only a small portion of the roof visible from the street, therefore subordinate to the primary dwelling. The City has adopted the State of California ADU regulations to facilitate the construction of ADU’s to increase the housing and rental inventory. These regulations have been adopted into the City’s Land Use Code. Pursuant to these regulations, 2-story ADU’s may be constructed to a maximum height of 25-feet with 4-foot side and rear yard setbacks. The proposed ADU has a maximum height of 22-feet measured to the peak of the roof. The LUC also includes design standards to respect the privacy of neighboring properties. ADU’s within 10-feet of property lines are required to have clerestory or obscured windows on the 2<sup>nd</sup> story; and 2<sup>nd</sup> story decks are prohibited on the sides of ADU’s which face neighboring properties. The proposed ADU has three 2<sup>nd</sup> story windows with head heights of 6’8” and are located in the interior stairwell. As such, these windows will not result in any privacy issues with the property to the north, and there are no 2<sup>nd</sup> story outdoor decks being proposed.
- Driveways and Access:** The site will be accessed via a private driveway from Johnson Street which leads to the new garage. The site can accommodate two cars with one in the garage and one in front of the garage.
- Front Yard Design:** The project includes a detailed landscaping plan consistent with the landscaping standards of the LUC and the design guidelines. The plan includes trees, shrubs, and groundcovers. There is minimal hardscape in the design consisting only of a curved stone walkway from the sidewalk to the porch.
- Site Lighting:** The project includes contemporary, yet traditional style lantern lighting fixtures on the front facade. The modest lighting will not spill onto other properties nor pollute the night sky.

**Staff Finding: Consistent with guidelines**

<b>Table 5 – Chapter 5 Small Scale Residential Development Design Guidelines –Building Design</b>	
<i>Façade Design</i>	<i>Addressed in Table 3 discussion</i>
<i>Door Design</i>	<i>Design the primary entrance of a home to be clearly identifiable and consistent with the overall style of the building.</i>
<i>Windows</i>	<p><i>5.35 Locate windows to create visual interest along a street.</i></p> <p><i>* In Character Area 1, provide consistent horizontal spacing between windows on a façade.</i></p> <p><i>5.36 Design a window to be proportional to the wall size and the architectural character of the building.</i></p>

	<p>5.37 <i>Size and proportion a window to be in the range of heights and widths of windows seen traditionally in the Character Area.</i>  <i>* This is particularly important for Character Area 1: Traditional.</i></p> <p>5.38 <i>Encourage the use of windows that create a sense of depth, profile and shadow on a street-facing wall.</i></p>
<i>Porch Design</i>	<i>Addressed in Table 3 discussion</i>
<i>Roof Form</i>	<i>Addressed in Table 3 discussion</i>
<i>Building Materials and Color</i>	<i>Addressed in Table 3 discussion</i>
<i>Building Mass and Scale</i>	<i>Addressed in Table 3 discussion</i>
<i>Variation in Building Massing</i>	<i>Addressed in Table 3 discussion</i>
<i>Accessory Dwelling Unit Design</i>	<i>Addressed in Table 4 discussion</i>

Chapter 5 contains more specific guidelines pertaining to small-scale residential development including single-family and small-scale infill residential development. Many of the guidelines have been addressed in previous sections and have been noted in the list of *Building Design* related guidelines above. Specific guidelines noted above are those that apply to the project and were not addressed previously. These include the following:

- Doors: As noted above, the front facade will be easily identifiable and the large wood door is consistent with the traditional design of the house. The entry door will be similar in style and color to the garage door thereby resulting in continuity of the front facade.
- Windows: The project includes the addition of aluminum clad wood windows. The dark bronze color provides an attractive contrast to the primary white stucco siding. The window sizes are in scale with the size of the house and proportional to each wall where they are located. The windows provide additional articulation on each façade to reduce the perceived massing of the house and are consistent with windows on other new houses in Character Area 1 approved by the City.

**Staff Finding: Consistent with guidelines**

**Chapter 8 – New Construction in Historic Districts**

New construction in a historic district should relate to the fundamental characteristics of the historic buildings while conveying the stylistic trends of today. The design of new construction may draw upon the basic elements of a historic building such as its location on a site, relationship with the public realm and its basic mass, form and materials. When these design variables are arranged in a new building to be similar to those seen traditionally, visual compatibility results. These basic design relationships are more fundamental than the details of an individual architectural style and, therefore, it is possible to be compatible with the historic context while also producing a design that is contemporary. The following design guidelines outline key features of a new design that will assist in a visually compatible result.

<b>Table 6 – Chapter 8 New Construction in Historic Districts</b>	
<i>Building Location</i>	<i>Locate a building within the established front setback</i>
<i>Building Rhythm</i>	<i>Maintain the rhythm of buildings and side yards along the street</i>
<i>Mass and Scale</i>	<i>Design a building to respond to the general mass and scale of a neighboring historic structure</i>
<i>Historic Character</i>	<i>Design a building to respect the historic character of the neighboring historic structure, while incorporating design features to distinguish the new building.</i>

- Building Location:** The front porch of the house is setback 20-feet from the front property line. The front wall of the house is located an additional 5-feet back at 25-feet . This front yard setback exceeds the 20-foot front yard setback standard of the Land Use Code and is consistent with the setbacks of many other homes in the neighborhood. The increased setback will reduce the perceived massing and scale of the proposed house. The plan set (Attachment 3) includes a diagram which demonstrates setback consistency with the neighboring properties (see Sheet DR1.2).
- Building Rhythm:** The term “rhythm,” when used in the context of design review, mostly refers to front and side yard setbacks along the street frontage. In historic districts, front yard setbacks for new structures should respect the setbacks of the other existing structures on the street to create continuity up and down the block. Most streets in older neighborhoods will have a varying range of setbacks, and Johnson Street is no exception. As shown on Sheets DR1.1 and DR1.2, the setbacks on this block of Johnson Street range significantly, with an average setback of approximately 20-feet. Where there is a range of setbacks between buildings, new buildings should be located close to mean and similar to the immediate adjacent properties. As shown on the site plan, the proposed residence has a 20-foot front yard setback, which appears to be the average setback for the block. The existing house on the site is setback approximately 29-feet. The slight reduction in front yard setback of the proposed house will provide a more consistent setback rhythm along the street and is preferred over siting the house further to the rear of the property.
- Mass and Scale:** Scale: The home is designed to mitigate any significant massing issues. As noted above, the small 2nd story portion which is located at the rear of the house, is approximately 40-feet from the front porch. The rear location of this portion minimizes the visual prominence of the 2nd story. The majority of the house, which encompasses the front 40-feet of the house is single-story with a maximum height of approximately 21-feet. There are numerous design elements which reduce the perceived massing including varied roof slopes and roof lines, varied materials and colors, large windows of varying styles, and a small recessed garage. As seen in the diagram noted above, the height and width is consistent with most of the other homes in the vicinity. Sheet DR1.1

provides an illustration which demonstrates the consistency of massing with other homes in the area.

The proposed design will be consistent with the neighboring homes with regard to scale. The plan set includes a diagram which illustrates the scale of the house compared with numerous other homes in the vicinity (Sheet DR1.1). As demonstrated on that plan, the proposed house is consistent in scale and height as each of the other houses identified. Also, being that the lot is particularly narrow, the width of the house is also consistent with the other houses in the neighborhood.

- Historic Character: The proposed home and ADU are designed to harmonize with adjacent development through site placement, mass, form, and materials, while maintaining a contemporary style through material selection and detail.

**Staff Finding: Consistent with guidelines**

**Historic Resource Evaluation**

As noted above, a historical resource evaluation of the property was prepared to determine if the existing house retained any architectural significance or could be considered an historic resource. The assessment concluded that the property is not considered a significant historic resource eligible for the California Register of Historic Resources.

It is important to note that this evaluation also included a review of the proposed project and its consistency with the current Citywide Design Guidelines. The analysis concluded that the proposed project was consistent with the guidelines and would not have any negative impact on the Johnson Street Historical District.

**FINDINGS**

**Suggested Findings for Approval - Design Review**

The suggested basis for making each of these findings to recommend conditional approval of the proposed design review application is set forth below.

1. *The proposed development or use is consistent with all applicable policies and requirements of the General Plan and Land Use Code.*

The project would be consistent with the purposes of the site's MR General Plan land use designation and R1-6,000/HD zoning district which allows for single family homes with a density range of 3-6 units per acre. Development of a single-family residence is consistent with the General Plan's MR land use designation. The R1-6,000/HD designation allows single-family residences as a permitted use subject to design review due to the location within an Historic District Overlay. The proposed improvements will meet all applicable standards of the R1-6,000/HD Zoning District for this site and the home is of a scale compatible to those existing in the neighborhood.

2. *The proposed design of the development or use, and all appurtenant structures, is consistent with the policies set forth in the Design Review Manual, as may be amended from time to time.*

The home features design elements compatible with the surrounding neighborhood which represents single-family residences in a variety of styles. The home has direct pedestrian access from the sidewalk with a clearly defined entry. The site is designed for safe pedestrian and vehicular circulation. The house is designed with varied roof slopes, natural earth tone colors and materials, and attractive landscaping and lighting. In addition, the development provides off-street parking, and ensures adequate light, air, privacy and open space, consistent with the standards of the design guidelines. The design of the home is consistent with the purposes of the Historic District Overlay in that the home design is a contemporary style which respects the historic integrity of the Johnson Street Historic Overlay District.

3. *The proposed development or use is consistent with the purposes of the zoning district in which it is located.*

The project is consistent with the special purposes of the R1-6,000/HD Zoning District by providing consistency with the LUC development standards discussed in the staff report including off-street parking and ensuring adequate light, air, privacy and open space; and providing a home which is of a scale compatible to those existing in the neighborhood.

4. *The proposed development or use is consistent with any conditions imposed by the Planning Commission or City Council with respect to any matter related to the purpose of design review.*

There are no previous conditions imposed by the Planning Commission or City Council related to design review except that the project undergoes design review due to its location within the Historic District Overlay.

#### **ENVIRONMENTAL ANALYSIS**

The project is exempt from environmental review pursuant to the California Environmental Quality Act Guidelines Section 15303 Class 3 New Construction or Conversion of Small Structures due to the fact that the project includes the construction of a single-family residence. The home and will be located within an urban neighborhood and the project will not result in any adverse impacts to the neighborhood or the environment.

#### **DEPARTMENT COMMENTS**

The application was routed to the City's Building, Fire, Electric, and Public Works Departments for review and comments received are included as Conditions of Approval (Attachment 2).

#### **FISCAL IMPACT**

The proposal is a privately funded development project that does not involve the use of public funds.

**ATTACHMENTS**

1. Resolution and Conditions of Approval
2. Project Narrative from Applicant
3. Plan Set

**PC RESOLUTION NO. 2026-**

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF HEALDSBURG APPROVING MAJOR DESIGN REVIEW APPLICATION DR-0002-2026 FOR THE CONSTRUCTION OF NEW SINGLE-FAMILY RESIDENCE AND ADU IN THE JOHNSON STREET HISTORIC DISTRICT LOCATED AT 712 JOHNSON STREET (APN 002-053-004).**

**WHEREAS**, an application has been received from Chris Townsend for Major Design Review Application for the construction of a new single residence and ADU in the Johnson Street Historic District. The Project is proposed on a 6,527 square-foot lot with frontage on Johnson Street; and

**WHEREAS**, prior to taking action on the Project, and at a properly noticed public hearing on May 12, 2026, the Planning Commission reviewed written and oral staff reports, took testimony and received into the record all pertinent documents related to the Project; and

**WHEREAS**, The project is exempt from environmental review pursuant to the California Environmental Quality Act Guidelines Section 15303 Class 3 New Construction or Conversion of Small Structures: and

**WHEREAS**, the Planning Commission considered all pertinent documents, including the project description and staff report, and received public comments before making its decision on the subject applications.

**NOW, THEREFORE BE IT RESOLVED** that the Healdsburg Planning Commission makes the findings required to approve Major Design Review DR-0002-2026 with the conditions attached hereto as Exhibit A, as follows:

**Major Design Review Findings**

Pursuant to Land Use Code section 20.28.125, the Planning Commission is required to make the following findings in order to approve a Major Design Review Permit; staff has provided suggested findings below.

1. *The proposed development or use is consistent with all applicable policies and requirements of the General Plan and Land Use Code.*

The project would be consistent with the purposes of the site's MR General Plan land use designation and R1-6,000/HD zoning district which allows for single family homes with a density range of 3-6 units per acre. Development of a single-family residence is consistent with the General Plan's MR land use designation. The R1-6,000/HD designation allows single-family residences as a permitted use subject to design review due to the location within an Historic District Overlay. The proposed improvements will meet all applicable standards of

the R1-6,000/HD Zoning District for this site and the home is of a scale compatible to those existing in the neighborhood.

2. *The proposed design of the development or use, and all appurtenant structures, is consistent with the policies set forth in the Design Review Manual, as may be amended from time to time.*

The home features design elements compatible with the surrounding neighborhood which represents single-family residences in a variety of styles. The home has direct pedestrian access from the sidewalk with a clearly defined entry. The site is designed for safe pedestrian and vehicular circulation. The house is designed with varied roof slopes, natural earth tone colors and materials, and attractive landscaping and lighting. In addition, the development provides off-street parking, and ensures adequate light, air, privacy and open space, consistent with the standards of the design guidelines. The design of the home is consistent with the purposes of the Historic District Overlay in that the home design is a contemporary style which respects the historic integrity of the Johnson Street Historic Overlay District.

3. *The proposed development or use is consistent with the purposes of the zoning district in which it is located.*

The project is consistent with the special purposes of the R1-6,000/HD Zoning District by providing consistency with the LUC development standards discussed in the staff report including off-street parking and ensuring adequate light, air, privacy and open space; and providing a home which is of a scale compatible to those existing in the neighborhood.

4. *The proposed development or use is consistent with any conditions imposed by the Planning Commission or City Council with respect to any matter related to the purpose of design review.*

There are no previous conditions imposed by the Planning Commission or City Council related to design review except that the project undergoes design review due to its location within the Historic District Overlay.

**BE IT FURTHER RESOLVED** that the Healdsburg Planning Commission does hereby approve Major Design Review Application DR-0002-2026 subject to the conditions attached hereto as Exhibit A, which is incorporated herein by reference.

**DULY AND REGULARLY ADOPTED** by the Healdsburg Planning Commission on the 12<sup>th</sup> day of April 2026, by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

Approved:

Attest:

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Conor McKay, Chair

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Scott M. Duiven, Secretary

Exhibit A: Conditions of Approval

**CONDITIONS OF APPROVAL**

Major Design Review Application DR-0002-2026  
712 Johnson Street  
May 12, 2026

**Community Development Department**

1. The project shall be developed in accordance with Attachment 2 – Plan Set, dated May 4, 2026, except as conditioned or modified herein.
2. Any modifications to the approved plans must receive prior approval of the City of Healdsburg. Minor modifications may be approved by the Community Development Department Director; however, major modifications require Planning Commission approval.
3. Design Review Permit No. DR-0001-2026 shall lapse and shall become void two years following the date on which the design review became effective, unless prior to the expiration of two years a building permit is issued for the project.
4. Prior to the issuance of building permits, a final landscaping and irrigation plan shall be submitted for approval by the Community Development Department for review and approval. The plans shall include the following:
  - A. All plant material shall be served by a city-approved automatic irrigation system pursuant to LUC Section 20.16.105.
  - B. Water Efficient Landscaping Ordinance (WELO) worksheet.
  - C. Certification of compliance with the City’s Water Efficient Landscape Ordinance.
5. A Construction Management Plan shall be submitted prior to issuance of building, grading or demolition permits, whichever occurs first. The plan shall clearly denote the limit of the construction area, tree protection measures, wetland avoidance measures, and construction staging area, subject to review and approval by the Planning and Building Director. Additionally, the Construction Management Plan shall include the following:
  - A. All exposed surfaces (e.g., parking areas, staging areas, soil piles, graded areas, and unpaved access roads) shall be watered two times per day.
  - B. All haul trucks transporting soil, sand, or other loose off-site material shall be covered.
  - C. All visible mud or dirt tracked out onto adjacent public roads shall be removed using wet power vacuum street sweepers at least once per day. The use of dry power sweeping is prohibited.
  - D. All construction vehicle speeds on unpaved roads shall be limited to 15 miles per hour (mph).
  - E. All roadways, driveways, and sidewalks to be paved shall be completed as soon as possible. Building pads shall be laid as soon as possible after grading unless seeding or soil binders are used.
  - F. Idling times shall be minimized either by shutting equipment off when not in use or reducing the maximum idling time to 5 minutes (as required by the California airborne

toxics control measure Title 13, Section 2485 of California Code of Regulations [CCR]). Clear signage shall be provided for construction workers at all access points

- G. All construction equipment shall be maintained and properly tuned in accordance with manufacturer's specifications. All equipment shall be checked by a certified mechanic and determined to be running in proper condition prior to operation.
  - H. Post a publicly visible sign with the telephone number and person to contact at the Lead Agency regarding dust complaints. This person shall respond and take corrective action within 48 hours. The Air District's phone number shall also be visible to ensure compliance with applicable regulations.
6. Prior to the issuance of a certificate of occupancy, the project's landscape architect or landscape contractor shall certify that all plant materials have been installed in accordance with the approved landscape plan, and the landscaping shall be inspected by the Community Development Department.
  7. All on-site landscaping shall be maintained by the property owner.
  8. The 2025 California Construction Codes and the Healdsburg Municipal Code will apply to this project.
  9. The roof assembly is required to be class A.
  10. An asbestos and lead paint report is required prior to the issuance of a demolition permit.
  11. The plan shows a swimming pool. The Healdsburg Municipal code requires a pool enclosure complying with the California Swimming Pool Safety Act and the 2025 CRC Appendix CI for pool enclosures as well as 2 additional safety measures.
  12. A Geotechnical Report is required.

### **Electric Department**

1. Customer will need to provide a 5' public utility easement along the frontage. The relocation of the pole in the back will need to be done PRIOR to any of the major vertical build. Applicant will need other facilities installed. Once the permit is in, a final design will be sent to the applicant for new conduits and splice boxes. Customer will need to coordinate with the neighbor for their electrical service cutover.
2. For maintenance and inspection of electric facilities, meters may not be enclosed or located behind fences or gates and must be always accessible to City personnel.
3. All work must be in accordance with the City's Electric Department requirements and other utility and building code requirements.
4. The final design of the service and estimation of service fees will be developed during the building permit process.

### **Public Works Department**

1. Prior to final inspection, the applicant is required to remove and replace all portions of broken, cracked, displaced sections, ½ inch or greater, of the existing sidewalk, curb, gutter, per City

standards.

2. Prior to final inspection, the applicant is required to remove and replace the existing cracked/broken driveway approach per current city standards.
3. The project proposes a stormwater sump pump system. Therefore, a reduced pressure backflow prevention device is required on the water service per city standards. The applicant may be required to upsize the existing water service/meter per city standards as required to meet fire sprinkler demands.
4. An encroachment permit is required for all work within the public right of way or public easements.
5. The applicant is responsible for paying all Public Works administered charges. The fees due will be calculated at building permit.
6. The project shall comply with the city's sewer lateral ordinance requirements.

## **Fire Department**

### **1. Automatic Fire Sprinkler System**

The plans indicate the project will be sprinklered.

Requirement

Provide an NFPA 13D automatic residential fire sprinkler system for:

- Primary residence
- Accessory Dwelling Unit
- Attached garage

Plan Requirements

Separate deferred submittal required including:

- Hydraulic calculations
- Water supply data
- Riser diagram
- Sprinkler layout
- Pipe sizing
- Monitoring requirements (if applicable)

Code Reference

- CFC 903.3.1.3
- CRC R313
- Healdsburg Municipal Fire Sprinkler Ordinance

### **2. Fire Department Access**

Fire department access will be from Johnson Street via the proposed driveway.

***Driveway access appears compliant for a single family residential lot***, however the following shall be verified:

Requirements

Minimum driveway standards:

Width

- 20 ft unobstructed minimum

Vertical clearance

- 13 ft 6 in

Grade

- $\leq 20\%$  unless otherwise approved

Surface

- All-weather paved surface

Turnaround

- Required if driveway length exceeds 150 ft

Provide dimensions on the civil plan confirming compliance.

Code Reference

CFC 503

CFC Appendix D

### 3. Address Identification

Address numbers are shown on the site plan.

Requirement

- Address numbers shall be clearly visible from Johnson Street
- Minimum 4 inch height
- Contrasting background
- Illuminated or reflective

Both main residence and ADU must have visible addressing.

Code Reference

CFC 505

### 4. Fire Apparatus Access During Construction

During construction:

- Fire department access must remain available at all times.
- Hydrants and fire lanes shall not be obstructed by construction materials.

Code Reference

CFC 3310

### 5. Hydrant Verification

Plans indicate an existing hydrant within the vicinity of the project (civil sheets reference existing utilities).

Prior to permit issuance verify:

- Hydrant location
- Hydrant operational status
- Flow capability

Typical residential requirement:

- Minimum 1,000 GPM for one and two-family dwellings  
If hydrant spacing exceeds 600 ft, additional hydrant may be required.

Code Reference  
CFC 507

### **6. Residential Fire Separation**

Because the project includes:

- Residence
- ADU
- Garage

Verify exterior wall and opening protection requirements based on fire separation distance.

Items to confirm:

- Window ratings near property lines
- Eave protection
- Opening limitations

Code Reference  
CBC Chapter 7  
CBC Table 705.5  
CBC 705.8

### **7. Pool and Equipment Area**

Pool equipment is shown adjacent to the residence.

Confirm:

- Equipment placement does not obstruct required egress paths
- Maintain minimum 3 ft clear working space around equipment
- Maintain clear access for emergency responders

### **8. Gas Meter Location**

Gas meter location is shown on the site plan.

Ensure installation meets:

- PG&E standards
- Clearance from ignition sources
- Access for emergency shutoff

### **ADDITIONAL NOTES**

Roof assembly specifies Class A roofing (standing seam metal) which meets fire code requirements for residential construction.

### **FIRE DEPARTMENT CONDITIONS OF APPROVAL**

1. Submit NFPA 13D sprinkler design for Fire Department approval. Deferred submittal
2. Confirm driveway width, grade, and surface compliance with fire access requirements. - Appears OK as submitted.
3. Verify hydrant location and fire flow availability. – Appears OK – to verify upon submittal
4. Provide visible illuminated addressing for both residence and ADU.
5. Maintain fire apparatus access during construction.

**FIRE MARSHAL SUMMARY**

The project is generally acceptable from a fire code perspective, subject to:

- Fire sprinkler system design
- Verification of fire department access
- Hydrant/fire flow confirmation
- Standard fire department conditions

No major life-safety deficiencies were identified at the conceptual design level.



February 6, 2026

City of Healdsburg, Planning Department  
401 Grove Street  
Healdsburg, CA 95448

Re: 712 Johnson Street – Project Narrative

To whom it may concern,

Our project proposes the demolition of an existing single-family residence and the construction of a new single-family residence with an attached accessory dwelling unit (ADU). The existing home has been reviewed by APD Preservation and determined as not contributing to the historic district. Additionally, the existing home does not meet many of the City's design guidelines. Building a new residence presents an opportunity to enhance both the property and the historic district.

The project parcel is one of the smallest parcels along Johnson Street with a width of 42.81 feet and a depth of 152.50 feet. The parcel is highly constrained due to a prescriptive easement for overhead powerlines along the eastern portion of the property.

The proposed site design responds to the parcel constraints by arranging the residence and ADU in a narrow L-shape form. The building form maximizes the use of the backyard despite the prescriptive easement, allowing space for a comfortable covered rear patio, a small pool, and an accessible landscaped area within the easement. These backyard amenities would not be possible if the ADU were placed along the edge of, and parallel to, the easement.

The neighboring residences to the north and south are one-story homes with street-facing gable roof forms and prominent front porches. The residences further north and further south consist of two-story homes with street-facing gable roof forms and varying width porches. Facade materials are a mix of stucco, horizontal wood siding, and board and batten siding. Roofing materials are a mix of shingle and standing seam metal.

The proposed design responds to the massing of the adjacent homes by creating a one-story gable roof form with a wide front porch at the street-facing facade. The garage is set back from the front facade to minimize its visual prominence, similar to other adjacent homes. The two-story portions of the home and ADU, necessary to meet the space requirements of contemporary living on a small parcel, are significantly set back from the street to reduce visual mass and harmonize with the forms of adjacent homes.

Townsend Residential Design  
PO Box 1629  
Healdsburg, CA 95448  
Ph: 707.235.3155  
E: [chris@townsendresidential.com](mailto:chris@townsendresidential.com)



Facade materials consist of stucco accented by warm natural wood and stone. Roofing will be standing seam metal consistent with many of the recently built homes in the area.

#### **Consistency with Citywide Design Guidelines**

**Building Placement:** The home is setback from property lines consistent with both the established zoning and adjacent development.

**Side Setbacks:** The one-story portions of the residence are setback a minimum of 5' and the second story portions a minimum of 10', consistent with the established zoning requirements and adjacent development.

**Orientation:** The building is oriented to face the street and designed to minimize the height of the building at street level to harmonize with adjacent development.

**Garage Placement:** Due to the narrow width of the parcel and the prescriptive easement, the ADU must be arranged along the northern property line. This does not make it possible to place the garage behind the rear wall of the residence. The garage is setback from the front facade making it subordinate to the primary structure.

**Front Yard Fences:** A small front yard fence consisting of low stone columns and horizontal wood rails is proposed as a contemporary interpretation of other front yard fences in the area.

**Entry Connection:** An inviting curved stone walkway is proposed from the sidewalk to the front porch.

**Front Facade:** The front facade is articulated with three large windows and an entry door consisting of wood panels and glass panes. The garage door, setback from the front facade, is recessed into the wall and will include glass panes and warm natural wood.

**Front Porch:** A prominent front porch detailed with wood columns and stone accents spans the width of the living space.

**Roof Form:** The roof is moderately pitched (7:12) and designed in a street-facing gable form to be consistent with adjacent roof forms.

**Materials:** Authentic stucco is the primary facade material accented with warm natural wood and stone. Windows will be aluminum-clad wood with contemporary grid patterns and recessed into the stucco. The entry door and garage door will be warm natural wood.



**Scale & Massing:** The massing of the home transitions from one-story at the front facade to two-story at the rear facade. The transition allows the home's massing to be consistent with adjacent homes while minimizing the visual prominence of the two-story portions of the home.

### **New Construction Within a Historic District**

The Citywide Design Guidelines state, "... when a new building occurs, it should reinforce the basic visual characteristics of the district. This does not imply, however, that a new building must look old. In fact, imitating historic style is generally discouraged." Furthermore, the guidelines state, "New construction should relate to the fundamental characteristics of historic building(s) while conveying the stylistic trends of today. The design of new construction may draw upon the basic elements of a historic building such as its location on a site, relationship with the public realm and its basic mass, form and materials. When these design variables are arranged in a new building to be similar to those seen traditionally, visual compatibility results. These basic design relationships are more fundamental than the details of an individual architectural style and, therefore, it is possible to be compatible with the historic context while also producing a design that is contemporary."

The proposed home and ADU are designed to harmonize with adjacent development through site placement, mass, form, and materials, while maintaining a contemporary style through material selection and detail.

### **Conclusion**

The existing home does not embody the character or spirit of Johnson Street. The proposed project is a significant improvement to the historic district. The new home will better harmonize with adjacent properties and bring the property into compliance with the Citywide Design Guidelines.

Please feel free to contact us with any questions or concerns regarding the proposed design.

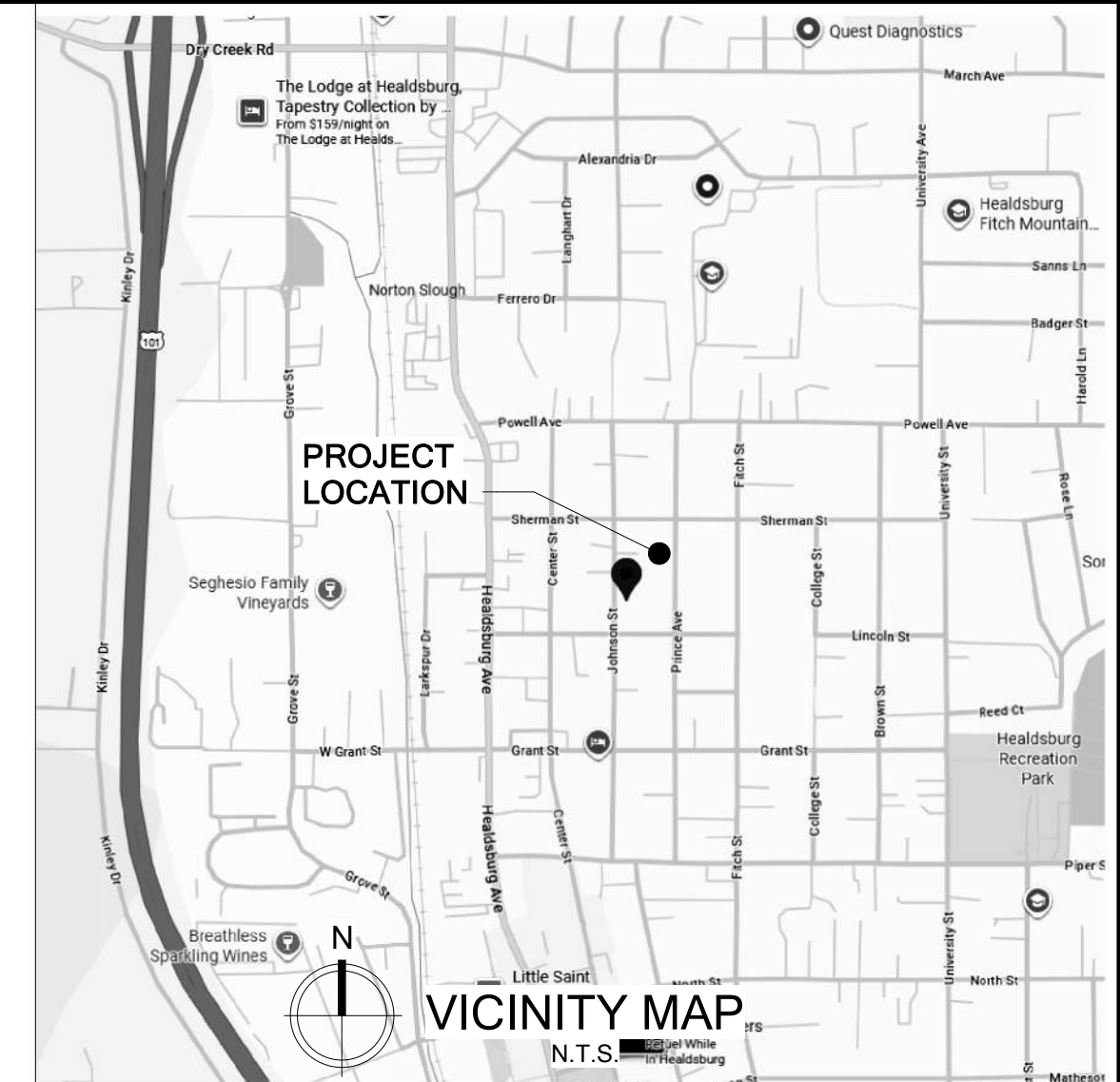
Sincerely,

Chris Townsend  
Townsend Residential Design  
PO Box 1629  
Healdsburg, CA 95448  
Ph: (707) 235-3155  
E: Chris@TownsendResidential.com

Townsend Residential Design  
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# BATCHELDER RESIDENCE & ADU

712 JOHNSON ST  
HEALDSBURG, CA 95448  
APN: 002-053-004



NO.	DESCRIPTION	DATE



1 EXTERIOR VIEW FROM NORTHWEST



2 EXTERIOR VIEW FROM SOUTHWEST

## ARCHITECTURAL DRAWING INDEX

Sheet Number	Sheet Name
DR0.0	COVER SHEET
DR0.1	RENDERING
DR0.2	RENDERING
DR1.0	NEIGHBORHOOD LOT PLAN & SITE PHOTOS
DR1.1	NEIGHBORHOOD STREETSCAPES
DR1.2	NEIGHBORHOOD ADJACENT LOT PLAN
DR1.3	AS-BUILT/DEMOLITION SITE PLAN
DR1.4	PROPOSED SITE PLAN & CONTEXT MAP
DR2.0	RESIDENCE & ADU MAIN FLOOR PLAN
DR2.1	RESIDENCE & ADU UPPER FLOOR PLANS
DR2.2	ROOF PLAN
DR3.0	EXTERIOR ELEVATIONS
DR3.1	EXTERIOR ELEVATIONS
DR3.2	EXTERIOR MATERIALS & COLORS
DR4.0	SECTION 'AA'
DR4.1	SECTION 'BB'
DR4.2	SECTION 'CC' & 'DD'

## CIVIL DRAWING INDEX

Sheet Number	Sheet Name
1	PRELIMINARY GRADING AND DRAINAGE PLAN

## PROJECT INFORMATION

PROJECT DESCRIPTION: DEMOLITION OF EXISTING RESIDENCE AND ATTACHED GARAGE. CONSTRUCTION OF NEW RESIDENCE WITH ATTACHED GARAGE AND ADU.  
ASSOCIATED SITE IMPROVEMENTS.  
MUNICIPALITY: CITY OF HEALDSBURG  
ZONING: R-1-6,000 HD  
OCCUPANCY: R-3/U  
CONSTRUCTION TYPE: V-B  
NUMBER OF STORIES: 2  
SPRINKLERED: YES

## PROJECT TEAM:

**OWNER:**  
TRACY & KIM BATCHELDER  
5286 WIKIUP COURT  
SANTA ROSA, CA 95403  
PH: (707) 536-3460

**CONTRACTOR:**  
SHOOK & WALLER CONSTRUCTION  
ATTN: TIFFANY FLEISCHMANN  
7677 BELL RD, SUITE 101  
WINDSOR, CA 95492  
PH: (707) 578-3933

**DESIGNER:**  
TOWNSEND RESIDENTIAL DESIGN  
ATTN: CHRIS TOWNSEND  
PO BOX 1629  
HEALDSBURG, CA 95448  
PH: (707) 235-3155

**STRUCTURAL ENGINEER:**  
JOHNSON DEBOIS & FORREST  
ATTN: KELLY JOHNSON  
405 W. COLLEGE AVE., SUITE E  
SANTA ROSA, CA 95401  
PH: (707) 575-0911

**CIVIL ENGINEER:**  
MUNSELLE CIVIL ENGINEERING  
ATTN: CORT MUNSELLE  
513 CENTER ST.  
HEALDSBURG, CA 95448  
PH: (707) 395-0968

**SOIL ENGINEER:**  
RGH GEOTECHNICAL  
ATTN: JARED PRATT  
3501 INDUSTRIAL DR, SUITE A  
SANTA ROSA, CA 95403  
PH: (707) 544-1072

**TITLE 24 ANALYST:**  
NRG COMPLIANCE, INC.  
PO BOX 3777  
SANTA ROSA, CA 95402  
PH: (707) 237-6957

**TOWNSEND**  
RESIDENTIAL DESIGN  
PO BOX 1629, HEALDSBURG, CA 95448  
PH: 707. 235. 3155

**BATCHELDER RESIDENCE & ADU**  
712 JOHNSON ST  
HEALDSBURG, CA 95448  
APN: 002-053-004

**COVER SHEET**  
**NOT FOR CONSTRUCTION**  
PROJECT NUMBER: 25017

**DR0.0**  
SHEET NUMBER: 25017



1 SOUTHWEST VIEW DURING THE DAY  
 NOTE: RENDERING IS FOR ILLUSTRATIVE PURPOSES ONLY.

NO.	DESCRIPTION	DATE

**TOWNSEND**  
 RESIDENTIAL DESIGN  
 PO BOX 1629, HEALDSBURG, CA 95448  
 PH: 707.235.3155

**PROJECT:**  
 BATCHELDER RESIDENCE & ADU  
 712 JOHNSON ST  
 HEALDSBURG, CA 95448  
 APN: 002-053-004

**SHEET TITLE:**  
 RENDERING  
**NOT FOR CONSTRUCTION**

**PROJECT NUMBER:**  
 25017

**SHEET NUMBER:**  
**DR0.1**



1 SOUTHWEST VIEW DURING THE EVENING  
 NOTE: RENDERING IS FOR ILLUSTRATIVE PURPOSES ONLY.

NO.	DESCRIPTION	DATE

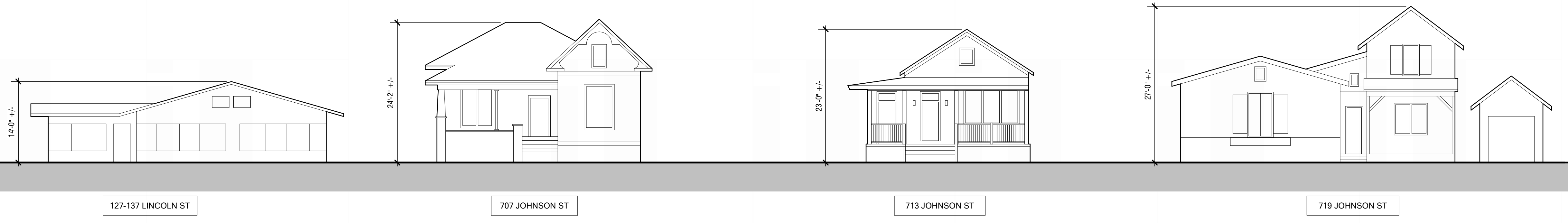
**TOWNSEND**  
 RESIDENTIAL DESIGN  
 PO BOX 1629, HEALDSBURG, CA 95448  
 PH: 707.235.3155

**BATCHELDER RESIDENCE & ADU**  
 712 JOHNSON ST  
 HEALDSBURG, CA 95448  
 APN: 002-053-004

PROJECT: BATCHELDER RESIDENCE & ADU  
 SHEET TITLE: RENDERING  
 PROJECT NUMBER: 25017  
**NOT FOR CONSTRUCTION**

SHEET NUMBER: **DR0.2**

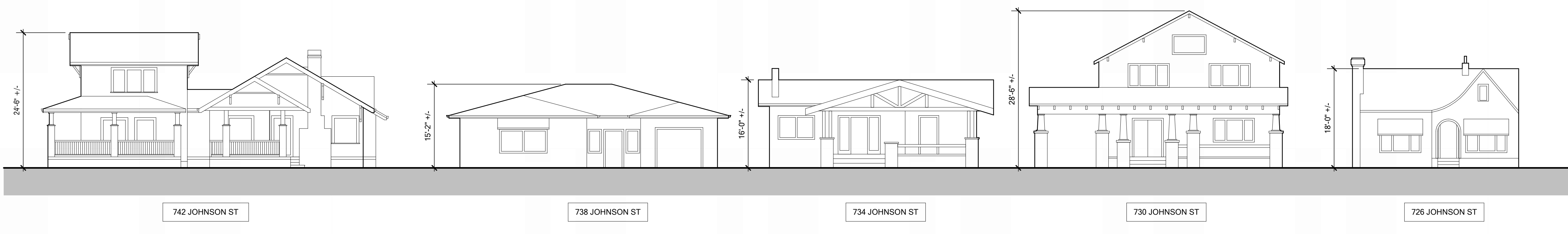




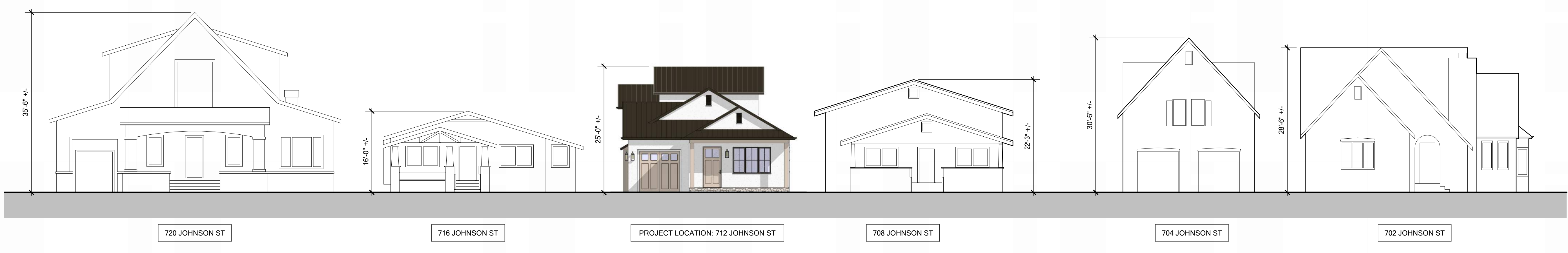
2 PARTIAL WEST STREETSCAPE ON JOHNSON ST  
3/32" = 1'-0"



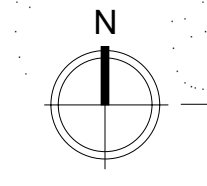
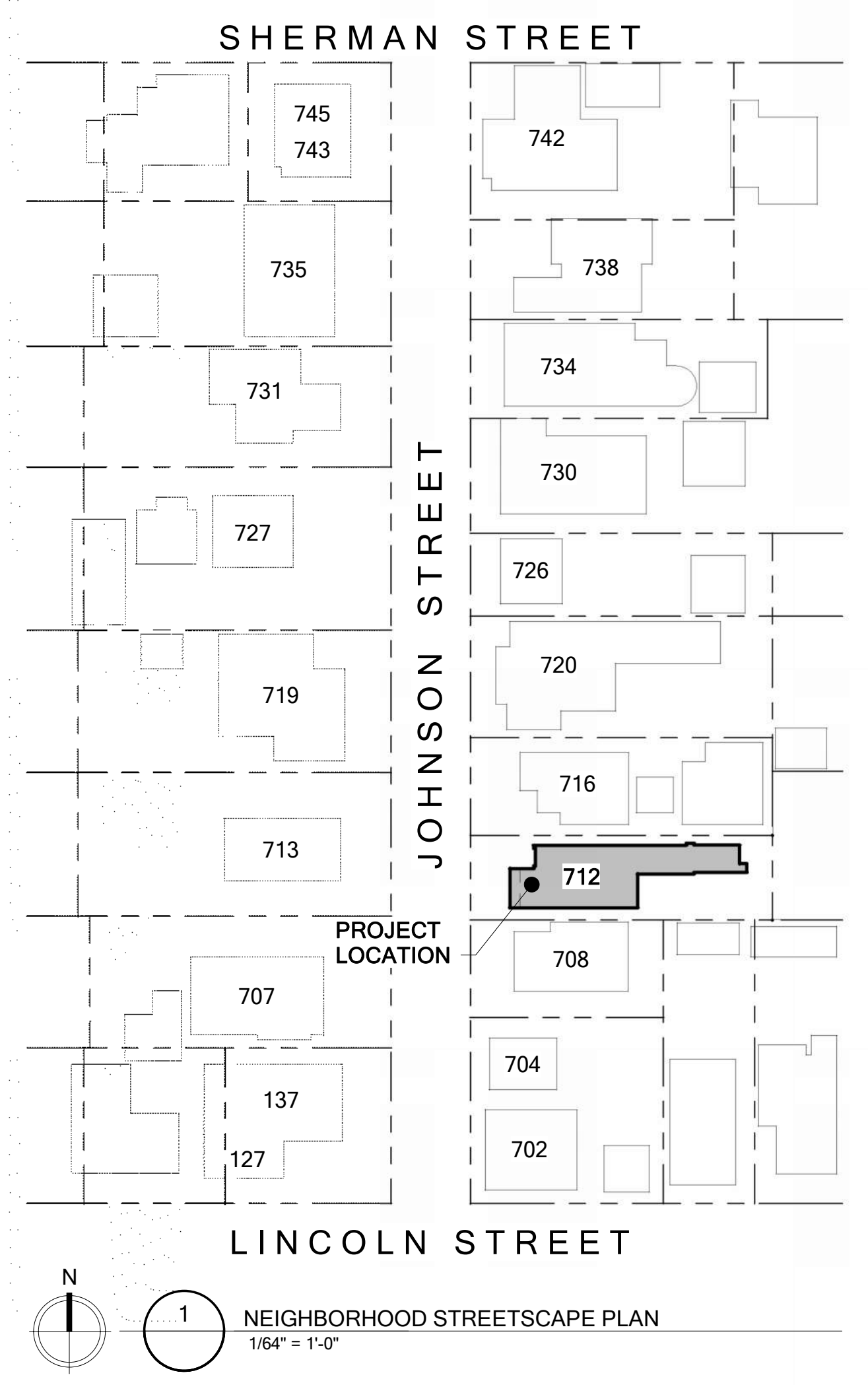
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3/32" = 1'-0"



4 PARTIAL EAST STREETSCAPE ON JOHNSON ST  
3/32" = 1'-0"



5 PARTIAL EAST STREETSCAPE ON JOHNSON ST  
3/32" = 1'-0"



1 NEIGHBORHOOD STREETSCAPE PLAN  
1/64" = 1'-0"

NO.	DESCRIPTION	DATE

**TOWNSEND**  
RESIDENTIAL DESIGN  
PO BOX 1629, HEALDSBURG, CA 95448  
PH: 707.235.3155

**BATCHELDER RESIDENCE & ADU**  
712 JOHNSON ST  
HEALDSBURG, CA 95448  
APN: 002-053-004

NEIGHBORHOOD STREETSCAPES  
PROJECT NUMBER: 25017  
**NOT FOR CONSTRUCTION**

SHEET NUMBER: **DR1.1**

NO.	DESCRIPTION	DATE

**TOWNSEND**  
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PO BOX 1629, HEALDSBURG, CA 95448  
PH: 707. 235. 3155

**PROJECT:**  
BATCHELDER RESIDENCE & ADU  
712 JOHNSON ST  
HEALDSBURG, CA 95448  
APN: 002-053-004

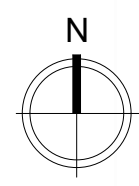
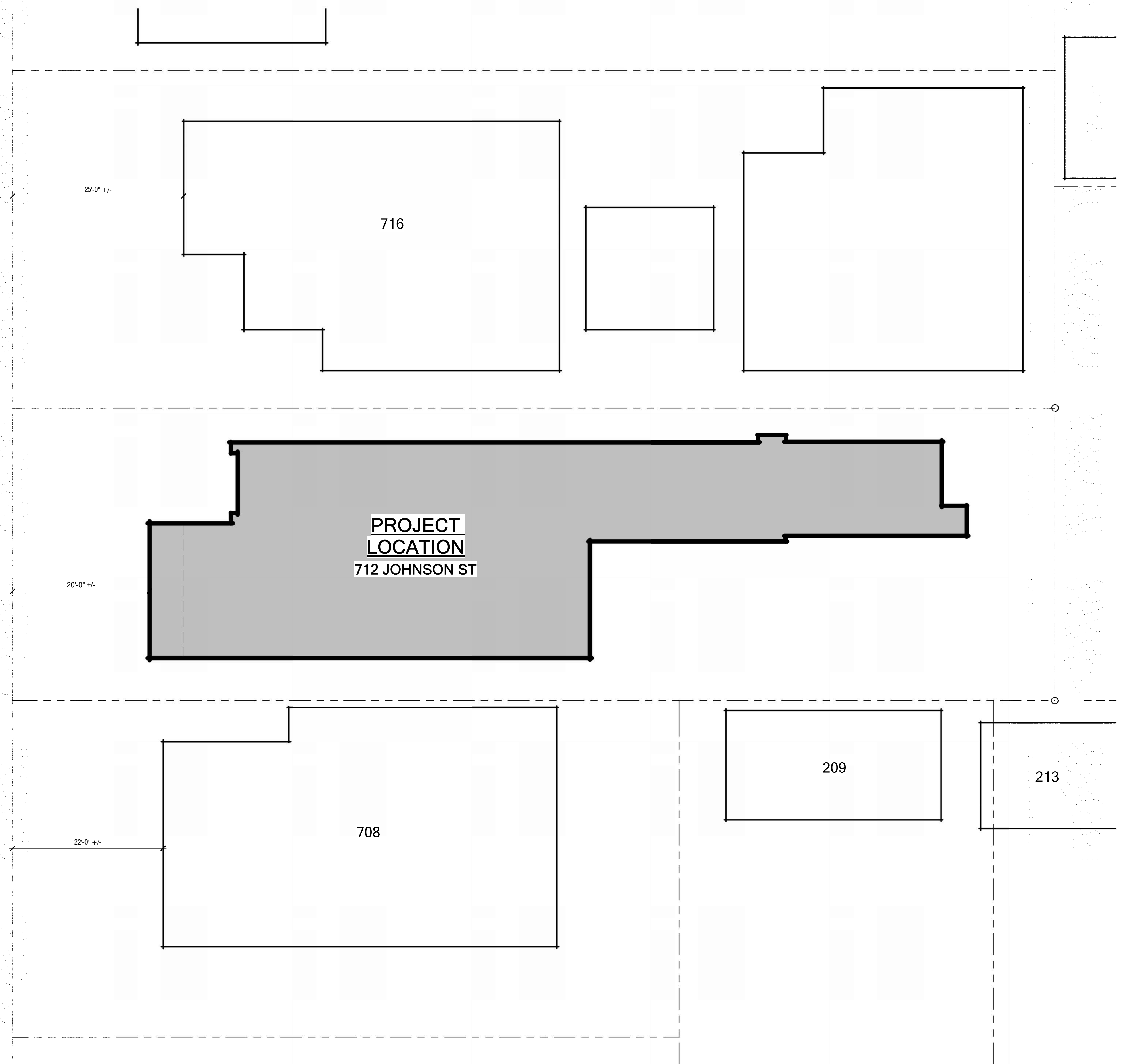
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NEIGHBORHOOD ADJACENT LOT PLAN  
**PROJECT NUMBER:**  
25017

**SHEET NUMBER:**  
**DR1.2**

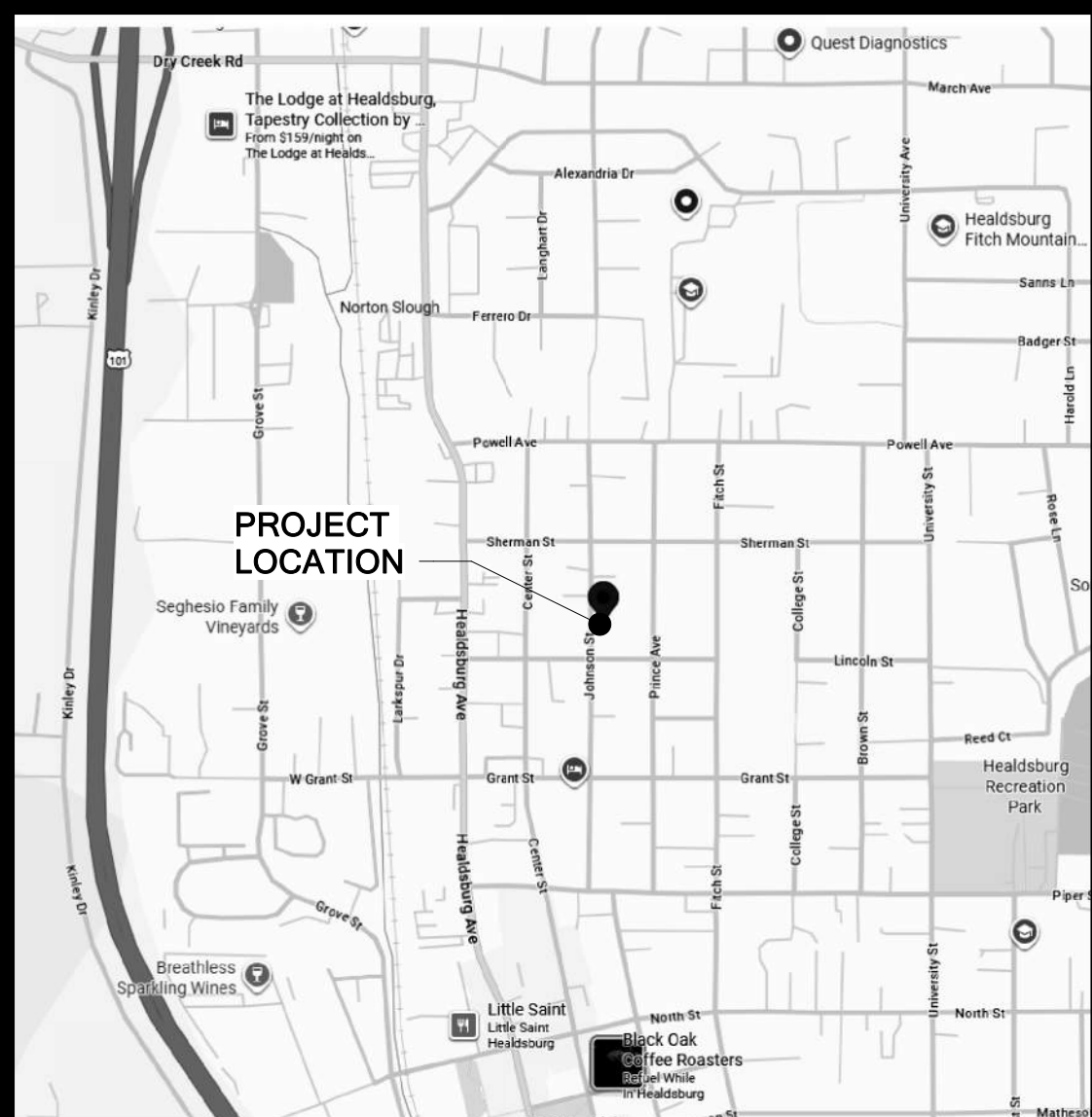
**NOT FOR CONSTRUCTION**

PLAN DATE & PURPOSE:

JOHNSON STREET

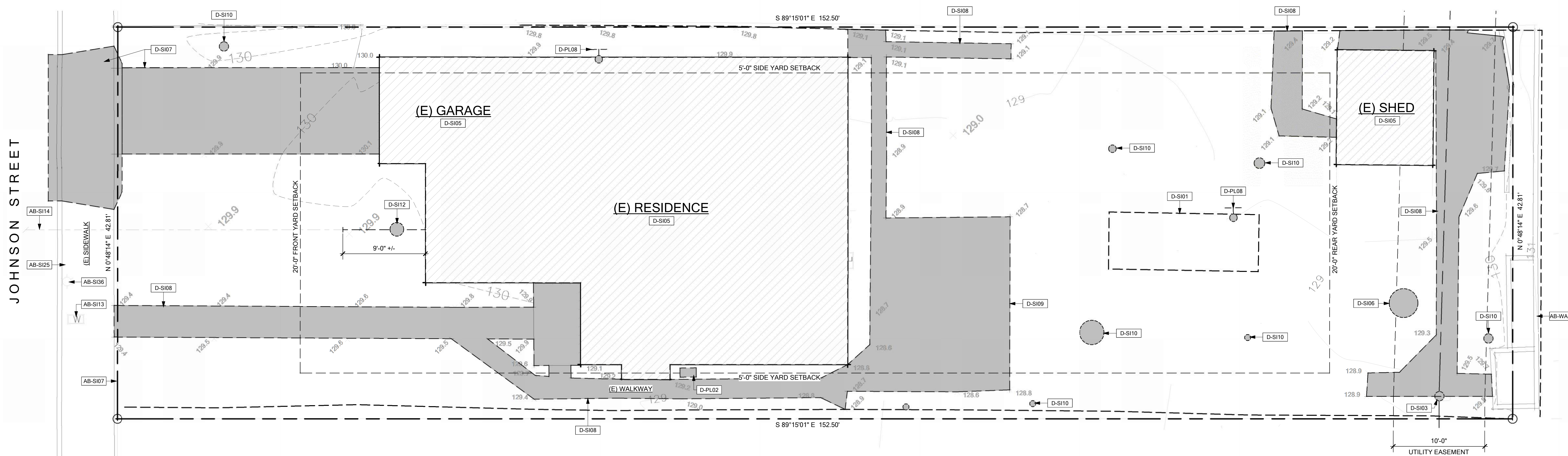


1  
NEIGHBORHOOD ADJACENT LOT PLAN  
1/8" = 1'-0"



VICINITY MAP  
N.T.S.

KEY VALUE	KEYNOTE TEXT
AB-SI07	APPROXIMATE LOCATION OF PROPERTY LINE, TYPICAL
AB-SI13	EXISTING WATER METER
AB-SI14	APPROXIMATE LOCATION OF EXISTING SEWER LATERAL, SEE CIVIL DRAWINGS FOR MORE INFORMATION
AB-SI25	EXISTING CONCRETE SIDEWALK AND CURB
AB-SI36	EXISTING LIGHT POLE
AB-WA03	EXISTING CONCRETE RETAINING WALL
D-PL02	REMOVE EXISTING GAS METER
D-PL08	DEMOLISH EXISTING HOSE BIBB
D-SI01	DEMOLISH EXISTING FENCE
D-SI03	DEMOLISH EXISTING UTILITY POLE AND OVERHEAD WIRES. SEE PROPOSED SITE PLAN FOR MORE INFORMATION.
D-SI05	DEMOLISH EXISTING STRUCTURE
D-SI06	DEMOLISH EXISTING FIRE PIT
D-SI07	DEMOLISH EXISTING DRIVEWAY AND DRIVEWAY CUT
D-SI08	DEMOLISH EXISTING WALKWAY
D-SI09	DEMOLISH EXISTING PATIO
D-SI10	REMOVE EXISTING TREE, TYPICAL. SEE CIVIL DRAWINGS FOR MORE INFORMATION.
D-SI12	REMOVE EXISTING SEWER CLEANOUT AND PORTION OF EXISTING SEWER LATERAL. SEE CIVIL DRAWINGS FOR MORE INFORMATION.



1 AS-BUILT/DEMOLITION SITE PLAN  
3/16" = 1'-0"

ALLOWABLE LOT COVERAGE		
LOT AREA (SF)	ALLOWABLE LOT COVERAGE (%)	ALLOWABLE LOT COVERAGE (SF)
6,527	35	2,285

NO.	DESCRIPTION	DATE

**TOWNSEND**  
RESIDENTIAL DESIGN  
PO BOX 1629, HEALDSBURG, CA 95448  
PH: 707. 235. 3155

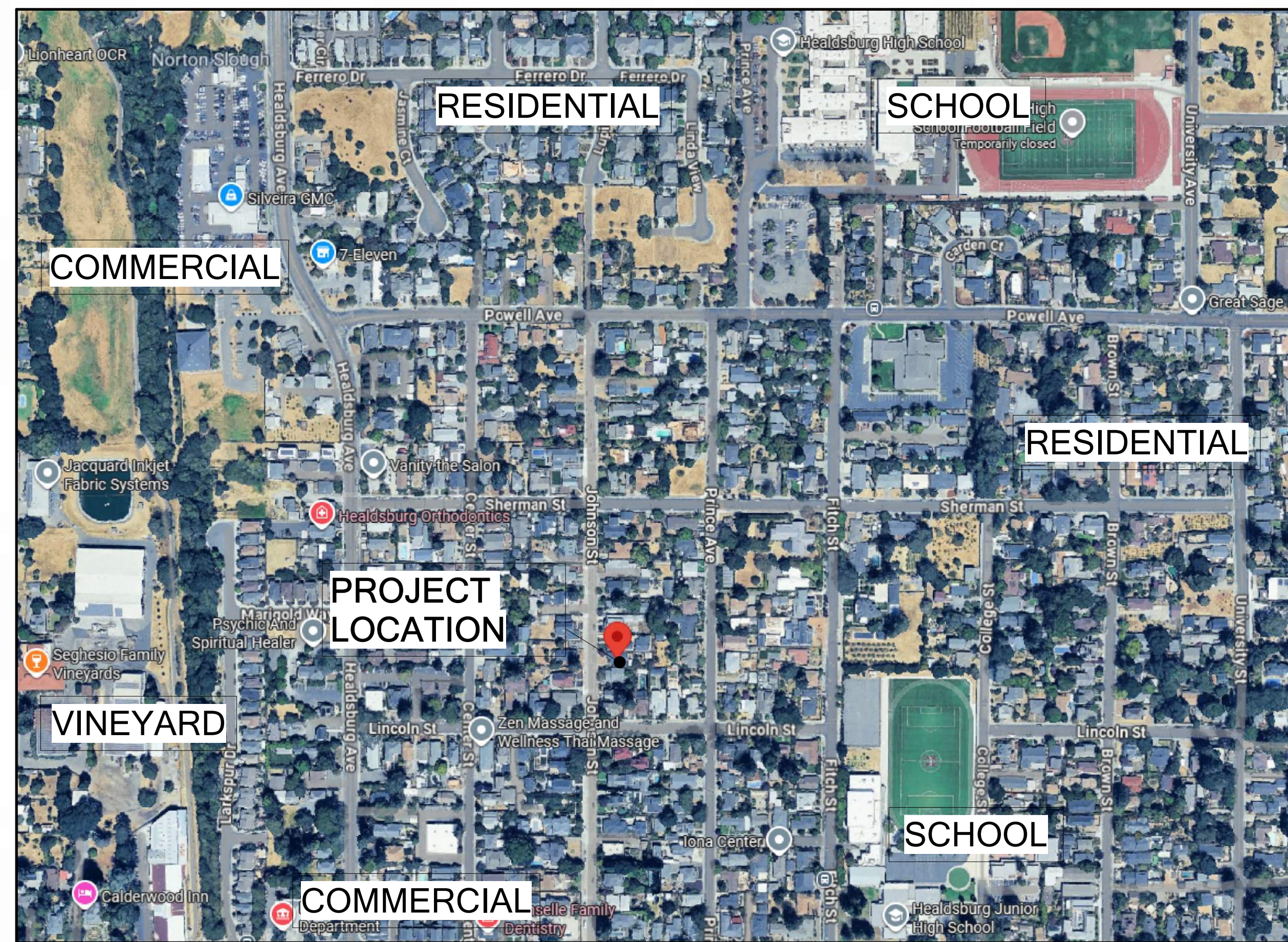
**BATCHELDER RESIDENCE & ADU**  
712 JOHNSON ST  
HEALDSBURG, CA 95448  
APN: 002-053-004

AS-BUILT/DEMOLITION SITE PLAN  
PROJECT NUMBER: 25017  
**NOT FOR CONSTRUCTION**

SHEET NUMBER: **DR1.3**

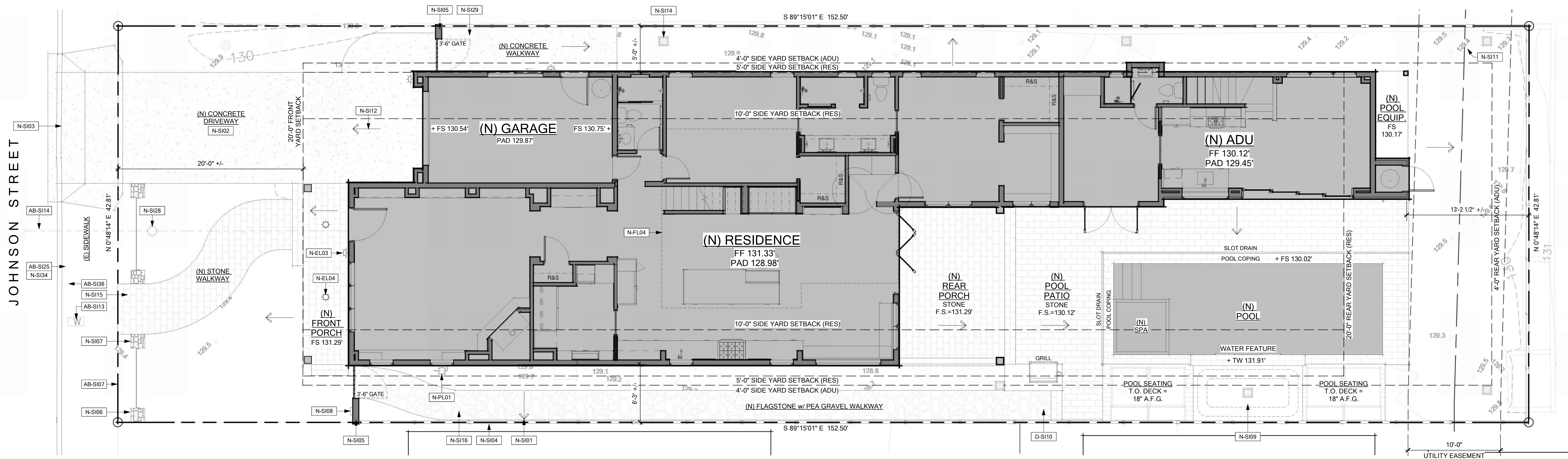


VICINITY MAP  
N.T.S.



NEIGHBORHOOD CONTEXT MAP  
N.T.S.

KEY VALUE	KEYNOTE TEXT
AB-S107	APPROXIMATE LOCATION OF PROPERTY LINE, TYPICAL
AB-S114	EXISTING WATER METER
AB-S113	APPROXIMATE LOCATION OF EXISTING SEWER LATERAL, SEE CIVIL DRAWINGS FOR MORE INFORMATION
AB-S125	EXISTING CONCRETE SIDEWALK AND CURB
AB-S136	EXISTING LIGHT POLE
D-S110	REMOVE EXISTING TREE, TYPICAL. SEE CIVIL DRAWINGS FOR MORE INFORMATION.
N-EL03	'FLY ACHILLES MODERN RUSTIC RECTANGULAR LANTERN' EXTERIOR LIGHT FIXTURE (COLOR: BLACK), TYPICAL
N-EL04	RECESSED CAN LIGHT, TYPICAL
N-FL04	EXTENT OF FLOOR (ABOVE/BELOW), TYPICAL
N-PL01	GAS METER, INSTALL PER PG&E STANDARDS
N-S101	FINISHED GRADE SHALL SLOPE AWAY FROM THE BUILDING AT 5% MINIMUM FOR 10'-0" MINIMUM. IF PARCEL BOUNDARIES OR OTHER OBSTRUCTIONS PREVENT 10'-0" OF SLOPE, PROVIDE AN ALTERNATIVE DRAINAGE METHOD TO DIRECT WATER AWAY FROM THE FOUNDATION. SEE CIVIL DRAWINGS FOR MORE INFORMATION.
N-S102	CONCRETE DRIVEWAY OVER CRUSHED ROCK OVER COMPACTED SUBGRADE, TYPICAL. PROVIDE CONTROL JOINTS AT 10'-0" O.C. MAXIMUM IN EACH DIRECTION, TYPICAL.
N-S103	NEW DRIVEWAY CUT. NOTE: ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY REQUIRES AN ENCROACHMENT PERMIT. SECURE PERMIT PRIOR TO COMMENCING WORK. SEE CIVIL DRAWINGS FOR MORE INFORMATION.
N-S104	6'-0" TALL WOOD FENCE, TYPICAL
N-S105	6'-0" TALL STONE PIERS WITH 3'-6" WIDE CEDAR GATE (COLOR: SHERWIN WILLIAMS SEMI-TRANSPARENT STAIN 3518 HAWTHORNE)
N-S106	3'-0" TALL STONE PIERS WITH STONE CAPS AND 1X4 HORIZONTAL WOOD SLATS WITH 1" GAPS BETWEEN, TYPICAL
N-S107	ILLUMINATED RESIDENCE ADDRESS NUMBERS TO BE LOCATED IN THIS LOCATION. THE NUMBERS SHALL BE VISIBLE FROM BOTH DIRECTIONS OF TRAVEL AND SHALL BE A MINIMUM OF 4 INCHES HIGH WITH A MINIMUM STROKE WIDTH OF 0.5 INCHES ON A CONTRASTING BACKGROUND.
N-S108	ILLUMINATED ADDRESS NUMBERS TO BE LOCATED IN THIS LOCATION. THE NUMBERS SHALL BE VISIBLE FROM BOTH DIRECTIONS OF TRAVEL AND SHALL BE A MINIMUM OF 4 INCHES HIGH WITH A MINIMUM STROKE WIDTH OF 0.5 INCHES ON A CONTRASTING BACKGROUND.
N-S109	BIORETENTION AREA, SEE CIVIL DRAWINGS FOR MORE INFORMATION
N-S111	EXISTING RELOCATED UTILITY POLE
N-S112	SLOPE ALL ADJACENT IMPERVIOUS SURFACES AWAY FROM STRUCTURE AT 2% MINIMUM, TYPICAL. SEE CIVIL DRAWINGS FOR MORE INFORMATION
N-S114	AREA DRAIN, SEE CIVIL DRAWINGS FOR MORE INFORMATION
N-S115	STONE WALKWAY OVER MORTAR BED OVER 4" THICK MIN. CONCRETE WALKWAY OVER 4" OF CRUSHED ROCK OVER COMPACTED SUBGRADE PER SOIL ENGINEER, TYPICAL. PROVIDE CONTROL JOINTS AT 5'-0" O.C. MAXIMUM PERPENDICULAR TO THE LONG DIMENSION OF THE WALKWAY, TYPICAL
N-S116	STEPPING STONE WALKWAY. SET IN PEA GRAVEL WALKWAY WITH 'COR-TEN' STEEL EDGING. STEPPING STONES AND PEA GRAVEL SHALL BE SET OVER 4" OF CRUSHED ROCK OVER COMPACTED SUBGRADE PER SOIL ENGINEER, TYPICAL.
N-S128	APPROXIMATE LOCATION OF RELOCATED DOMESTIC SANITARY SEWER CLEANOUT. SEE CIVIL DRAWINGS FOR MORE INFORMATION
N-S129	4" THICK MIN. CONCRETE WALKWAY OVER CRUSHED ROCK OVER COMPACTED SUBGRADE (PER SOIL ENGINEER), TYPICAL. PROVIDE CONTROL JOINTS AT 5'-0" O.C. MAXIMUM PERPENDICULAR TO THE LONG DIMENSION OF THE WALKWAY, TYPICAL.
N-S134	REMOVE AND REPLACE ALL PORTIONS OF BROKEN, DISPLACED, CRACKED, ETC. SIDEWALK, GUTTER, AND CURB, 1/2-INCH OR GREATER, TYPICAL



1 PROPOSED SITE PLAN  
3/16" = 1'-0"

ALLOWABLE LOT COVERAGE			PROPOSED LOT COVERAGE		
LOT AREA (SF)	ALLOWABLE LOT COVERAGE (%)	ALLOWABLE LOT COVERAGE (SF)	REAR PORCH	RESIDENCE	TOTAL PROPOSED LOT COVERAGE
6,527	35	2,285	199 SF	2,035 SF	2,234 SF

NOTE: PER LOCAL ZONING ORDINANCE, THE ADU SHALL NOT BE INCLUDED IN THE PROPOSED LOT COVERAGE CALCULATION SINCE IT IS LESS THAN OR EQUAL TO 850 SQUARE FEET. SEE PROPOSED LIVING AREA TABULATION ON FLOOR PLAN SHEET FOR ACTUAL AREA OF ADU.

PROJECT: **BATCHELDER RESIDENCE & ADU**  
712 JOHNSON ST  
HEALDSBURG, CA 95448  
APN: 002-053-004

PROJECT NUMBER: 25017

**DR1.4**

PROPOSED SITE PLAN & CONTEXT MAP

NOT FOR CONSTRUCTION

TOWNSEND  
RESIDENTIAL DESIGN  
PO BOX 1629, HEALDSBURG, CA 95448  
PH: 707.235.3155

DATE: \_\_\_\_\_  
DESCRIPTION: \_\_\_\_\_  
NO. \_\_\_\_\_

PLAN DATE & PURPOSE: \_\_\_\_\_

SHEET NUMBER: \_\_\_\_\_

137 of 186

**DOOR and FRAME SCHEDULE**

NO.	OPERATION	FROM ROOM: NAME	TO ROOM: NAME	DOOR		THICKNESS	DOOR MATERIAL	FRAME MATERIAL	REMARKS
				WIDTH	HEIGHT				
1	HINGED	LIVING ROOM	FRONT PORCH	3'-6"	8'-0"	1 3/4"	WOOD	WOOD	STAINED
2	OVERHEAD	GARAGE	EXTERIOR	8'-0"	9'-0"	1 1/2"	WOOD	---	STAINED WITH LITES
3	DOUBLE HINGED	ADU BEDROOM 1	POOL PATIO	6'-0"	8'-0"	1 3/4"	ALUM-CLAD WD.	WOOD	OUTSWING, FULL-HEIGHT GLASS, SEE NOTE #4
4	MULTI-SLIDE	ADU LIVING ROOM	POOL PATIO	12'-0"	8'-0"	1 3/4"	ALUM-CLAD WD.	WOOD	4-PANEL (XXX), FULL-HEIGHT GLASS, SEE NOTE #4
5	BIFOLD	SITTING AREA	REAR PORCH	9'-0"	8'-0"	1 3/4"	ALUM-CLAD WD.	WOOD	FULL-HEIGHT GLASS, SEE NOTE #4
6	HINGED	EXTERIOR	W.H. CLOSET	2'-8"	8'-0"	1 3/4"	FIBERGLASS	WOOD	OUTSWING
7	HINGED	GARAGE	EXTERIOR	3'-0"	8'-0"	1 3/4"	FIBERGLASS	WOOD	---

- NOTES:  
 1. SEE PLANS FOR SWING DIRECTION.  
 2. ALL GLASS IN DOORS SHALL BE TEMPERED, DUAL GLAZED, AND LOW-E.  
 3. DOOR TO BE 'MARVIN ULTIMATE SERIES' (COLOR: BRONZE).

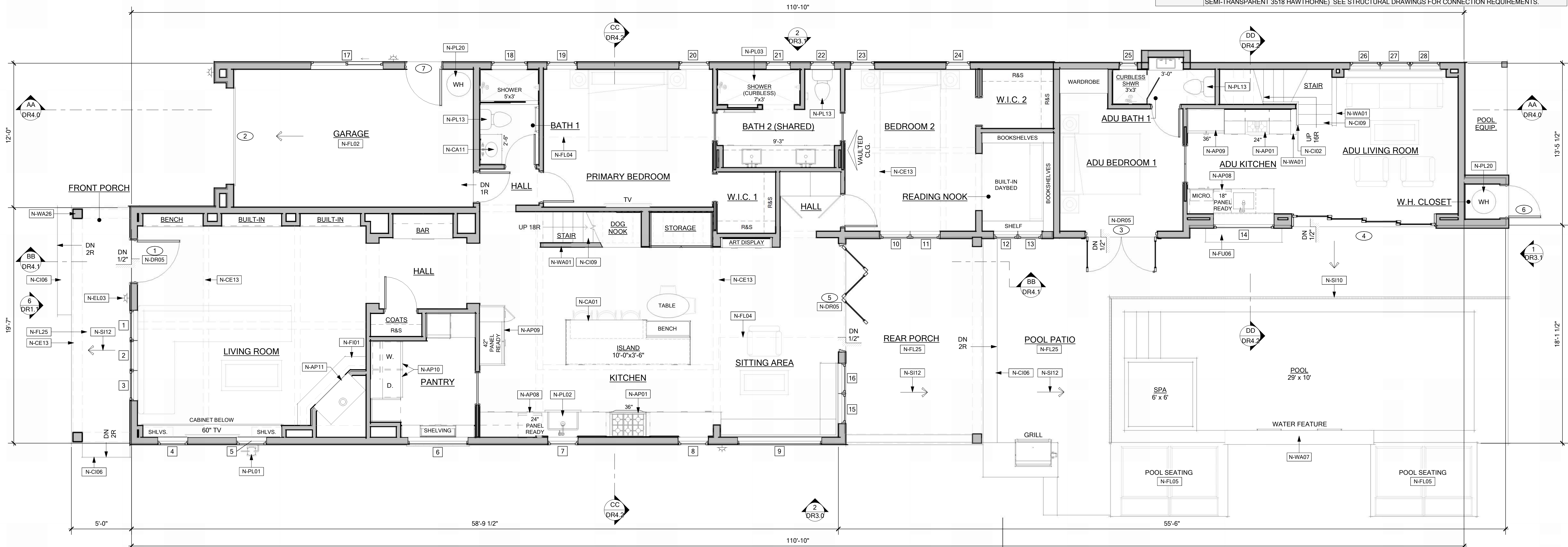
**WINDOW SCHEDULE**

MARK	OPERATION	WINDOW FRAME	IN ROOM	WINDOW				TEMPERED	REMARKS
				WIDTH	HEIGHT	HEAD HEIGHT	SILL HEIGHT		
1	CASEMENT	ALUM-CLAD WD	LIVING ROOM	2'-6"	5'-2"	8'-0"	2'-10"	NO	MULLED
2	FIXED	ALUM-CLAD WD	LIVING ROOM	2'-6"	5'-2"	8'-0"	2'-10"	NO	MULLED
3	CASEMENT	ALUM-CLAD WD	LIVING ROOM	2'-6"	5'-2"	8'-0"	2'-10"	NO	MULLED
4	AWNING	ALUM-CLAD WD	LIVING ROOM	2'-6"	2'-9"	8'-0"	5'-3"	NO	---
5	AWNING	ALUM-CLAD WD	LIVING ROOM	2'-6"	2'-9"	8'-0"	5'-3"	NO	---
6	FIXED	ALUM-CLAD WD	PANTRY	5'-0"	8'-0"	8'-0"	7'-0"	NO	---
7	CASEMENT	ALUM-CLAD WD	KITCHEN	2'-6"	5'-0"	8'-0"	3'-0"	NO	---
8	CASEMENT	ALUM-CLAD WD	KITCHEN	2'-6"	5'-0"	8'-0"	3'-0"	NO	---
9	FIXED	ALUM-CLAD WD	SITTING AREA	7'-0"	1'-0"	8'-0"	7'-0"	NO	---
10	SINGLE HUNG	ALUM-CLAD WD	BEDROOM 2	2'-6"	5'-0"	8'-0"	3'-0"	NO	MULLED
11	SINGLE HUNG	ALUM-CLAD WD	BEDROOM 2	2'-6"	5'-0"	8'-0"	3'-0"	NO	MULLED
12	SINGLE HUNG	ALUM-CLAD WD	READING NOOK	2'-0"	5'-0"	8'-0"	3'-0"	NO	MULLED
13	SINGLE HUNG	ALUM-CLAD WD	POOL PATIO	2'-0"	5'-0"	8'-0"	3'-0"	NO	MULLED
14	AWNING	REDWOOD	ADU KITCHEN	5'-0"	5'-0"	8'-0"	3'-0"	NO	MULLED
15	SINGLE HUNG	ALUM-CLAD WD	REAR PORCH	2'-6"	5'-0"	8'-0"	3'-0"	NO	MULLED
16	SINGLE HUNG	ALUM-CLAD WD	REAR PORCH	2'-6"	5'-0"	8'-0"	3'-0"	NO	MULLED
17	SLIDER	ALUM-CLAD WD	GARAGE	6'-0"	3'-0"	7'-3"	4'-3"	YES	---
18	AWNING	ALUMINUM CLAD WOOD	---	3'-0"	2'-0"	8'-0"	6'-0"	YES	---
19	CASEMENT	ALUM-CLAD WD	PRIMARY BEDROOM	2'-6"	5'-0"	8'-0"	3'-0"	NO	---
20	CASEMENT	ALUM-CLAD WD	PRIMARY BEDROOM	2'-6"	5'-0"	8'-0"	3'-0"	NO	---
21	AWNING	ALUMINUM CLAD WOOD	BATH 2 (SHARED)	2'-0"	4'-0"	8'-0"	4'-0"	YES	---
22	AWNING	ALUMINUM CLAD WOOD	BATH 2 (SHARED)	2'-0"	4'-0"	8'-0"	4'-0"	NO	---
23	CASEMENT	ALUM-CLAD WD	BEDROOM 2	2'-0"	5'-0"	8'-0"	3'-0"	NO	---
24	CASEMENT	ALUM-CLAD WD	BEDROOM 2	2'-0"	5'-0"	8'-0"	3'-0"	NO	---
25	AWNING	ALUMINUM CLAD WOOD	ADU BATH 1	1'-6"	3'-6"	8'-0"	4'-6"	YES	---
26	AWNING	ALUM-CLAD WD	ADU LIVING ROOM	2'-6"	2'-6"	8'-0"	5'-6"	NO	MULLED
27	AWNING	ALUM-CLAD WD	ADU LIVING ROOM	2'-6"	2'-6"	8'-0"	5'-6"	NO	MULLED
28	AWNING	ALUM-CLAD WD	ADU LIVING ROOM	2'-6"	2'-6"	8'-0"	5'-6"	NO	MULLED

- NOTES:  
 1. ALL GLASS IN WINDOWS SHALL BE DUAL-GLAZED AND LOW-E.  
 2. ALL OPERABLE WINDOWS SHALL INCLUDE SCREENS.  
 3. ALL DIVIDED LIGHTS SHALL BE CONSISTENT WITH ELEVATIONS.  
 4. ALL WINDOWS TO BE 'MARVIN ULTIMATE SERIES' (COLOR: BRONZE).

**KEYNOTES**

KEY VALUE	KEYNOTE TEXT
N-AP01	36" RANGE WITH HOOD ABOVE. HOOD TO PROVIDE A MINIMUM EXHAUST RATE PER THE MECHANICAL TABLES ON SHEET AA.1 AND BE VENTED TO THE OUTDOORS. INSTALL RANGE AND HOOD PER MANUFACTURER'S RECOMMENDATIONS. SEE FLOOR PLAN FOR SIZE OF RANGE.
N-AP08	DISHWASHER BELOW COUNTER. VERIFY VERTICAL FIT OF DISHWASHER PRIOR TO INSTALLING COUNTERTOP. INSTALL DISHWASHER PER MANUFACTURER'S RECOMMENDATIONS. SEE FLOOR PLAN FOR SIZE.
N-AP09	REFRIGERATOR. PLUMB FOR WATER SUPPLY. PROVIDE FULL-HEIGHT ENCLOSURE WITH STAINED WALL CABINET (RESIDENCE ONLY). INSTALL REFRIGERATOR PER MANUFACTURER'S RECOMMENDATIONS. SEE FLOOR PLAN FOR SIZE.
N-AP10	WASHER & DRYER. PROVIDE FIBERGLASS PAN BELOW WITH DRAIN TO OUTSIDE. DRYER VENT SHALL BE A MAXIMUM 14'-0" IN LENGTH WITH A MAXIMUM OF TWO 90-DEGREE ELBOWS AND SHALL BE VENTED THROUGH THE ROOF TO THE OUTSIDE. DRYER VENT TERMINATION SHALL NOT BE WITHIN 3'-0" OF ANY OPENING INTO THE BUILDING.
N-AP11	48" SEALED COMBUSTION GAS FIREPLACE WITH THRU-WALL DIRECT VENT. INSTALL PER MANUFACTURER'S RECOMMENDATIONS. SEE GENERAL NOTE ON SHEET AA.1 FOR MORE INFORMATION.
N-CA01	KITCHEN ISLAND WITH BUILT-IN BENCH SEATING. SEE PLAN FOR SIZE.
N-CA11	VANITY WITH COUNTER, SIZE AS INDICATED ON FLOOR PLAN
N-CE13	DROPPED BEAM, WRAPPED WITH 1X CEDAR TRIM (COLOR: SHERWIN WILLIAMS SEMI-TRANSPARENT 3518 HAWTHORNE), TYPICAL. FINISH PER OWNER. SEE STRUCTURAL DRAWINGS FOR MORE INFORMATION.
N-CI02	INTERIOR HANDRAIL, UP 34-38" ABOVE THE STAIR NOSINGS
N-CI06	STONE ON CONCRETE STEP TO GRADE, TYPICAL
N-CI09	INTERIOR WOOD STAIR
N-DR05	RECESSED THRESHOLD AT THIS DOOR. ADJUST HEADER HEIGHT AS NEEDED PER DOOR MANUFACTURER'S RECOMMENDATION.
N-EL03	FLY ACHILLES MODERN RUSTIC RECTANGULAR LANTERN EXTERIOR LIGHT FIXTURE (COLOR: BLACK), TYPICAL
N-FI01	1'-0" HIGH DECORATIVE RAISED STONE HEARTH WITH STONE TOP
N-FL02	CONCRETE GARAGE SLAB OVER 'STEGO INDUSTRIES STEGOHOME' 10-MIL VAPOR BARRIER OVER 4" FREE-DRAINING CRUSHED ROCK OVER COMPACTED SUBGRADE (PER SOIL ENGINEER). INSTALL VAPOR BARRIER PER MANUFACTURER'S RECOMMENDATIONS. SEE STRUCTURAL DRAWINGS FOR MORE INFORMATION. SLOPE TOWARDS GARAGE DOOR AT 1/8" PER FOOT.
N-FL04	EXTENT OF FLOOR (ABOVE/BELOW), TYPICAL
N-FL05	WOOD PLATEFORM AT 18" A.F.G. FOR POOL SEATING, TYPICAL
N-FL25	STONE PAVERS OVER 4" THICK MIN. CONCRETE SLAB OVER CRUSHED ROCK OVER COMPACTED SUBGRADE PER SOIL ENGINEER, TYPICAL
N-FU06	STONE BAR COUNTER (MATERIAL SELECTION BY OWNER) WITH STAINED WOOD BRACKETS
N-PL01	GAS METER, INSTALL PER PG&E STANDARDS
N-PL02	SINGLE-BOWL KITCHEN SINK
N-PL03	TILE SHOWER. PROVIDE SHOWER PAN CONSISTING OF TILE OVER THINSET OVER 'SCHLUTER KERDI' SHOWER KIT SHOWER PAN SYSTEM. SHOWER WALLS SHALL CONSIST OF TILE UP TO CEILING OVER THINSET OVER 'SCHLUTER KERDI' SHOWER KIT SYSTEM. INSTALL ALL 'SCHLUTER' SHOWER KIT COMPONENTS PER THE MANUFACTURER'S RECOMMENDATIONS. SEE PLAN FOR DIMENSIONS OF SHOWER.
N-PL13	WATER CLOSET, MAINTAIN 2'-0" CLEAR IN FRONT OF WATER CLOSET
N-PL20	ELECTRIC TANK-TYPE HEAT PUMP WATER HEATER WITH EXPANSION TANK AND TEMPERATURE & PRESSURE RELEASE (T&P) VALVE. PROVIDE 3/4" DISCHARGE PIPE TO DRAIN TO OUTSIDE AND VENT TO OUTSIDE. STRAP WATER HEATER TO ADJACENT WALL WITH 26 GA. METAL STRAPS PLACED IN TOP AND BOTTOM THIRD OF WATER HEATER. SEE ARCHITECTURAL DETAIL FOR MORE INFORMATION.
N-SI10	SLOT DRAIN W/ METAL GRATE, CONNECTED TO A CLOSED CONDUIT DRAINAGE PIPE (PVC SCHD. 35 OR BETTER), DISCHARGING IN A LOCATION AWAY FROM THE BUILDING FOUNDATION, TYPICAL. DRAIN SHALL NOT BE CONNECTED TO FOUNDATION DRAINS.
N-SI12	SLOPE ALL ADJACENT IMPERVIOUS SURFACES AWAY FROM STRUCTURE AT 2% MINIMUM, TYPICAL. SEE CIVIL DRAWINGS FOR MORE INFORMATION.
N-WA01	HALF-WALL, UP 42" ABOVE FINISHED FLOOR WITH WOOD CAP
N-WA07	POOL WATER FEATURE WITH STONE CAP
N-WA26	10X10 WOOD PORCH COLUMN, WRAPPED WITH STAINED 1X CEDAR TRIM (COLOR: SHERWIN WILLIAMS SEMI-TRANSPARENT 3518 HAWTHORNE) SEE STRUCTURAL DRAWINGS FOR CONNECTION REQUIREMENTS.



1 RESIDENCE AND ADU MAIN FLOOR PLAN  
 1/4" = 1'-0"

**PROPOSED LIVING AREAS**

ADU MAIN FLOOR LIVING AREA	419 SF
ADU UPPER FLOOR LIVING AREA	424 SF
RESIDENCE MAIN FLOOR LIVING AREA	1,779 SF
RESIDENCE UPPER FLOOR LIVING AREA	245 SF
TOTAL PROPOSED LIVING AREA	2,867 SF

**PROPOSED NON-LIVING AREAS**

FRONT PORCH	98 SF
GARAGE	253 SF
POOL EQUIPMENT	35 SF
POOL PATIO	433 SF
REAR PORCH	199 SF
WATER HEATER CLOSET	14 SF
TOTAL NON-LIVING AREA	1,032 SF

DATE: \_\_\_\_\_  
 DESCRIPTION: \_\_\_\_\_  
 PLAN DATE & PURPOSE: \_\_\_\_\_  
 NO. \_\_\_\_\_  
**TOWNSEND**  
 RESIDENTIAL DESIGN  
 PO BOX 1629, HEALDSBURG, CA 95448  
 PH: 707.235.3155

**BATCHELDER RESIDENCE & ADU**  
 712 JOHNSON ST  
 HEALDSBURG, CA 95448  
 APN: 002-053-004

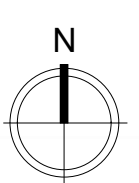
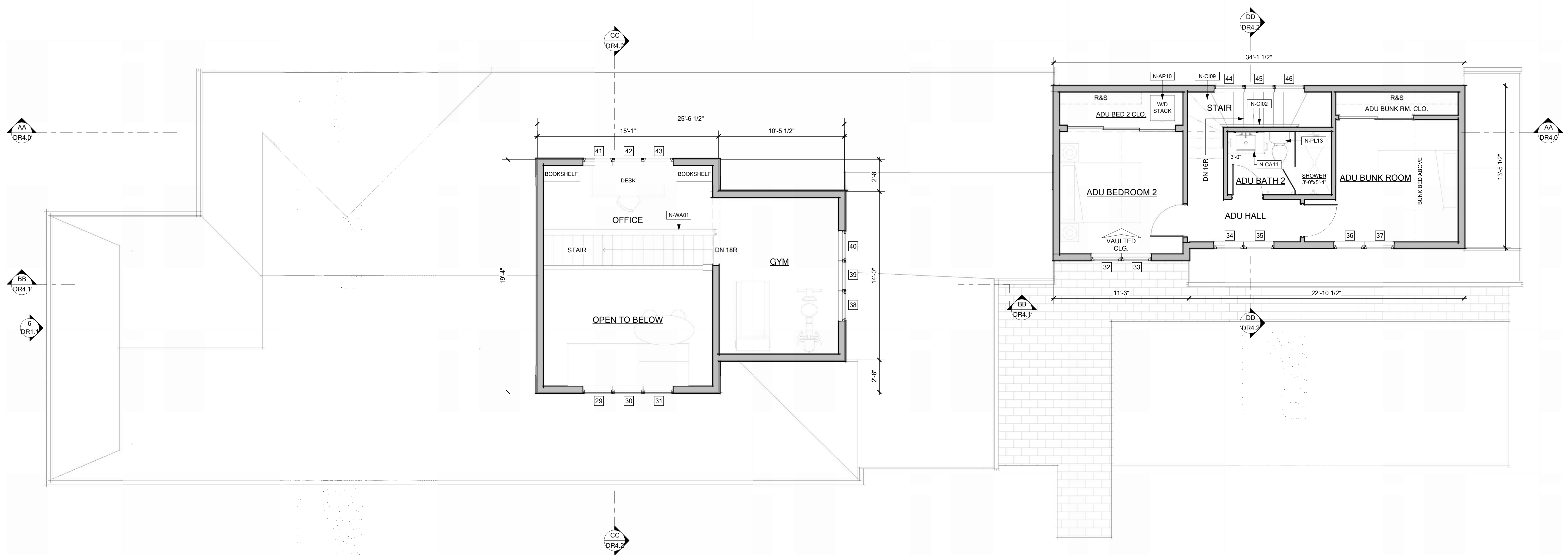
PROJECT: RESIDENCE & ADU MAIN FLOOR PLAN  
 SHEET NUMBER: 25017  
**NOT FOR CONSTRUCTION**

SHEET TITLE: DR2.0

MARK	OPERATION	WINDOW FRAME	IN ROOM	WINDOW				TEMPERED	REMARKS
				WIDTH	HEIGHT	HEAD HEIGHT	SILL HEIGHT		
29	FIXED	ALUM-CLAD WD	OPEN TO BELOW	2'-6"	4'-0"	7'-6"	3'-6"	YES	MULLED
30	FIXED	ALUM-CLAD WD	OPEN TO BELOW	2'-6"	4'-0"	7'-6"	3'-6"	YES	MULLED
31	FIXED	ALUM-CLAD WD	OPEN TO BELOW	2'-6"	4'-0"	7'-6"	3'-6"	YES	MULLED
32	CASEMENT	ALUM-CLAD WD	ADU BEDROOM 2	2'-6"	4'-8"	6'-8"	2'-0"	NO	MULLED
33	CASEMENT	ALUM-CLAD WD	ADU BEDROOM 2	2'-6"	4'-8"	6'-8"	2'-0"	NO	MULLED
34	CASEMENT	ALUM-CLAD WD	ADU HALL	2'-6"	4'-8"	6'-8"	2'-0"	NO	MULLED
35	CASEMENT	ALUM-CLAD WD	ADU HALL	2'-6"	4'-8"	6'-8"	2'-0"	NO	MULLED
36	CASEMENT	ALUM-CLAD WD	ADU BUNK ROOM	2'-6"	4'-8"	6'-8"	2'-0"	NO	MULLED
37	CASEMENT	ALUM-CLAD WD	ADU BUNK ROOM	2'-6"	4'-8"	6'-8"	2'-0"	NO	MULLED
38	CASEMENT	ALUM-CLAD WD	GYM	2'-6"	4'-8"	6'-8"	2'-0"	NO	MULLED
39	FIXED	ALUM-CLAD WD	GYM	2'-6"	4'-8"	6'-8"	2'-0"	NO	MULLED
40	CASEMENT	ALUM-CLAD WD	GYM	2'-6"	4'-8"	6'-8"	2'-0"	NO	MULLED
41	CASEMENT	ALUM-CLAD WD	OFFICE	2'-6"	4'-0"	7'-6"	3'-6"	NO	MULLED
42	FIXED	ALUM-CLAD WD	OFFICE	2'-6"	4'-0"	7'-6"	3'-6"	NO	MULLED
43	CASEMENT	ALUM-CLAD WD	OFFICE	2'-6"	4'-0"	7'-6"	3'-6"	NO	MULLED
44	FIXED	ALUMINUM CLAD WOOD	STAIR	2'-6"	2'-6"	6'-8"	4'-2"	YES	MULLED
45	FIXED	ALUMINUM CLAD WOOD	STAIR	2'-6"	2'-6"	6'-8"	4'-2"	YES	MULLED
46	FIXED	ALUMINUM CLAD WOOD	STAIR	2'-6"	2'-6"	6'-8"	4'-2"	YES	MULLED

- NOTES:
1. ALL GLASS IN WINDOWS SHALL BE DUAL-GLAZED AND LOW-E.
  2. ALL OPERABLE WINDOWS SHALL INCLUDE SCREENS.
  3. ALL DIVIDED LIGHTS SHALL BE CONSISTENT WITH ELEVATIONS.
  4. ALL WINDOWS TO BE 'MARVIN ULTIMATE SERIES' (COLOR: BRONZE).
  5. FENESTRATION SHGC=0.?? AND AVERAGE U-FACTOR=0.???. SEE TITLE 24 ENERGY REPORT FOR MORE INFORMATION.

KEY VALUE	KEYNOTE TEXT
N-AP10	WASHER & DRYER. PROVIDE FIBERGLASS PAN BELOW WITH DRAIN TO OUTSIDE. DRYER VENT SHALL BE A MAXIMUM 14'-0" IN LENGTH WITH A MAXIMUM OF TWO 90-DEGREE ELBOWS AND SHALL BE VENTED THROUGH THE ROOF TO THE OUTSIDE. DRYER VENT TERMINATION SHALL NOT BE WITHIN 3'-0" OF ANY OPENING INTO THE BUILDING.
N-CA11	VANITY WITH COUNTER. SIZE AS INDICATED ON FLOOR PLAN
N-CI02	INTERIOR HANDRAIL, UP 34-38" ABOVE THE STAIR NOSINGS
N-CI09	INTERIOR WOOD STAIR
N-PL13	WATER CLOSET, MAINTAIN 2'-0" CLEAR IN FRONT OF WATER CLOSET
N-WA01	HALF-WALL, UP 42" ABOVE FINISHED FLOOR WITH WOOD CAP



1 RESIDENCE AND ADU UPPER FLOOR PLANS  
1/4" = 1'-0"

PROPOSED LIVING AREAS		PROPOSED NON-LIVING AREAS	
ADU MAIN FLOOR LIVING AREA	419 SF	FRONT PORCH	98 SF
ADU UPPER FLOOR LIVING AREA	424 SF	GARAGE	253 SF
RESIDENCE MAIN FLOOR LIVING AREA	1,779 SF	POOL EQUIPMENT	35 SF
RESIDENCE UPPER FLOOR LIVING AREA	245 SF	POOL PATIO	433 SF
TOTAL PROPOSED LIVING AREA	2,867 SF	REAR PORCH	199 SF
		WATER HEATER CLOSET	14 SF
		TOTAL NON-LIVING AREA	1,032 SF

PUBLISHED: 3/27/2026 5:38:23 PM

SHEET NUMBER: DR2.1

PROJECT NUMBER: 25017

PROJECT TITLE: RESIDENCE & ADU UPPER FLOOR PLANS

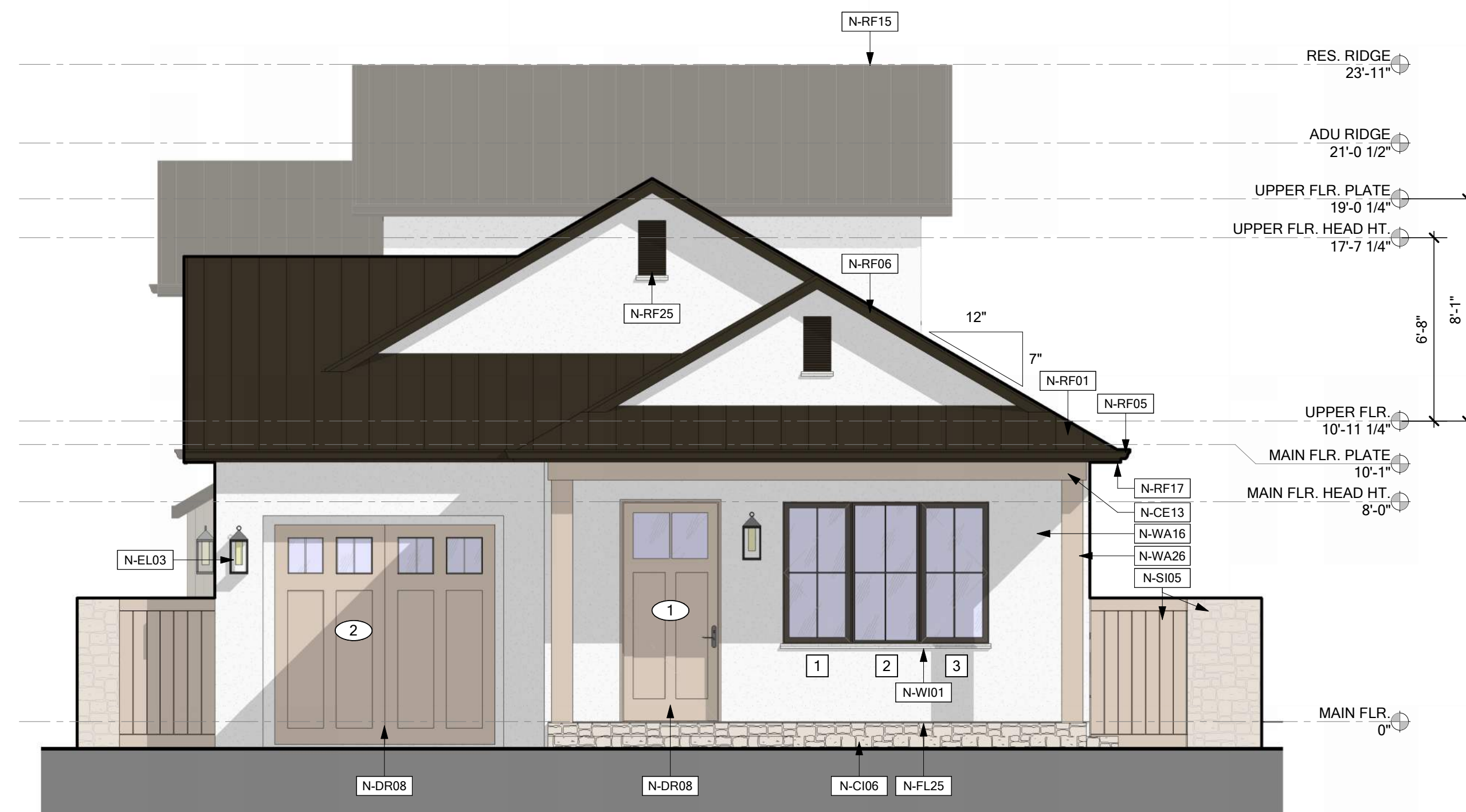
PROJECT: BATCHELDER RESIDENCE & ADU

712 JOHNSON ST  
HEALDSBURG, CA 95448  
APN: 002-053-004

TOWNSEND  
RESIDENTIAL DESIGN  
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PH: 707.235.3155

NOT FOR CONSTRUCTION





1 FRONT (WEST) EXTERIOR ELEVATION  
1/4" = 1'-0"

KEYNOTES	
KEY VALUE	KEYNOTE TEXT
N-CE13	DROPPED BEAM, WRAPPED WITH 1X CEDAR TRIM (COLOR: SHERWIN WILLIAMS SEMI-TRANSPARENT 3518 HAWTHORNE), TYPICAL. FINISH PER OWNER. SEE STRUCTURAL DRAWINGS FOR MORE INFORMATION.
N-CI06	STONE ON CONCRETE STEP TO GRADE. TYPICAL
N-DR08	DOOR SHALL BE STAINED WOOD (COLOR: SHERWIN WILLIAMS SEMI-TRANSPARENT 3518 HAWTHORNE)
N-EL03	FLY ACHILLES MODERN RUSTIC RECTANGULAR LANTERN EXTERIOR LIGHT FIXTURE (COLOR: BLACK), TYPICAL
N-FL25	STONE PAVERS OVER 4" THICK MIN. CONCRETE SLAB OVER CRUSHED ROCK OVER COMPACTED SUBGRADE PER SOIL ENGINEER, TYPICAL
N-FU06	STONE BAR COUNTER (MATERIAL SELECTION BY OWNER) WITH STAINED WOOD BRACKETS
N-PL01	GAS METER, INSTALL PER PG&E STANDARDS
N-PL10	SHOWER CONTROLS, MOUNTED AT HEIGHT INDICATED
N-PL12	SHOWERHEAD, MOUNTED AT HEIGHT INDICATED
N-RF01	WESTERN STATES WESTERN LOCK STANDING SEAM METAL ROOFING (CLASS 'A' MIN., COLOR: BURNISHED SLATE) OVER 1-LAYER OF 'GRACE ICE & WATER SHIELD HT' UNDERLAYMENT (ICC-ES ESR-3121) OVER 'LP TECHSHIELD' RADIANT BARRIER ROOF SHEATHING OVER MANUFACTURED ROOF TRUSSES PER STRUCTURAL DRAWINGS, TYPICAL. INSTALL ROOFING, UNDERLAYMENT AND RADIANT BARRIER PER MANUFACTURER'S RECOMMENDATIONS.
N-RF02	WESTERN STATES WESTERN LOCK STANDING SEAM METAL ROOFING (CLASS 'A' MIN., COLOR: BURNISHED SLATE) OVER 1-LAYER OF 'GRACE ICE & WATER SHIELD HT' UNDERLAYMENT (ICC-ES ESR-3121) OVER STRUCTURAL ROOF SHEATHING OVER RIPPED 2X RAFTERS PER STRUCTURAL DRAWINGS. INSTALL ROOFING AND UNDERLAYMENT PER MANUFACTURER'S RECOMMENDATIONS.
N-RF05	4" OGEE GUTTER OVER 2X6 WOOD FASCIA BOARDS WITH 2"X3" DOWNSPOUTS, CONNECTED TO A CLOSED CONDUIT DRAINAGE SYSTEM, TYPICAL.
N-RF06	2X6 WOOD BARGE BOARD WITH METAL EDGE TRIM, TYPICAL AT GABLE ENDS
N-RF09	STAINED WOOD ROOF BEAM, TYPICAL. SEE ARCHITECTURAL DETAIL FOR MORE INFORMATION
N-RF15	'COR-A-VENT V600T' RIDGE/HIP VENT, TYPICAL AT ALL VENTED METAL ROOF RIDGES/HIPS
N-RF17	1X6 STAINED CEDAR T&G SOFFIT MATERIAL, TYPICAL AT ALL ROOF OVERHANGS
N-RF25	12" X 24" METAL LOUVERED GABLE ATTIC VENT. SEE ATTIC VENTILATION SCHEDULE FOR MORE INFORMATION
N-SI01	FINISHED GRADE SHALL SLOPE AWAY FROM THE BUILDING AT 5% MINIMUM FOR 10'-0" MINIMUM, TYPICAL. IF PARCEL BOUNDARIES OR OTHER OBSTRUCTIONS PREVENT 10'-0" OF SLOPE, PROVIDE AN ALTERNATIVE DRAINAGE METHOD TO DIRECT WATER AWAY FROM THE FOUNDATION. SEE CIVIL DRAWINGS FOR MORE INFORMATION.
N-SI05	6'-0" TALL STONE PIERS WITH 3'-6" WIDE CEDAR GATE (COLOR: SHERWIN WILLIAMS SEMI-TRANSPARENT STAIN 3518 HAWTHORNE)
N-WA09	1X6 'MONTANA TIMBER PRODUCTS RANCHWOOD ARTISAN' THERMALLY-MODIFIED VERTICAL WOOD SIDING (COLOR: ASH) OVER 'BENJAMIN OBDYKE HYDROGAP' DRAINABLE HOUSEWRAP OVER STRUCTURAL SHEATHING, TYPICAL
N-WA16	'STO POWERFLEX' ELASTOMERIC TEXTURED COATING (COLOR: BM IVORY WHITE) OVER TRADITIONAL 3-LAYER STUCCO SYSTEM (7/8" MINIMUM THICKNESS) AND ANTI-CRACK ISOLATION MEMBRANE OVER METAL LATH OVER 2-LAYERS GRADE 'D' BUILDING PAPER OVER STRUCTURAL SHEATHING, TYPICAL U.O.N. INSTALL PER MANUFACTURER'S RECOMMENDATIONS, TYPICAL.
N-WA17	'STELLA NEO' NATURAL LIMESTONE THIN VENEER OVER MORTAR BED OVER METAL LATH OVER 2-LAYERS OF GRADE 'D' BUILDING PAPER OVER STRUCTURAL SHEATHING PER STRUCTURAL DRAWINGS, TYPICAL U.O.N.
N-WA19	1X4 'MONTANA TIMBER PRODUCTS RANCHWOOD ARTISAN' THERMALLY-MODIFIED WOOD TRIM (COLOR: ASH), TYPICAL AT CORNERS, DOORS, AND WINDOWS OF ADU, TYPICAL
N-WA26	10X10 WOOD PORCH COLUMN, WRAPPED WITH STAINED 1X CEDAR TRIM (COLOR: SHERWIN WILLIAMS SEMI-TRANSPARENT 3518 HAWTHORNE) SEE STRUCTURAL DRAWINGS FOR CONNECTION REQUIREMENTS.
N-WI01	PRECAST STONE SILL WITH SLOPED TOP AND 1" EARS, TYPICAL AT ALL WINDOWS IN STUCCO FINISH



2 RIGHT (SOUTH) EXTERIOR ELEVATION  
1/4" = 1'-0"

DATE: \_\_\_\_\_  
DESCRIPTION: \_\_\_\_\_  
NO. \_\_\_\_\_

PLAN DATE & PURPOSE: \_\_\_\_\_

**TOWNSEND**  
RESIDENTIAL DESIGN  
PO BOX 1629, HEALDSBURG, CA 95448  
PH: 707.235.3155

**BATCHELDER RESIDENCE & ADU**  
712 JOHNSON ST  
HEALDSBURG, CA 95448  
APN: 002-053-004

PROJECT: \_\_\_\_\_

EXTERIOR ELEVATIONS

PROJECT NUMBER: 25017

**NOT FOR CONSTRUCTION**

SHEET NUMBER: **DR3.0**

SHEET TITLE: \_\_\_\_\_



1 SCHEMATIC REAR (EAST) EXTERIOR ELEVATION  
1/4" = 1'-0"

KEYNOTES	
KEY VALUE	KEYNOTE TEXT
N-CE13	DROPPED BEAM, WRAPPED WITH 1X CEDAR TRIM (COLOR: SHERWIN WILLIAMS SEMI-TRANSPARENT 3518 HAWTHORNE), TYPICAL. FINISH PER OWNER. SEE STRUCTURAL DRAWINGS FOR MORE INFORMATION.
N-CI06	STONE ON CONCRETE STEP TO GRADE, TYPICAL.
N-EL03	'FLY ACHILLES MODERN RUSTIC RECTANGULAR LANTERN' EXTERIOR LIGHT FIXTURE (COLOR: BLACK), TYPICAL.
N-FL05	WOOD PLATFORM AT 18" A.F.G. FOR POOL SEATING, TYPICAL.
N-FL25	STONE PAVERS OVER 4" THICK MIN. CONCRETE SLAB OVER CRUSHED ROCK OVER COMPACTED SUBGRADE PER SOIL ENGINEER, TYPICAL.
N-RF01	'WESTERN STATES WESTERN LOCK' STANDING SEAM METAL ROOFING (CLASS 'A' MIN., COLOR: BURNISHED SLATE) OVER 1-LAYER OF 'GRACE ICE & WATER SHIELD HT' UNDERLAYMENT (ICC-ES ESR-3121) OVER 'LP TECHSHIELD' RADIANT BARRIER ROOF SHEATHING OVER MANUFACTURED ROOF TRUSSES PER STRUCTURAL DRAWINGS, TYPICAL. INSTALL ROOFING, UNDERLAYMENT AND RADIANT BARRIER PER MANUFACTURER'S RECOMMENDATIONS.
N-RF02	'WESTERN STATES WESTERN LOCK' STANDING SEAM METAL ROOFING (CLASS 'A' MIN., COLOR: BURNISHED SLATE) OVER 1-LAYER OF 'GRACE ICE & WATER SHIELD HT' UNDERLAYMENT (ICC-ES ESR-3121) OVER STRUCTURAL ROOF SHEATHING OVER RIPPED 2X RAFTERS PER STRUCTURAL DRAWINGS. INSTALL ROOFING AND UNDERLAYMENT PER MANUFACTURER'S RECOMMENDATIONS.
N-RF05	4" OGEE GUTTER OVER 2X6 WOOD FASCIA BOARDS WITH 2"X3" DOWNSPOUTS, CONNECTED TO A CLOSED CONDUIT DRAINAGE SYSTEM, TYPICAL.
N-RF06	2X6 WOOD BARGE BOARD WITH METAL EDGE TRIM, TYPICAL AT GABLE ENDS.
N-RF09	STAINED WOOD ROOF BEAM, TYPICAL. SEE ARCHITECTURAL DETAIL FOR MORE INFORMATION.
N-RF15	'COR-A-VENT V600T' RIDGE/HIP VENT, TYPICAL AT ALL VENTED METAL ROOF RIDGES/HIPS.
N-RF17	1X6 STAINED CEDAR T&G SOFFIT MATERIAL, TYPICAL AT ALL ROOF OVERHANGS.
N-RF25	12" X 24" METAL LOUVERED GABLE ATTIC VENT. SEE ATTIC VENTILATION SCHEDULE FOR MORE INFORMATION.
N-SI01	FINISHED GRADE SHALL SLOPE AWAY FROM THE BUILDING AT 5% MINIMUM FOR 10'-0" MINIMUM, TYPICAL. IF PARCEL BOUNDARIES OR OTHER OBSTRUCTIONS PREVENT 10'-0" OF SLOPE, PROVIDE AN ALTERNATIVE DRAINAGE METHOD TO DIRECT WATER AWAY FROM THE FOUNDATION. SEE CIVIL DRAWINGS FOR MORE INFORMATION.
N-WA07	POOL WATER FEATURE WITH STONE CAP.
N-WA09	1X6 'MONTANA TIMBER PRODUCTS RANCHWOOD ARTISAN' THERMALLY-MODIFIED VERTICAL WOOD SIDING (COLOR: ASH) OVER 'BENJAMIN OBDYKE HYDROGAP' DRAINABLE HOUSEWRAP OVER STRUCTURAL SHEATHING, TYPICAL.
N-WA16	'STO POWERFLEX' ELASTOMERIC TEXTURED COATING (COLOR: BM IVORY WHITE) OVER TRADITIONAL 3-LAYER STUCCO SYSTEM (7/8" MINIMUM THICKNESS) AND ANTI-CRACK ISOLATION MEMBRANE OVER METAL LATH OVER 2-LAYERS GRADE 'D' BUILDING PAPER OVER STRUCTURAL SHEATHING, TYPICAL U.O.N. INSTALL PER MANUFACTURER'S RECOMMENDATIONS, TYPICAL.
N-WA26	10X10 WOOD PORCH COLUMN, WRAPPED WITH STAINED 1X CEDAR TRIM (COLOR: SHERWIN WILLIAMS SEMI-TRANSPARENT 3518 HAWTHORNE) SEE STRUCTURAL DRAWINGS FOR CONNECTION REQUIREMENTS.
N-WI01	PRECAST STONE SILL WITH SLOPED TOP AND 1" EARS, TYPICAL AT ALL WINDOWS IN STUCCO FINISH.



2 SCHEMATIC LEFT (NORTH) EXTERIOR ELEVATION  
1/4" = 1'-0"

DATE: \_\_\_\_\_  
DESCRIPTION: \_\_\_\_\_  
NO. \_\_\_\_\_

PLAN DATE & PURPOSE: \_\_\_\_\_

**TOWNSEND**  
RESIDENTIAL DESIGN  
PO BOX 1629, HEALDSBURG, CA 95448  
PH: 707.235.3155

**BATCHELDER RESIDENCE & ADU**  
712 JOHNSON ST  
HEALDSBURG, CA 95448  
APN: 002-053-004

PROJECT: \_\_\_\_\_

EXTERIOR ELEVATIONS

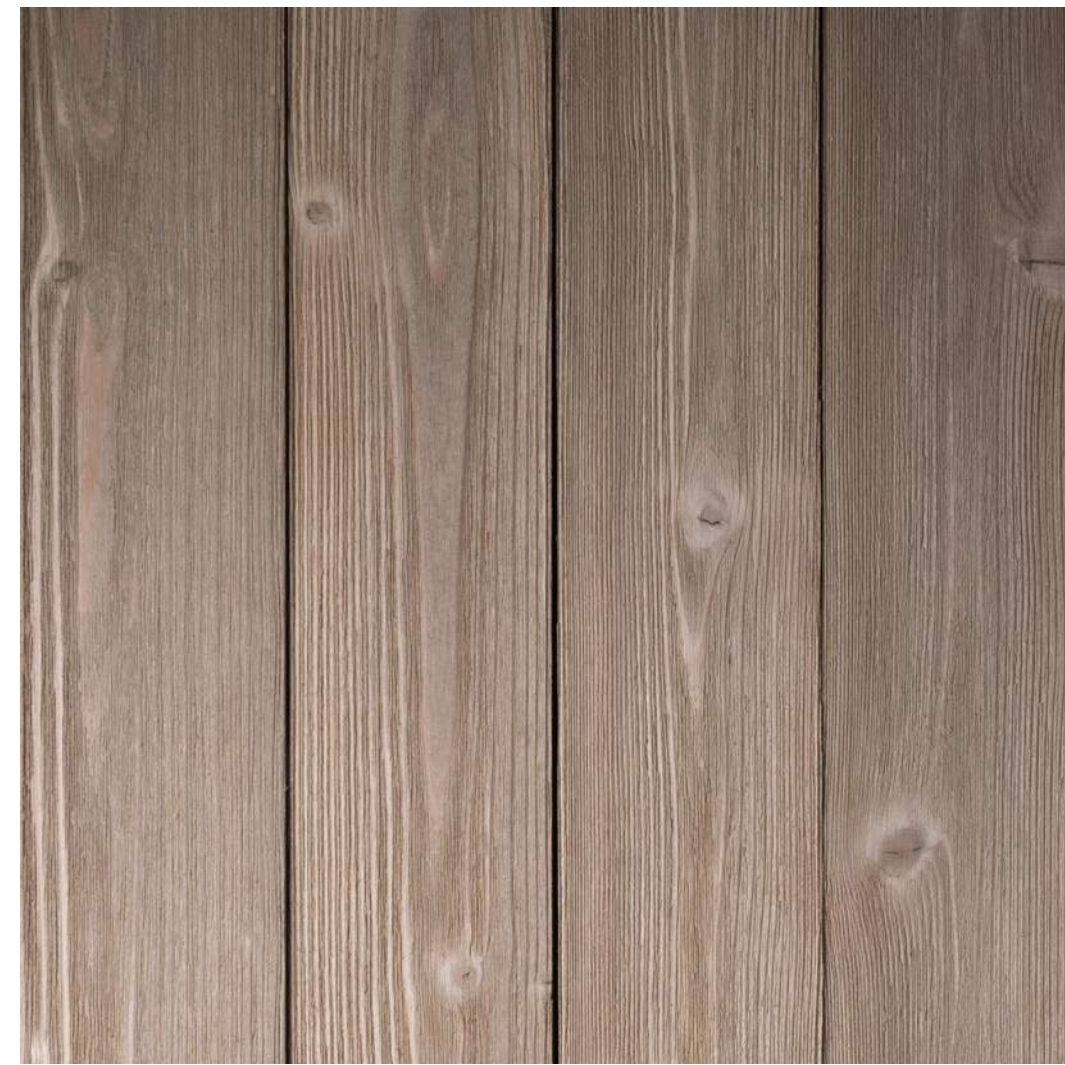
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SHEET NUMBER: 25017

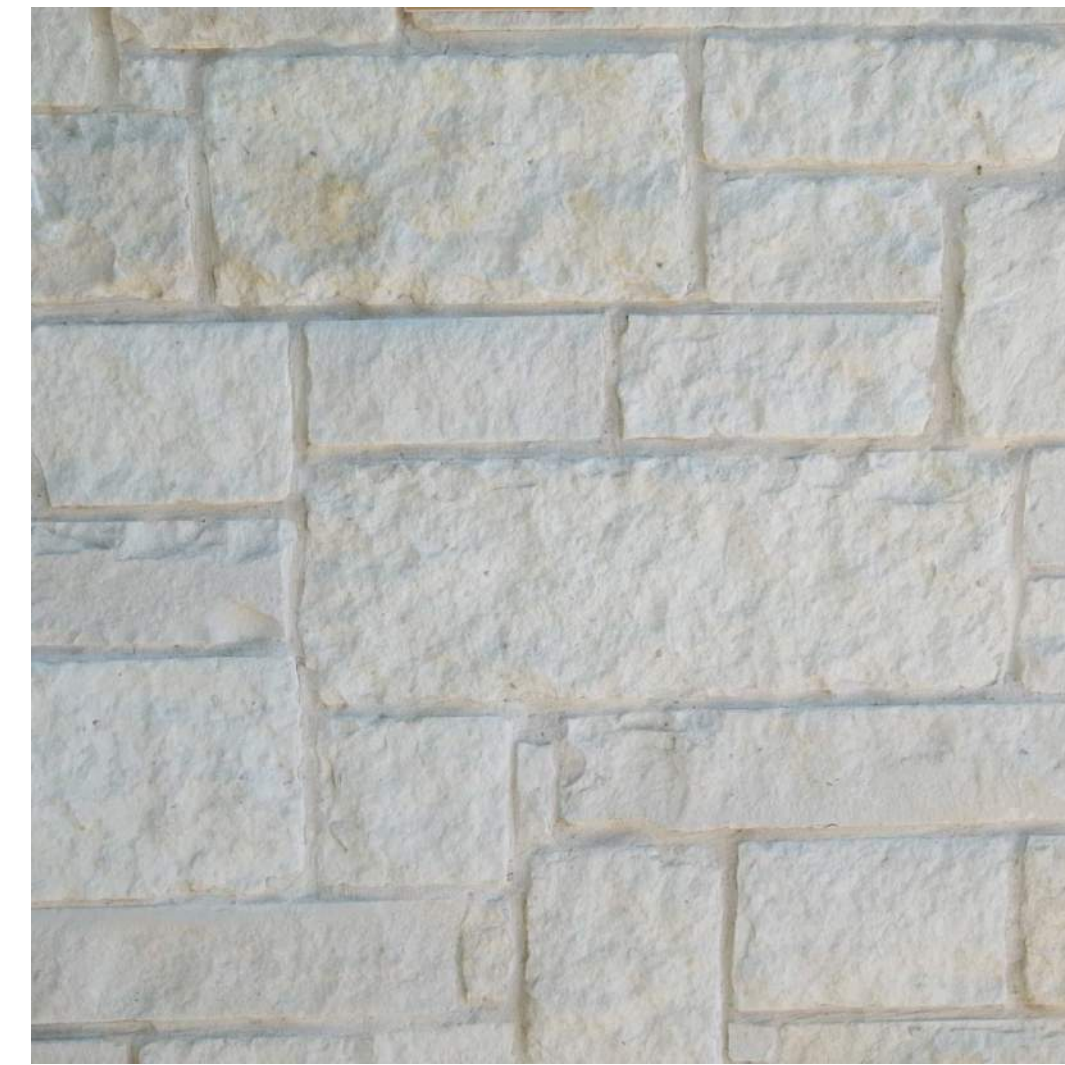
SHEET TITLE: **DR3.1**



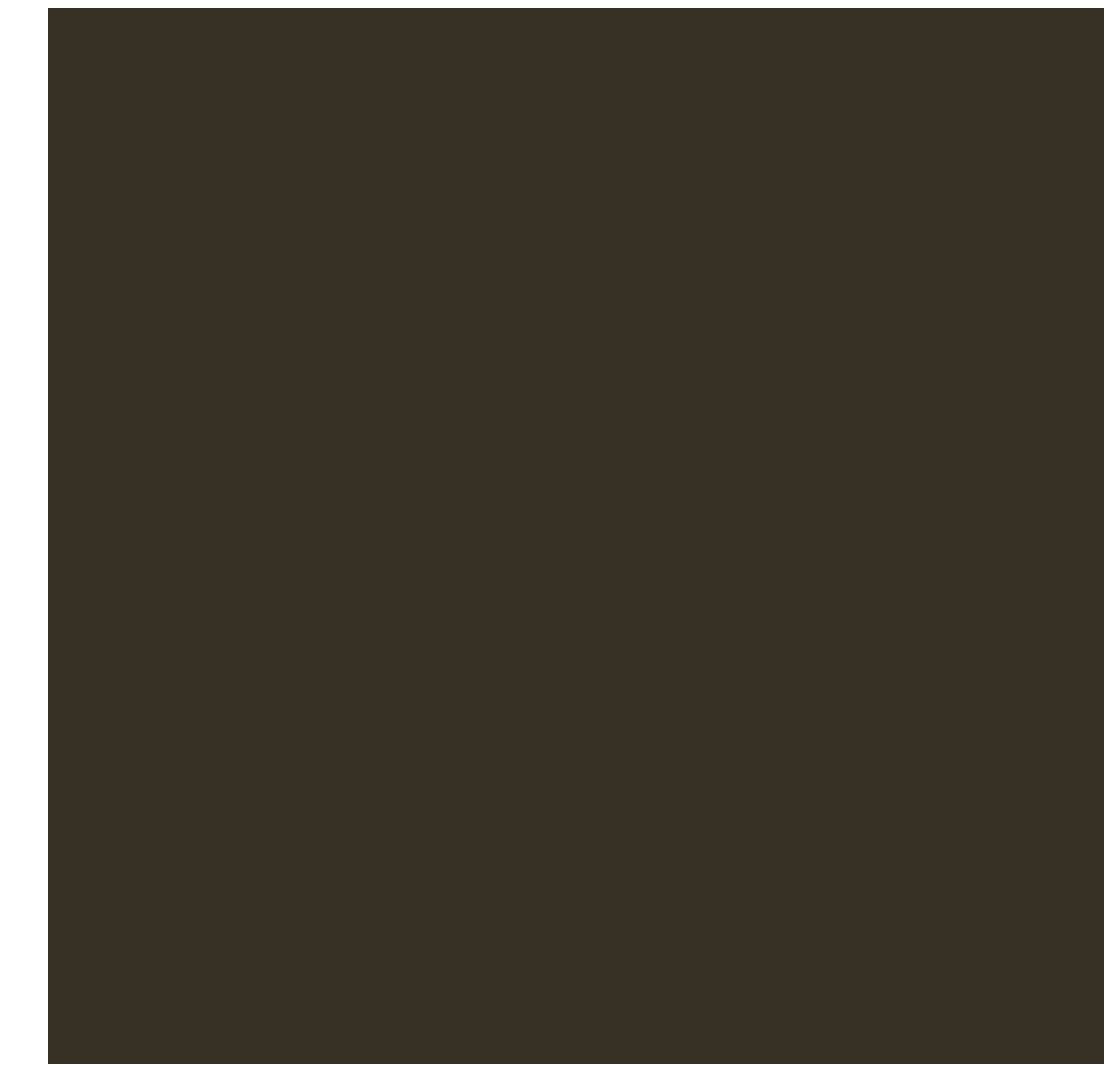
**STUCCO**  
 MANUF: STO  
 PRODUCT: POWERFLEX  
 FINISH: SMOOTH  
 COLOR: BM IVORY WHITE (925)



**VERTICAL SIDING AND TRIM**  
 MANUF: MONTANA TIMBER PRODUCTS  
 PRODUCT: RANCHWOOD ARTISAN  
 COLOR: ASH



**STONE VENEER**  
 'STELLA NEO' NATURAL  
 LIMESTONE THIN VENEER



**ROOFING**  
 MANUF: WESTERN STATES METAL ROOFING  
 PRODUCT: WESTERN LOCK STANDING SEAM  
 COLOR: BURNISHED SLATE



**FRONT PORCH DOOR**  
 MANUF: MARVIN  
 PRODUCT: WOOD ENTRY  
 COLOR: SHERWIN WILLIAMS  
 SEMI-TRANSPARENT STAIN  
 (SW 3518 HAWTHORNE)



**EXTERIOR DOORS**  
 MANUF: MARVIN  
 PRODUCT: ULTIMATE SERIES  
 COLOR: BRONZE



**WINDOWS**  
 MANUF: MARVIN  
 PRODUCT: ULTIMATE SERIES  
 COLOR: BRONZE



**OUTDOOR WALL LIGHT**  
 MANUF: FLY ACHILLES  
 PRODUCT: MODERN RUSTIC  
 RECTANGULAR LANTERN  
 COLOR: BLACK

**SPECIFICATIONS**  
 MATERIAL: DIE-CAST ALUMINUM + GLASS  
 WATERPROOF: IP65  
 COLOR TEMPERATURE: WARM WHITE (3000K)  
 LIGHT SOURCE: LED E27  
 POWER: 9W  
 LUMENS: 858LM  
 POWER SUPPLY: HARDWIRED  
 VOLTAGE: 110-240V  
 COLOR RENDERING INDEX: 80  
 WORKING TEMPERATURE: -25 - 65°C  
 LAMP LIFE (HOURS): 50000  
 LIGHTING AREA: 54 SQ FT - 108 SQ FT

**GARAGE VEHICLE DOOR AND  
 FRONT PORCH COLUMNS & BEAMS**  
 COLOR: SHERWIN WILLIAMS SEMI-  
 TRANSPARENT STAIN (SW 3518  
 HAWTHORNE)



**BIFOLD**  
 (All other door types are similar)



**CASEMENTS**



**AWNINGS**

NO.	DESCRIPTION	DATE

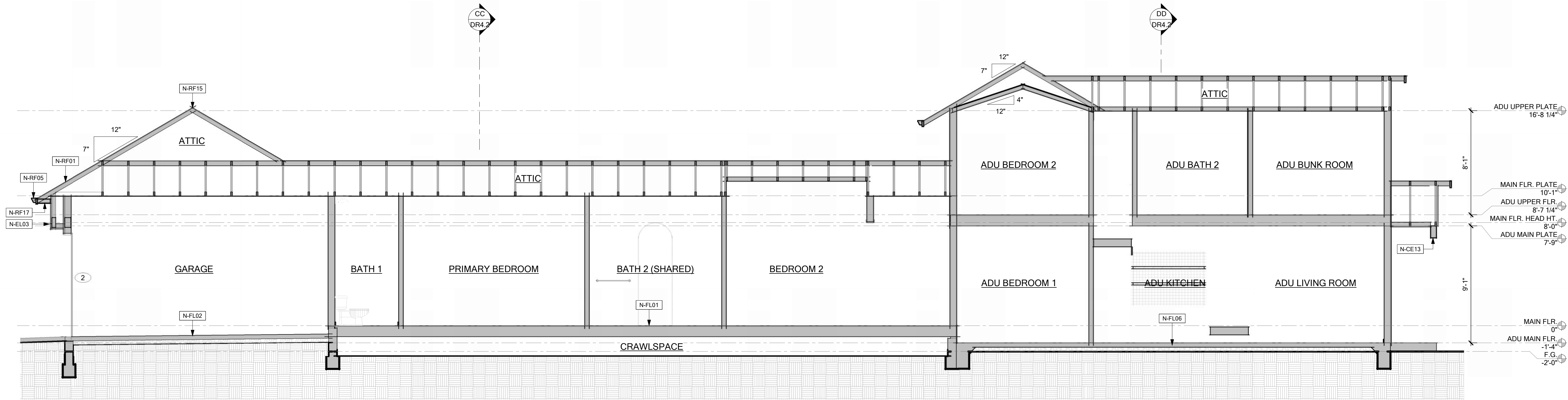
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**BATCHELDER RESIDENCE & ADU**  
 712 JOHNSON ST  
 HEALDSBURG, CA 95448  
 APN: 002-053-004

**EXTERIOR MATERIALS & COLORS**  
 PROJECT NUMBER: 25017  
**NOT FOR CONSTRUCTION**

**DR3.2**

KEYNOTES	
KEY VALUE	KEYNOTE TEXT
N-CE13	DROPPED BEAM, WRAPPED WITH 1X CEDAR TRIM (COLOR: SHERWIN WILLIAMS SEMI-TRANSPARENT 3518 HAWTHORNE), TYPICAL. FINISH PER OWNER. SEE STRUCTURAL DRAWINGS FOR MORE INFORMATION.
N-EL03	'FLY ACHILLES MODERN RUSTIC RECTANGULAR LANTERN' EXTERIOR LIGHT FIXTURE (COLOR: BLACK), TYPICAL
N-FL01	FLOORING PER PLANS OVER 'HUBER ADVANTECH' SUBFLOOR OVER (9 1/2" TJS/11 7/8" TJS/14" TJS/28 3/4" TJS/10") AT 16" o.c., TYPICAL U.O.N. SEE STRUCTURAL DRAWINGS FOR MORE INFORMATION.
N-FL02	CONCRETE GARAGE SLAB OVER 'STEGO INDUSTRIES STEGOHOME' 10-MIL VAPOR BARRIER OVER 4" FREE-DRAINING CRUSHED ROCK OVER COMPACTED SUBGRADE (PER SOIL ENGINEER). INSTALL VAPOR BARRIER PER MANUFACTURER'S RECOMMENDATIONS. SEE STRUCTURAL DRAWINGS FOR MORE INFORMATION. SLOPE TOWARDS GARAGE DOOR AT 1/8" PER FOOT.
N-FL06	FLOORING PER PLANS OVER CONCRETE SLAB PER STRUCTURAL DRAWINGS OVER 'STEGO INDUSTRIES STEGOHOME' 10-MIL VAPOR BARRIER OVER 4" FREE-DRAINING CRUSHED ROCK OVER COMPACTED SUBGRADE PER SOIL ENGINEER. INSTALL VAPOR BARRIER PER MANUFACTURER'S RECOMMENDATIONS. SEE STRUCTURAL DRAWINGS.
N-RF01	'WESTERN STATES WESTERN LOCK' STANDING SEAM METAL ROOFING (CLASS 'A' MIN., COLOR: BURNISHED SLATE) OVER 1-LAYER OF 'GRACE ICE & WATER SHIELD HT' UNDERLAYMENT (ICC-ES ESR-3121) OVER 'LP TECHSHIELD' RADIANT BARRIER ROOF SHEATHING OVER MANUFACTURED ROOF TRUSSES PER STRUCTURAL DRAWINGS. TYPICAL. INSTALL ROOFING, UNDERLAYMENT AND RADIANT BARRIER PER MANUFACTURER'S RECOMMENDATIONS.
N-RF05	4" OGEE GUTTER OVER 2X6 WOOD FASCIA BOARDS WITH 2"X3" DOWNSPOUTS, CONNECTED TO A CLOSED CONDUIT DRAINAGE SYSTEM, TYPICAL.
N-RF15	'COR-A-VENT V600T' RIDGE/HIP VENT, TYPICAL AT ALL VENTED METAL ROOF RIDGES/HIPS
N-RF17	1X6 STAINED CEDAR T&G SOFFIT MATERIAL, TYPICAL AT ALL ROOF OVERHANGS



AA LONGITUDINAL SECTION THRU RESIDENCE  
1/4" = 1'-0"

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712 JOHNSON ST  
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APN: 002-053-004

SECTION 'AA'  
**NOT FOR CONSTRUCTION**

DR4.0  
PROJECT NUMBER: 25017

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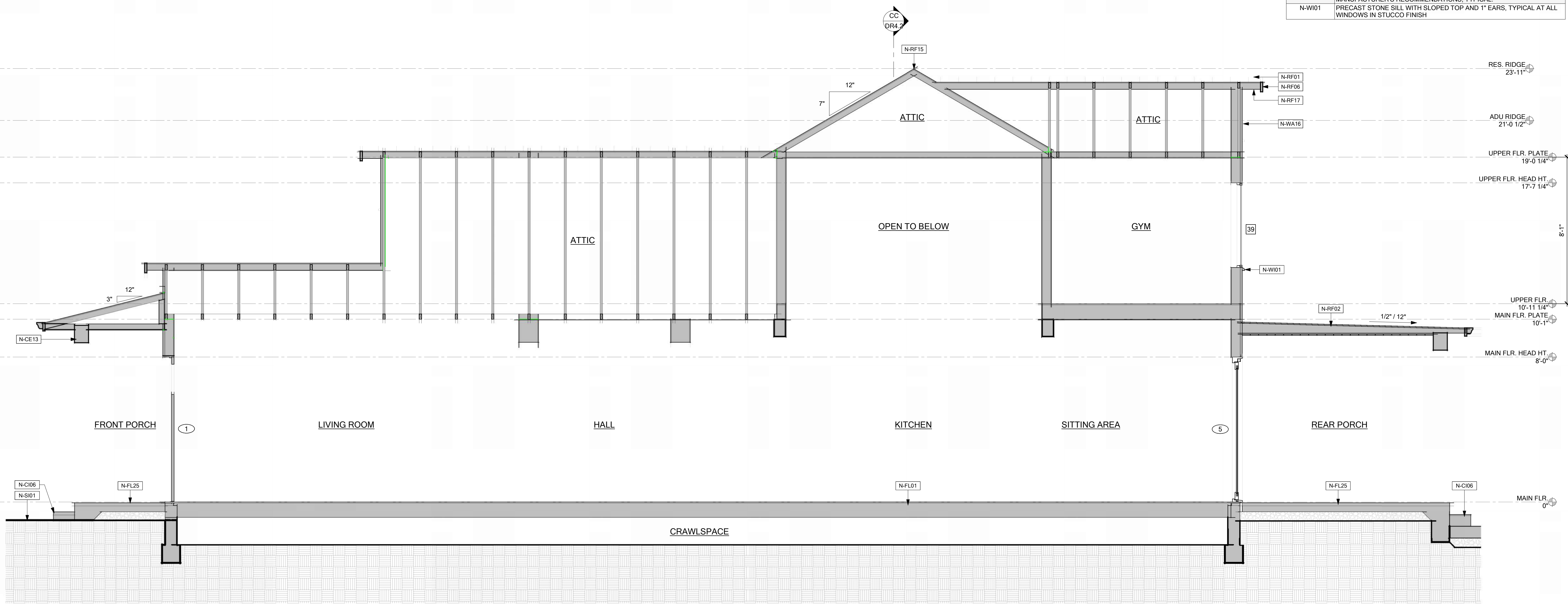
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KEYNOTES	
KEY VALUE	KEYNOTE TEXT
N-CE13	DROPPED BEAM, WRAPPED WITH 1X CEDAR TRIM (COLOR: SHERWIN WILLIAMS SEMI-TRANSPARENT 3518 HAWTHORNE), TYPICAL. FINISH PER OWNER. SEE STRUCTURAL DRAWINGS FOR MORE INFORMATION.
N-C106	STONE ON CONCRETE STEP TO GRADE. TYPICAL
N-FL01	FLOORING PER PLANS OVER 'HUBER ADVANTECH' SUBFLOOR OVER (9 1/2" TJI's/11 7/8" TJI's/14" TJI's/2x8's/2x10's) AT 16" o.c., TYPICAL U.O.N. SEE STRUCTURAL DRAWINGS FOR MORE INFORMATION.
N-FL25	STONE PAVERS OVER 4" THICK MIN. CONCRETE SLAB OVER CRUSHED ROCK OVER COMPACTED SUBGRADE PER SOIL ENGINEER, TYPICAL
N-RF01	'WESTERN STATES WESTERN LOCK' STANDING SEAM METAL ROOFING (CLASS 'A' MIN., COLOR: BURNISHED SLATE) OVER 1-LAYER OF 'GRACE ICE & WATER SHIELD HT' UNDERLAYMENT (ICC-ES ESR-3121) OVER 'LP TECHSHIELD' RADIANT BARRIER ROOF SHEATHING OVER MANUFACTURED ROOF TRUSSES PER STRUCTURAL DRAWINGS, TYPICAL. INSTALL ROOFING, UNDERLAYMENT AND RADIANT BARRIER PER MANUFACTURER'S RECOMMENDATIONS.
N-RF02	'WESTERN STATES WESTERN LOCK' STANDING SEAM METAL ROOFING (CLASS 'A' MIN., COLOR: BURNISHED SLATE) OVER 1-LAYER OF 'GRACE ICE & WATER SHIELD HT' UNDERLAYMENT (ICC-ES ESR-3121) OVER STRUCTURAL ROOF SHEATHING OVER RIPPED 2X RAFTERS PER STRUCTURAL DRAWINGS. INSTALL ROOFING AND UNDERLAYMENT PER MANUFACTURER'S RECOMMENDATIONS.
N-RF06	2X6 WOOD BARGE BOARD WITH METAL EDGE TRIM, TYPICAL AT GABLE ENDS
N-RF15	'COR-A-VENT V600T' RIDGE/HIP VENT, TYPICAL AT ALL VENTED METAL ROOF RIDGES/HIPS
N-RF17	1X6 STAINED CEDAR T&G SOFFIT MATERIAL, TYPICAL AT ALL ROOF OVERHANGS
N-S101	FINISHED GRADE SHALL SLOPE AWAY FROM THE BUILDING AT 5% MINIMUM FOR 10'-0" MINIMUM, TYPICAL. IF PARCEL BOUNDARIES OR OTHER OBSTRUCTIONS PREVENT 10'-0" OF SLOPE, PROVIDE AN ALTERNATIVE DRAINAGE METHOD TO DIRECT WATER AWAY FROM THE FOUNDATION. SEE CIVIL DRAWINGS FOR MORE INFORMATION.
N-WA16	'STO POWERFLEX' ELASTOMERIC TEXTURED COATING (COLOR: BM IVORY WHITE) OVER TRADITIONAL 3-LAYER STUCCO SYSTEM (7/8" MINIMUM THICKNESS) AND ANTI-CRACK ISOLATION MEMBRANE OVER METAL LATH OVER 2 LAYERS GRADE 'D' BUILDING PAPER OVER STRUCTURAL SHEATHING, TYPICAL U.O.N. INSTALL PER MANUFACTURER'S RECOMMENDATIONS, TYPICAL.
N-W101	PRECAST STONE SILL WITH SLOPED TOP AND 1" EARS, TYPICAL AT ALL WINDOWS IN STUCCO FINISH



BB LONGITUDINAL SECTION THRU RESIDENCE  
3/8" = 1'-0"

SHEET NUMBER: <b>DR4.1</b>	PROJECT NUMBER: 25017	PROJECT: <b>BATCHELDER RESIDENCE &amp; ADU</b> 712 JOHNSON ST HEALDSBURG, CA 95448 APN: 002-053-004	TOWNSEND RESIDENTIAL DESIGN PO BOX 1629, HEALDSBURG, CA 95448 PH: 707.235.3155	PLAN DATE & PURPOSE:
				NO. _____
SECTION 'BB'			DATE _____	
<b>NOT FOR CONSTRUCTION</b>			DESCRIPTION _____	



LEGEND

	PROPOSED BUILDING SEE ARCHITECTURAL PLANS		BIDRETENTION AREA
	PROPOSED CONCRETE SEE ARCHITECTURAL PLANS		PROPOSED WALL SEE DESIGN BY OTHERS
	PROPOSED STONE SEE ARCHITECTURAL PLANS		TREE TO BE REMOVED
	GRAVEL SEE LANDSCAPE PLANS		

GRADING AND DRAINAGE NOTES

- REFER TO ARCHITECTURAL AND STRUCTURAL PLANS FOR STRUCTURAL SECTION OF CONCRETE SLABS AND OTHER HARD SCAPE SECTIONS.
- PAD ELEVATIONS BASED ON INFORMATION PROVIDED TO THE ENGINEER AT THE TIME OF GRADING PLAN DEVELOPMENT. PRIOR TO THE COMMENCEMENT OF GRADING OPERATIONS, CONTRACTOR SHALL CONFIRM THAT FINISH FLOOR AND PAD ELEVATIONS CORRESPOND WITH CURRENT ARCHITECTURAL AND STRUCTURAL PLANS.
- DOWNSPOUT LOCATIONS SHOWN ARE APPROXIMATE ONLY AND SHALL BE VERIFIED WITH ARCHITECTURAL PLANS PRIOR TO CONSTRUCTION. DOWNSPOUTS TO BE CONNECTED TO SITE STORM DRAIN SYSTEM OR OUTLETTED TO SPLASH BLOCKS AND DIRECTED TO SWALES AND/OR LANDSCAPE AREAS WITH POSITIVE DRAINAGE AWAY FROM STRUCTURES PER GEOTECHNICAL REPORT AND CURRENT BUILDING CODE.
- NOT SHOWN, CONSULT WITH GEOTECH FOR LOCATION:  
(1) GEOTECH RECOMMENDATIONS FOR FILL PLACEMENT ON EXISTING SLOPES IN EXCESS OF 20%.  
(2) BACKDRAINS AND SUBDRAINS PER GEOTECH REPORT.  
(3) OVEREXCAVATION IN VICINITY OF PROPOSED FOUNDATIONS AND PAVEMENTS.
- INSTALL FOUNDATION SUBDRAINS AND RETAINING WALL BACKDRAINS AS SHOWN ON THE ARCHITECTURAL AND STRUCTURAL PLANS AND AS REQUIRED BY THE GEOTECHNICAL ENGINEER. DO NOT CONNECT BACKDRAINS OR SUBDRAINS TO THE STORM DRAIN OR ROOF LEADER DRAINAGE SYSTEMS.
- DRAINAGE STRUCTURES, CLEANOUTS OR "Y" CONNECTIONS SHALL BE USED AS APPROPRIATE AT STORM DRAIN ALIGNMENT DEFLECTIONS OR JUNCTIONS OF INTERSECTING DRAIN LINES TO FACILITATE MAINTENANCE.
- ALL PAVED AND UNPAVED FINISHED SURFACES SHALL BE POSITIVELY DRAINED.
- ALL WALKING SURFACES ADJACENT TO DROPS IN ELEVATION GREATER THAN 30 INCHES REQUIRES GUARDRAILS PER THE BUILDING CODE. THE 30 INCH VERTICAL MEASUREMENT APPLIES TO ANY POINT WITHIN 36 INCHES MEASURED HORIZONTALLY FROM THE EDGE OF THE OPEN SIDE OF THE WALKING SURFACE. GUARD RAIL DESIGN SHALL BE BY OTHERS.
- ALL WORK SHALL COMPLY WITH BEST MANAGEMENT PRACTICES TO PREVENT STORM WATER CONTAMINATION.
- SEE ARCHITECTURAL DRAWINGS FOR FENCE INFORMATION.

CONSTRUCTION NOTES

- REMOVE AND REPLACE ALL PORTIONS OF BROKEN, DISPLACED, CRACKED, ETC., SIDEWALK, CURB, AND GUTTER, 1/2-INCH OR GREATER, ALONG JOHNSON STREET PROPERTY FRONTAGE PER CITY STANDARDS.
- REMOVE AND REPLACE EX. DAMAGED AND NON-CITY STANDARD DRIVEWAY APPROACH

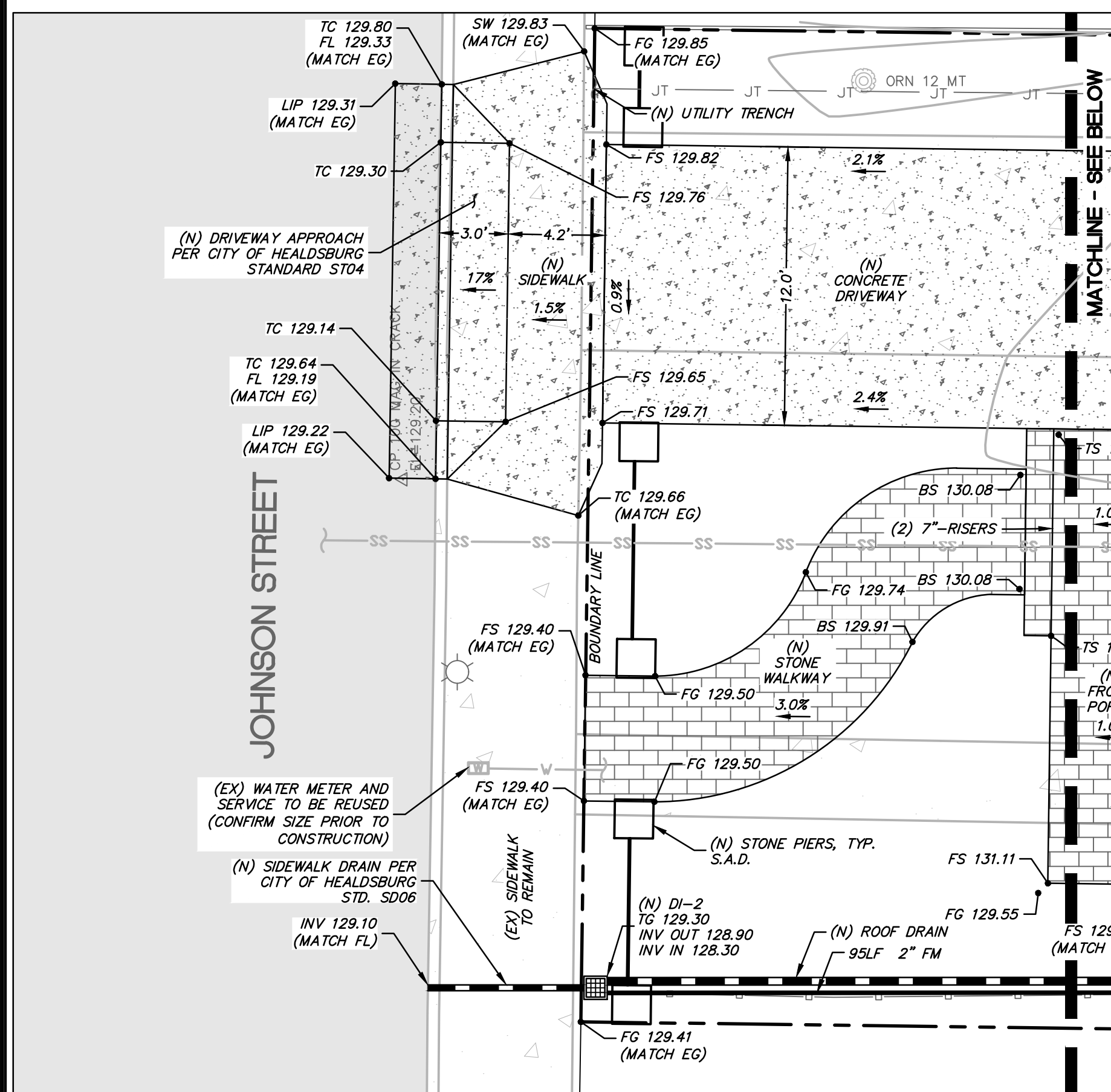
DRAINAGE SCHEDULE

DI-1	18"x18" OLDCASTLE PRECAST CONCRETE INLET WITH SUMP PUMP (PUMP BY OTHERS), OR APPROVED EQUAL
DI-2	12" NDS CATCH BASIN AREA DRAIN WITH PEDESTRIAN RATED GRATE, OR APPROVED EQUAL
DI-3	12"x12" OLDCASTLE PRECAST CONCRETE INLET WITH AN OPEN BOTTOM, OR APPROVED EQUAL
TD-1	ACO BRICKSLOT 100 TRENCH DRAIN, OR APPROVED EQUAL

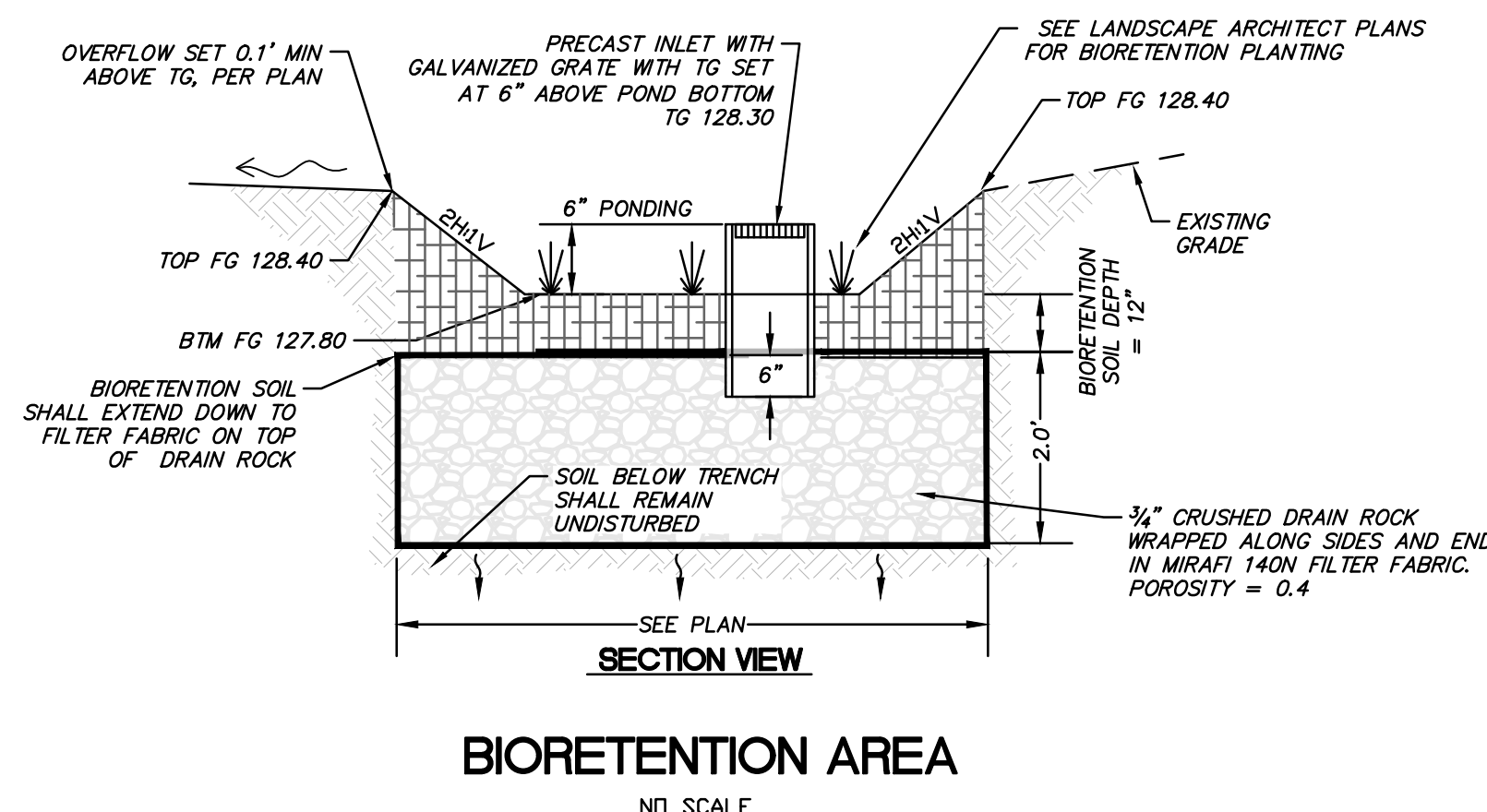
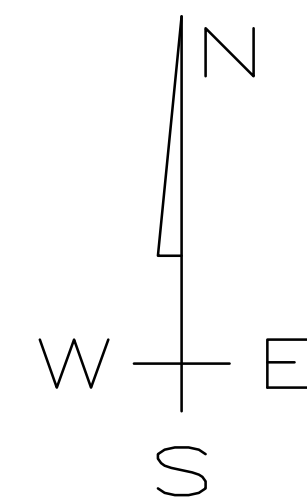
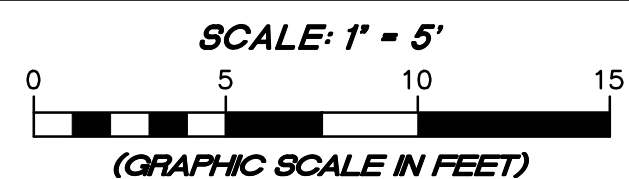
ALL ROOF LEADERS SHALL BE 4" PVC SDR-35 OR APPROVED EQUIVALENT, WITH 6" MIN COVER AND 1.5% MIN SLOPE, UNLESS NOTED OTHERWISE.

ALL STORM DRAIN PIPE TO BE 6" AND HDPE DUAL WALL, OR APPROVED EQUIVALENT, WITH 6" MIN COVER AND 1.5% MIN SLOPE, UNLESS NOTED OTHERWISE.

ALL FOUNDATION AND RETAINING WALL BACKDRAINS SHALL BE PER STRUCTURAL PLANS AND GEOTECHNICAL REPORT, UNLESS OTHERWISE NOTED. DO NOT CONNECT FOUNDATION OR RETAINING WALL BACKDRAINS TO THE STORM DRAIN, CRAWLSPACE, OR ROOF LEADER DRAINAGE SYSTEMS.

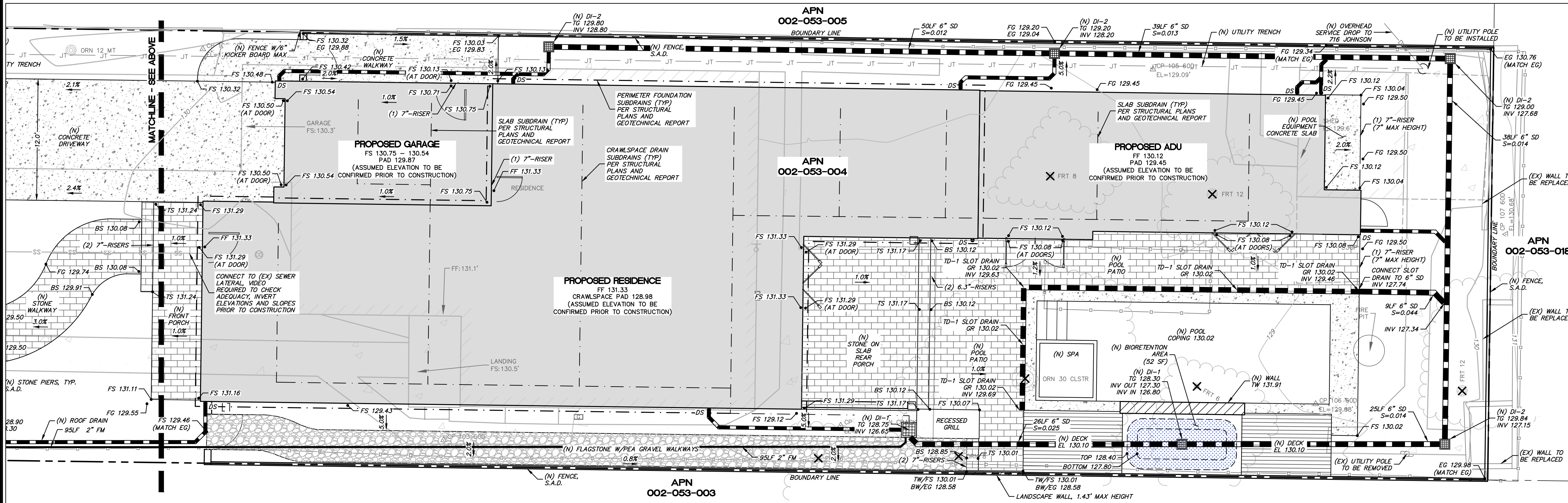


GRADING AND DRAINAGE PLAN



BIORETENTION AREA

NO SCALE



APN 002-053-003

**MUNSELLE CIVIL ENGINEERING**  
 CIVIL ENGINEERING & SURVEYING  
 515 CENTER STREET  
 HEALDSBURG, CA 95448  
 (707) 360-0868

**MCF**  
 CIVIL ENGINEERING

REGISTERED PROFESSIONAL ENGINEER - CIVIL  
 COURT L. MUNSELLE  
 No. 69941

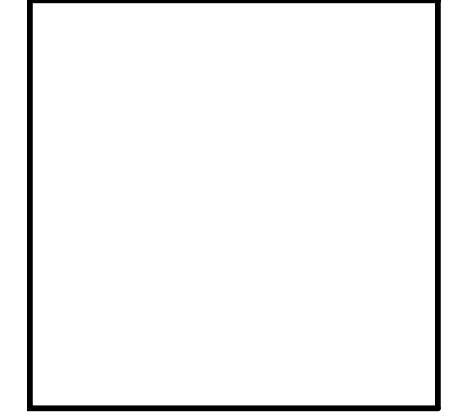
DATE: JANUARY 26, 2026  
 JOB NO.: 226-25  
 SHEET NO.: 1 OF 1 SHEETS

P:\MCE JOBS\2025\226-25 712 JOHNSON STREET DWGS\226-25 DR.DWG 1/26/2026 4:03 PM GE

REV	DATE	Item

**STUDIO REALE**  
 604 Bianca Lane  
 Healdsburg, CA 95448  
 (707) 431-7158  
 www.studioreale.com

These drawings & designs are the property of the Landscape Designer and no part thereof shall be copied or used in connection with any other work or project without the written consent of Studio Reale.



**FRONT YARD DESIGN**  
**KIM AND TRACY BATCHELDER**  
**712 JOHNSON STREET**  
 HEALDSBURG, CA  
 95448

JOB NO.: \_\_\_\_\_  
 DATE: 03/13/26  
 SCALE: 1/8" = 1'-0"  
 DRAWN BY: cmr  
 CHECKED BY: \_\_\_\_\_  
 CAD FILE: \_\_\_\_\_DWG

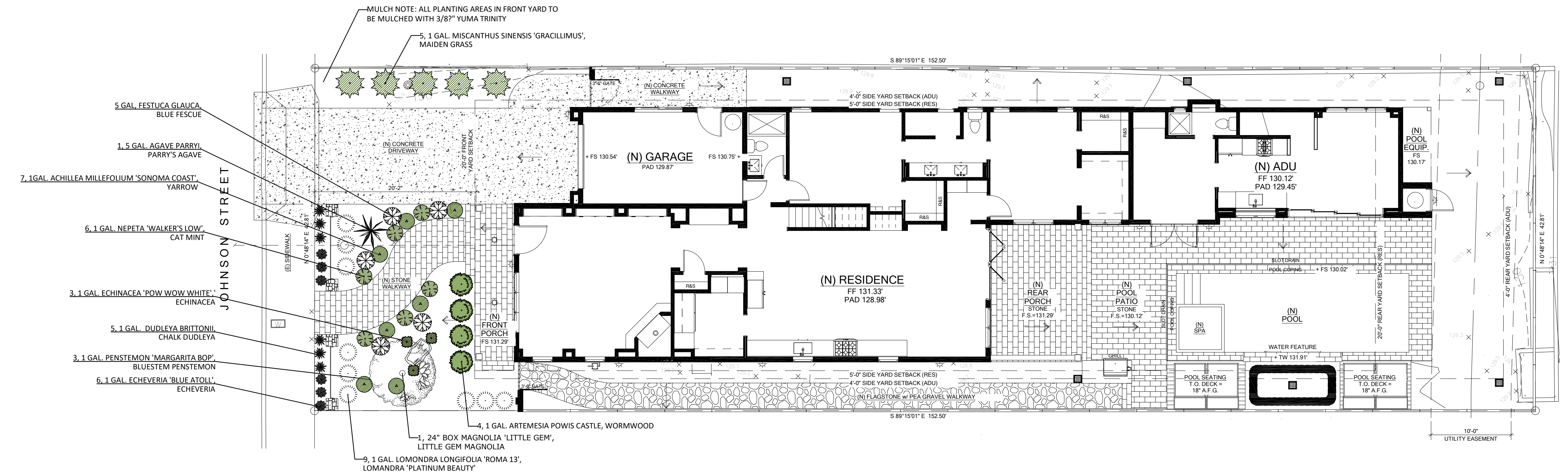
**L.1**

**PLANT LIST**  
 Batchelder Front Yard Design | 712 Johnson Street, Healdsburg, CA | 03.13.26

QTY	SIZE	BOTANICAL NAME	COMMON NAME	WUCOLS WATER USE	REMARKS
1	24" BOX	<i>Magnolia grandiflora</i> 'Little Gem'	Little Gem Magnolia	M	Evergreen; screen/accent. Zone separately.
9	1 GAL.	<i>Lomandra longifolia</i> 'Roma 13'	Lomandra 'Platinum Beauty'	L	Drought tolerant once established.
4	1 GAL.	<i>Artemisia 'Powis Castle'</i>	Wormwood	VL	Silver-gray foliage; prune lightly in spring.
5	1 GAL.	<i>Miscanthus sinensis</i> 'Gracillimus'	Maiden Grass	M	Cut back to 6" in late winter.
1	5 GAL.	<i>Festuca glauca</i>	Blue Fescue	L	Blue-gray; divide every 2-3 yrs.
1	5 GAL.	<i>Agave parryi</i>	Parry's Agave	VL	Structural accent; excellent drainage req'd.
7	1 GAL.	<i>Achillea millefolium</i> 'Sonoma Coast'	Yarrow	VL	CA native; deadhead to extend bloom.
6	1 GAL.	<i>Nepeta 'Walker's Low'</i>	Cat Mint	L	Cut back by 1/2 after first bloom flush.
3	1 GAL.	<i>Echinacea 'Pow Wow White'</i>	Echinacea	L	Leave seed heads for birds in fall.
5	1 GAL.	<i>Dudleya brittonii</i>	Chalk Dudleya	VL	CA native succulent; no summer water.
3	1 GAL.	<i>Penstemon 'Margarita BOP'</i>	Bluestem Penstemon	L	CA native; hummingbird attractor.
6	1 GAL.	<i>Echeveria 'Blue Atoll'</i>	Echeveria	VL	Blue-gray rosette; excellent drainage req'd.
51	<b>TOTAL PLANTS</b>				

**WUCOLS WATER USE LEGEND**  
 VL = Very Low | L = Low | M = Moderate | H = High | Based on WUCOLS IV, UC Cooperative Extension, Sunset Zone 14 / CIMIS Zone 4, Healdsburg CA

Contractor to verify all quantities against plan prior to ordering. All plants to be installed per standard horticultural practice. Scale: 1/16" = 1' | Sheet: PL-1



front yard design and plant plan



**CITY OF HEALDSBURG  
PLANNING COMMISSION  
AGENDA STAFF REPORT**

**MEETING DATE:** May 12, 2026

**SUBJECT:** Major Design Review Application and Major Variance Application for Petruzella Personal Storage facility located at 1501 Grove Street

**PREPARED BY:** Jeff Fisher, Assistant Planner

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**RECOMMENDED ACTION(S):**

It is recommended that the Planning Commission adopt a resolution approving Major Design Review Application DR-0001-2026 and Major Variance Application VAR-0001-2026 for an unmanned personal storage facility located at 1501 Grove Street based on the suggested findings included in this report and subject to the attached recommended conditions of approval.

---

**PROJECT DESCRIPTION:**

The applicant is proposing to construct a personal storage facility consisting of 142 individual storage units totaling 25,520 square feet of building area. All the buildings on the site will be single-story with outdoor access only. The facility is designed for direct-to-unit access, meaning there will be no need for any on-site parking or employees. Tenants will be able to enter the property from Grove Street via an electronic automated gate and drive directly to their specific outdoor storage unit. The site will include video security cameras, ample outdoor lighting, and fire sprinklers. Electricity will not be provided to the individual storage units. According to the applicant, the facility will operate daily from sunrise to sunset. Tenant access to the site will be provided by either a punch-code system or card reader.

Due to the fact that there will not be any employees, and tenant parking is available at each storage unit, the proposed plan does not include any on-site parking. Therefore, the applicant is requesting a variance to the required parking standards to waive the parking requirement for personal storage facilities.

**SITE & VICINITY DESCRIPTION:**

The 1.69-acre project site is located on the west side of Grove Street, north of Dry Creek Road. The site is generally level and does not contain any trees. Adjacent land uses include Highway 101 to the west; a personal storage facility to the north; industrial uses to the east across Grove Street; and industrial uses to the south. The previous use of the site was a vineyard.

**REVIEW PROCESS:**Design Review

Through the Design Review process, the Planning Commission is tasked with ensuring that new development is attractive and enhances the appearance of the community, that the best possible traffic circulation is obtained, that the design and layout of new development is in scale and character with surrounding uses, and that new development complies with the Healdsburg General Plan, the Land Use Code, and the Citywide Design Guidelines. Major Design Review approval by the Planning Commission is required pursuant to Section 20.28.105(B)(1) of the Land Use Code (LUC) for new industrial development projects involving major changes to a vacant site.

Variance

Variations are permitted to prevent or lessen such practical difficulties and unnecessary physical hardships inconsistent with the objectives of the LUC as would result from a strict or literal interpretation and enforcement of certain regulations prescribed by the Code. The Planning Commission is tasked with making the findings for variance approval in the affirmative in order to approve the project. The findings for approval are included in LUC Section 20.28.230. In addition to the standard findings for approval for a variance, the LUC also includes additional specific findings for a variance to the parking standards. A discussion of the variance is included below.

**APPLICABLE GENERAL PLAN AND LAND USE CODE INFORMATION**General Plan

The project site is located in the Industrial (I) land use designation in an area that is predominately industrial uses along a large portion of Grove Street between Dry Creek Road and the intersection of Grove Street and Chiquita Road. This designation provides for industrial parks, manufacturing, warehouses, offices, personal storage, and other similar uses. The proposed storage facility is consistent with the uses contemplated in the Industrial land use designation and furthers the following General Plan policy:

*Policy CD-A-1: The City will encourage building design of high quality that is in scale with adjacent development and that harmonizes with surrounding development.*

The proposed structures have been designed in a similar architectural vernacular of recently constructed personal storage facilities along Grove Street and other areas of the City.

Land Use Code

The Industrial (I) zoning district designation implements the Industrial land use designation of the Healdsburg General Plan. The special purposes of the district include:

- A. *Implement the Industrial land use designation of the Healdsburg General Plan.*
- B. *Accommodate a range of manufacturing, production, warehousing, wholesaling, distribution, maintenance and repair uses.*
- C. *Accommodate non-industrial uses whose operations require large amounts of floor and/or site areas.*
- D. *Accommodate on-site housing for employees.*

- E. Control the operating characteristics of uses that may otherwise generate objectionable visual impacts, noise, odors, insect nuisances, dust, dirt, smoke, vibration, heat, cold or glare, and/or create a risk of fire, explosion, noxious fumes, radiation or other hazards.
- F. Protect areas of the city that are suitable for industrial and heavy commercial uses from encroachment by uses that could readily be located in commercial zoning districts.
- G. Promote a mix of uses that provides the city with a sound and diverse industrial base.

The proposed project is consistent with the special purposes of the Industrial zoning district listed above. A personal storage facility is a specifically listed use type permitted in the Industrial zoning district. A conditional use permit is not required for this type of use.

Based on the plan set submitted for the project (Attachment 3), the proposed development is consistent with the Industrial zoning district with regard to floor area ratio, setbacks, and height as noted in Table 1 below. A discussion of these and additional LUC elements is provided within the following sections of this report.

Table 1			
Land Use Code Development Standards			
Standard	Required	Proposed	Conforms
<b>Max Floor Area Ratio (FAR)</b>	.50	.50	Yes.
<b>Minimum Building Setbacks</b>			
Front Setback	15'	15'	Yes.
Side Setback (North)	0'	10'	Yes.
Side Setback (South)	0'	1'	Yes.
Rear Setback	10'	10'	Yes.
<b>Max Height</b>	50'	11'	Yes.
<b>Parking</b>	3	0	No – See Variance request

Vehicle Access and Circulation: Vehicle access to the site will be via a private driveway directly from Grove Street. The project has been designed to incorporate a loop-style circulation plan through the project site. Vehicles will enter at the driveway on the north side of the site, then continue to their respective storage unit via three paved interior drive aisles. Egress from the site is at the same location as the ingress where vehicles may exit back onto Grove Street.

The access, driveways, and circulation improvements are consistent with the standards of the LUC and have been determined to be adequate by the City’s Fire and Public Works Departments.

Parking and Loading: As noted above, the applicant is requesting a variance of the parking standards to waive the required parking. Per LUC parking standards, the use would require one space per 10,000 square feet of gross floor area which equates to three parking spaces.

Loading and unloading of the actual storage units will be done in front of or adjacent to each unit. Drive aisles throughout the property are 20-feet wide, which exceed the requirements for a 2-way

drive aisle by five feet, leaving enough room for vehicles to maneuver around any cars or trucks that are parked for loading. For a storage facility of this size, the land use code requires two loading areas. Due to the nature of the business and the design of the site, loading areas are provided throughout the project site adjacent to the storage buildings and therefore satisfy this requirement.

Due to the fact that there will not be any employees, and tenant parking is available at each storage unit, the proposed plan does not include any on-site parking. Therefore, the applicant is requesting a variance to the required parking standards to waive the parking requirement for storage facilities. The variance request is discussed below.

Lighting: The LUC requires that parking areas designed to accommodate three or more vehicles shall have lighting facilities capable of providing sufficient illumination at every point of the parking area. The plan set contains a photometric plan which identifies the location of proposed lighting fixtures and the extent to which said fixtures illuminate the site. As shown on the plan, the proposed area and wall mounted lighting provides adequate illumination to all points of the facility consistent with the standards of the LUC.

Landscaping: The project includes significant landscaping along the Grove Street frontage and the southern boundary. The proposed landscaping and associated areas have been evaluated for conformance with the City's Water Efficient Landscape Ordinance (WELo) and the preliminary calculations comply with the WELo requirements. Bioretention areas have been incorporated into the planting areas. Plantings within these areas include trees, shrubs, and ground covers. A final landscape plan is required with the submittal of the building permit plans. The preliminary landscape plan is included in the plan set (Attachment 3).

Drainage and Stormwater Management: Drainage swales will be located in the middle of each drive aisle. The runoff from new impervious surfaces will be treated close to the source of the runoff utilizing individual bioretention planter areas prior to reaching the public storm drain system. Each bioretention system will provide the ability to capture and infiltrate a quantity of storm water as required by the Storm Water LID Technical Design Manual required by the City's Public Works Department. A Final Stormwater Management Plan will be required to be submitted with the building permit plans for the site and will be reviewed and approved by the City's Public Works Department.

## **DISCUSSION/ANALYSIS:**

### **Design Review**

Personal storage facilities, in general, are designed to be utilitarian, secure facilities to ensure the safety of the tenant's property. Unmanned outdoor storage facilities especially, do not include typical design elements found in other industrial buildings which have multiple employees and active spaces for the public. As such, there are very few sections of the Citywide Design Guidelines which would be applicable to such a project. Staff's analysis for design guideline consistency only include those that pertain to an unmanned personal storage facility as detailed below.

### **Consistency with the Citywide Design Guidelines**

The following discussion and analysis evaluate the consistency of the proposed project against the applicable sections of the Citywide Design Guidelines. The subject site is located within *Character Area 9c – Employment Services / Production Industries*. In addition, Chapter 6 applies to the proposed project. Those sections which are not applicable to the proposed project have not been

included in the discussion below. The following discussion provides a narrative and staff findings for Chapters 4 and 6.

- **Chapter 4: Character Area 9: Employment Services / Production Industries**

*Building Placement: Place buildings to be moderately set back from the front lot line along Grove Street. Variation is appropriate to allow a property to meet the needs of its industrial function, but a variable “street wall” should be created.*

The project is designed with a 15-foot front setback consistent with the Industrial zone standard. This front setback allows for the primary function of the facility while maintaining street level presence. Landscaping will be installed between the street and the building to provide an attractive green space along the frontage. This setback is also consistent with other developed properties in the project vicinity, including the storage facility on the adjacent parcel to the north.

***Staff Finding: Consistent with the Design Guideline.***

*Orientation: Buildings should be oriented toward Grove Street. Secondary orientation toward an internal parking area, plaza or internal courtyard area is also appropriate.*

Due to the nature of the use, the prefabricated design of the buildings, the site and circulation plan, and a concern for greater security, orienting the front building toward the street is less desirable. As noted in the guideline, secondary orientation toward an internal parking area is appropriate for certain types of uses such as a personal storage facility. As noted in the “Special Considerations for Specific Land Uses” section of Chapter 6 discussed below, unique needs of the use type should be afforded flexibility in design. As such, the secondary orientation is more practical and affords the site greater security with minimal visual impacts to the street edge design.

***Staff Finding: Consistent with the Design Guideline.***

*Vehicular Access: Minimize vehicular access points from Grove Street to the extent feasible. Provide consolidated access from side streets wherever possible to maintain a strong street wall along Healdsburg Avenue and to minimize conflicts with pedestrians.*

Vehicle access to the site will be via a single private driveway directly from Grove Street. The project has been designed to incorporate a loop-style circulation plan through the project site. Vehicles will enter at the driveway on the north side of the site, then continue to their respective storage unit via three paved interior drive aisles. Egress from the site is at the same location as the ingress where vehicles may exit back onto Grove Street.

The access, driveways, and circulation improvements are consistent with the standards of the LUC and have been determined to be adequate by the City’s Fire and Public Works Departments.

***Staff Finding: Consistent with the Design Guideline.***

- **Chapter 6: Design Guidelines for Commercial, Industrial, Mixed Use and Large-Scale Multi-Family Development**

### **Special Considerations for Specific Land Uses**

*While the Healdsburg Design Guidelines focus on the design of sites and buildings. It is sometimes necessary to consider the special factors and challenges for specific land uses. For example, an industrial business may require significant space for storage and access requirements for larger delivery vehicles, whereas a restaurant must prioritize customer experience and efficient service. These considerations should be reviewed prior to using the design guidelines in subsequent sections of this chapter.*

#### Industrial / Heavy Commercial:

##### Design Flexibility

*Industrial and other heavy commercial uses, including production, storage, warehousing or commercial service, should be afforded design flexibility to meet functional requirements. Design within the interior of a site should follow the broader intent of these guidelines, but more flexibility is appropriate in those locations.*

- Security and Safety

*Businesses in this category often require fencing and controlled access. These may require designs that depart from the design principles for other buildings.*

- Outdoor Storage

*These unique needs should be considered in design review.*

- Façade and Building Articulation

*A building housing an industrial use may have very few windows. Massing may be monolithic. Flexibility in design should be afforded for such buildings provided they are set back from the front property line.*

**SITE DESIGN:** Site design refers to the arrangement, placement and orientation of buildings and site features on a parcel.

***Building Placement and Setback Character:** Buildings should be placed to establish a street wall in the contexts and Character Areas where a street wall is an important feature. In other Character Areas, building placement may be more varied. Front setback areas should be designed as visual and sometimes functional amenities. Preferred placement and setback character may differ based on the Character Area or the context established on a particular street.*

The project is designed with a 15-foot front setback consistent with the Industrial zone standard. This front setback allows for the primary function of the facility while maintaining street level presence and a street wall. Landscaping will be installed between the street and the building to provide an attractive green space along the frontage. This setback is also consistent

with other developed properties in the project vicinity, including the storage facility on the adjacent parcel to the north.

***Staff Finding: Consistent with the Design Guideline.***

*Vehicular Connectivity:* *Vehicular connections should provide safe and comfortable balance between vehicles, bicycles and pedestrians and to reduce conflicts. Design considerations vary by Character Area, as described in Chapter 4.*

The project is accessed via a single two-way driveway from Grove Street and 2-way interior drive aisles which limit the potential for vehicular conflicts.

***Staff Finding: Consistent with the Design Guideline.***

*Landscape Design:* *Landscaping addresses the basic aesthetics of a site including trees, shrubs and other plantings as well as ornamental features and topography. Landscaping can enhance a project by providing visual interest, tying together key site features, providing shade, softening harder building elements, screening unattractive site features from public view and providing buffers between properties. Landscape designs should preserve mature trees and highlight distinctive topographic or other site features and create a sense of visual continuity within a site and between properties. Landscaping should be provided for a site, even when there is limited space.*

The project includes significant landscaping along the Grove Street frontage and the southern boundary. The proposed landscaping and associated areas have been evaluated for conformance with the City's Water Efficient Landscape Ordinance (WELo) and the preliminary calculations comply with the WELo requirements. Bioretention areas have been incorporated into the planting areas. Plantings within these areas include trees, shrubs, and ground covers. A final landscape plan is required with the submittal of the building permit plans. The preliminary landscape plan is included in the plan set (Attachment 3).

***Staff Finding: Consistent with the Design Guideline.***

*Fences, Walls and Landscape Buffers:* *Fences, free-standing walls and landscape buffers are often used to enclose a private outdoor place. Retaining walls are used to address site topography. Cut and fill on a site should be minimized whenever possible, and development should work with the topography. These site features should be carefully coordinated with the overall site design of a property. Visible fence and wall materials should be compatible with materials used throughout a site and on a building. Fences, walls or decorative buffers are especially important when a development is adjacent to a residential property in order to minimize impacts. The guidelines that follow are most critical for areas of a site that are visible from the public realm and along a front property line.*

The applicant is proposing chain link security fencing and landscaping around the perimeter of the site. There won't be any fencing along Grove Street, but there is landscaping being proposed to provide an attractive street frontage.

***Staff Finding: Consistent with the Design Guideline.***

*Lighting:* *Site lighting includes streetlights, light fixtures in parking lots, pedestrian lighting and lighting to accent landscaping or building façades. Site lighting should help establish a sense of identity and sense of continuity for the property. Site lighting should create a sense of*

*place and highlight distinctive architectural details. Lighting should be designed to coordinate with and enhance a project's design.*

The LUC requires that parking areas designed to accommodate three or more vehicles shall have lighting facilities capable of providing sufficient illumination at every point of the parking area. The plan set contains a photometric plan which identifies the location of proposed lighting fixtures and the extent to which said fixtures illuminate the parking area. As shown on the plan, the proposed area and wall mounted lighting provides adequate illumination to all points of the facility consistent with the standards of the LUC.

***Staff Finding: Consistent with the Design Guideline***

**BUILDING DESIGN:** The overall size, height and form of a building determine how large it appears, and whether it is compatible with existing development within a given context.

*Building Mass and Scale: The overall size, height and form of a building determine how large it appears, and whether it is compatible with existing development within a given context. A larger building can incorporate design features to ensure it is not monolithic in scale and that its perceived mass is reduced. Where compatibility is important, a building should be designed to reflect patterns of building mass and scale and articulate a façade to create a pedestrian-friendly environment.*

The proposed buildings are modest in size and consistent with the patterns of mass and scale along this section of Grove Street, and consistent with that of the storage facility to the north. The design includes a well-defined entry, generous setbacks, and significant areas of landscaping. The low height and flat roof component of the buildings, variations in materials and colors, and natural landscaping all contribute to reducing the overall massing of the buildings.

***Staff Finding: Consistent with the Design Guideline.***

*Façade Design: Visible building façades that incorporate high-quality design features enhance Healdsburg's image and character, and convey an active and vibrant appearance to pedestrians, bicyclists and vehicles passing through the city.*

Due to the fact that this is a personal storage facility utilizing prefabricated units, variation in façade design can be difficult to provide. The site includes a well-defined entry, 15-foot building setback, and significant areas of landscaping. The low height and flat roof component of the buildings and natural landscaping all contribute to providing some degree of variability.

***Staff Finding: Consistent with the Design Guideline.***

*Roof Form: Roof form addresses the visible characteristics of a building's roof, which contribute to the character of a building. Where compatibility with context is important, roof forms that convey compatible mass and scale.*

The project includes flat roofs which are typical of storage facilities and other industrial buildings. The flat roofs on the proposed buildings will tend to reduce the perceived massing of the structures.

***Staff Finding: Consistent with the Design Guideline.***

*Building Materials and Color: Exterior building materials provide a sense of scale and texture that convey design quality and visual interest. Building façades, especially at the street-level, should use high-quality, durable materials that convey high quality design and detail. Typical materials vary throughout Healdsburg's Character Areas.*

Due to the nature of the use of the structures, the prefabricated storage units are limited in their materials and colors. The units are made of steel with roll-up steel doors. The galvanized steel prevents rust to provide a long-lasting durable structure. The manufactured units are white with blue roll-up doors limits opportunity to provide visual interest.

***Staff Finding: Consistent with the Design Guideline.***

## **FINDINGS – DESIGN REVIEW**

The Planning Commission is required to make the following findings in order to approve a Major Design Review application. Staff has provided suggested findings below.

- A. The proposed development or use is consistent with all applicable policies and requirements of the General Plan and Land Use Code.*

The proposed use is within the range of uses contemplated in the Industrial (I) General Plan land use designation. This land use classification provides for manufacturing, warehouses, wineries, offices, personal storage, and similar and compatible uses. The Land Use Code's Industrial (I) zoning designation contemplates similar uses, which the proposed project is consistent with. With the exception of on-site parking, the project meets or exceeds all development requirements in the Land Use Code, including setbacks, building height, floor area ratio, and landscaping. The applicant has requested a variance to waive the on-site parking requirement due to the fact that the facility is unmanned and parking for tenants is available in front of each storage unit.

- B. The proposed design of the development or use, and all appurtenant structures, is consistent with the policies set forth in the Citywide Design Guidelines, as may be amended from time to time.*

The proposed project has been found to be consistent with the Citywide Design Guidelines in Chapters 4 and 6. The proposed project is consistent with the scale and character of industrial uses found along this section of Grove Street. The proposed colors and materials are compatible with the surrounding area and respect the character of the neighborhood. The building setbacks and the building's mass, articulation, and scale are consistent and compatible with development in the area. Therefore, the design of the proposed project is consistent with the Citywide Design Guideline's policies to promote quality, attractive design.

- C. The proposed development or use is consistent with the purposes of the zoning district in which it is located.*

The Industrial (I) zoning district designation implements the Industrial (I) land use designation of the Healdsburg General Plan. The special purposes of the district provide for the

accommodation of a range of uses and the personal storage use is permitted in the Industrial zoning district and does not require a conditional use permit.

- D. The proposed development or use is consistent with all other conditions imposed by the Planning Commission or City Council with respect to any matter related to the purpose of design review.*

The property does not have any conditions that were previously placed on the site. As part of the project, conditions of approval have been included in the resolution that will be required to be complied with throughout the life of the project. The proposed project is subject to the Land Use Code, including allowed uses and development standards, and the Citywide Design Guidelines. As noted above, the proposed project has been found to be consistent with the Land Use Code and Citywide Design Guidelines.

## **DISCUSSION / ANALYSIS**

### **Variance**

Due to the fact that there will not be any employees, and tenant parking is available at each storage unit, the proposed plan does not include any on-site parking. Therefore, the applicant is requesting a variance to the required parking standards to waive the parking requirement for storage facilities. Per LUC parking standards, the facility would be required to provide a minimum of three parking spaces. Due to the nature of the unmanned facility, and that adequate parking is available for tenants in the interior of the site at their respective units, staff finds that the variance is justified based on the findings included below.

### **FINDINGS – VARIANCE**

The Planning Commission is required to make the following findings in order to approve a Variance application. Staff has provided suggested findings below.

- A. Special circumstances exist with respect to the property in question, including, but not limited to size, shape, topography or surroundings.*

Special circumstances exist with respect to the property in that the facility operates as an unmanned drive-up self-storage facility where each storage unit is directly accessible for the tenant's parking needs. Tenants load and unload personal items immediately adjacent to their rented units, eliminating the need for separate parking areas. Furthermore, there will be no employees required for the operation of the site, eliminating the need for separate employee parking spaces.

The site layout and intended use make designated parking both unnecessary and impractical. Providing designated parking stalls would reduce maneuvering space and interfere with the safe and efficient circulation pattern essential for drive-up access and would require additional impervious surfacing. Given the property's configuration and the nature of the operations, the request to waive the parking standards is consistent with the design and purpose of the facility.

- B. Strict or literal interpretation and enforcement of the specified regulation would result in a practical difficulty or unnecessary hardship inconsistent with the objectives of the Zoning Ordinance.*

A strict or literal interpretation of the regulation creates a practical difficulty and an unnecessary physical hardship in this specific context. Drive-up self-storage functions differently from traditional commercial or industrial uses as customers stop briefly at their individual units, use the space directly in front of the roll-up door, and then exit the facility. This operational pattern, and the lack of employees, means that conventional parking spaces are not only unnecessary, but would also conflict with the intended circulation and loading design of the site. Granting of the variance would allow the project to function safely and efficiently while remaining fully aligned with the objectives of the Land Use Code – specifically, promoting orderly development, ensuring safe access, and supporting land uses that are compatible with their operational needs.

- C. *Strict or literal interpretation and enforcement of the specified regulation would deprive the applicant of privileges enjoyed by the owners of other properties classified in the same zoning district.*

A strict or literal interpretation and enforcement of the regulation would deprive the project of reasonable use and operational privileges that are inherent to the drive-up self-storage model within the zoning district. The design relies on customers briefly stopping directly in front of the individual units for loading and unloading. This functional stopping space serves the same purpose as parking for this specific use and adding required parking stalls would create unnecessary site constraints and disrupt safe circulation. Allowing the variance ensures that the facility can operate as intended, maintain safe and efficient access, and remain consistent with the objectives of the Land Use Code.

- D. *The granting of the variance will not constitute a grant of special privilege inconsistent with the limitations of other properties classified in the same zoning district.*

The granting of the variance will not constitute a special privilege. The parking waiver is limited to what is necessary for the project to function safely and effectively based on its operational needs. It does not provide any advantage beyond what is reasonable for the proposed use, nor does it extend benefits unrelated to the practical requirements of the site.

#### **Additional Findings for Parking:**

- A. *Neither present or anticipated future traffic volumes generated by the use of the site or uses in the vicinity reasonably require strict or literal interpretation and enforcement of the specified regulation.*

Neither present nor anticipated future traffic volumes associated with the project reasonably require strict or literal interpretation of the regulation. The operational nature of the use generates low, intermittent traffic, and circulation patterns remain safe and efficient without the need for the required parking. The variance would not affect traffic flow or create any conditions that would necessitate stricter enforcement.

- B. *The granting of the variance will not result in the parking or loading of vehicles on public streets.*

The granting of the variance will not result in the parking or loading of vehicles on public streets in a way that interferes with the free flow of traffic. Drive-up storage facilities operate with short, efficient customer visits during which vehicles drive directly up to their respective units, load or unload quickly, and then exit the site. All stopping, loading, and circulation activity occurs entirely within the interior of the site using designated drive aisles designed for this purpose. As a result, there is no need for vehicles to queue, idle, or park on public streets at any point.

*C. The granting of the variance will not create a safety hazard or any other conditions inconsistent with the objectives of the Land Use Code.*

The granting of the variance will not create any safety hazard or any condition inconsistent with objectives of the Land Use Code. The project will maintain safe ingress and egress, internal circulation, and appropriate visibility throughout the site. The requested variance would not introduce any design or operational elements that would compromise safety or conflict with the intent of the Code.

**ENVIRONMENTAL ANALYSIS:**

The project is categorically exempt pursuant to the provisions of the California Environmental Quality Act (CEQA) Guidelines Section 15332 (Class 32), In-Fill Development Projects; and Section 15305 Class 5 Minor Alterations in Land Use Limitations.

**FISCAL IMPACT:**

The proposal is a privately funded development project that does not involve the use of public funds.

**ATTACHMENTS:**

1. Resolution and Conditions of Approval
2. Project Narrative from Applicant
3. Plan Set

**PC RESOLUTION NO. 2026-**

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF HEALDSBURG APPROVING MAJOR DESIGN REVIEW APPLICATION DR-0001-2026 AND MAJOR VARIANCE APPLICATION VAR-0001-2026 TO ALLOW THE CONSTRUCTION OF AN UNMANNED PERSONAL STORAGE FACILITY LOCATED AT 1501 GROVE STREET (APN 089-071-025).**

**WHEREAS**, an application has been received from Tony Petruzella for Major Design Review and Major Variance applications for the construction of a new unmanned personal storage facility. The Project is proposed on a 1.69-acre site with frontage on Grove Street. Site improvements include new storage buildings and landscaping improvements, and a variance request to waive the on-site parking requirements; and

**WHEREAS**, prior to taking action on the Project, and at a properly noticed public hearing on May 12, 2026, the Planning Commission reviewed written and oral staff reports, took testimony and received into the record all pertinent documents related to the Project; and

**WHEREAS**, the application qualifies for a Class 32 categorical exemption under the California Environmental Quality Act Guidelines Section 15332, In-Fill Development Projects, and Section 15305 Class 5 Minor Alterations in Land Use Limitations; and

**WHEREAS**, the Planning Commission considered all pertinent documents, including the project description and staff report, and received public comments before making its decision on the subject applications.

**NOW, THEREFORE BE IT RESOLVED** that the Healdsburg Planning Commission makes the findings required to approve Major Design Review DR-0001-2026 and Major Variance VAR-0001-2026 with the conditions attached hereto as Exhibit A, as follows:

**Major Design Review Findings**

Pursuant to Land Use Code section 20.28.125, the Planning Commission is required to make the following findings in order to approve a Major Design Review Permit; staff has provided suggested findings below.

- A. *The proposed development or use is consistent with all applicable policies and requirements of the General Plan and Land Use Code.*

The proposed use is within the range of uses contemplated in the Industrial (I) General Plan land use designation. This land use classification provides for manufacturing, warehouses, wineries, offices, personal storage, and similar and compatible uses. The Land Use Code's Industrial (I) zoning designation contemplates similar uses, which the proposed project is

consistent with. With the exception of on-site parking, the project meets or exceeds all development requirements in the Land Use Code, including setbacks, building height, floor area ratio, and landscaping. The applicant has requested a variance to waive the on-site parking requirement due to the fact that the facility is unmanned and parking for tenants is available in front of each storage unit.

- B. *The proposed design of the development or use, and all appurtenant structures, is consistent with the policies set forth in the Citywide Design Guidelines, as may be amended from time to time.*

The proposed project has been found to be consistent with the Citywide Design Guidelines in Chapters 4 and 6. The proposed project is consistent with the scale and character of industrial uses found along this section of Grove Street. The proposed colors and materials are compatible with the surrounding area and respect the character of the neighborhood. The building setbacks and the building's mass, articulation, and scale are consistent and compatible with development in the area. Therefore, the design of the proposed project is consistent with the Citywide Design Guideline's policies to promote quality, attractive design.

- C. *The proposed development or use is consistent with the purposes of the zoning district in which it is located.*

The Industrial (I) zoning district designation implements the Industrial (I) land use designation of the Healdsburg General Plan. The special purposes of the district provide for the accommodation of a range of uses and the personal storage use is permitted in the Industrial zoning district and does not require a conditional use permit.

- D. *The proposed development or use is consistent with all other conditions imposed by the Planning Commission or City Council with respect to any matter related to the purpose of design review.*

The property does not have any conditions that were previously placed on the site. As part of the project, conditions of approval have been included in the resolution that will be required to be complied with throughout the life of the project. The proposed project is subject to the Land Use Code, including allowed uses and development standards, and the Citywide Design Guidelines. As noted above, the proposed project has been found to be consistent with the Land Use Code and Citywide Design Guidelines.

### **Major Variance Findings**

Pursuant to Land Use Code section 20.28.230, the Planning Commission is required to make the following findings in order to approve a Variance application. Staff has provided suggested findings below.

- A. *Special circumstances exist with respect to the property in question, including, but not limited to size, shape, topography or surroundings.*

Special circumstances exist with respect to the property in that the facility operates as an unmanned drive-up self-storage facility where each storage unit is directly accessible for the tenant's parking needs. Tenants load and unload personal items immediately adjacent to their rented units, eliminating the need for separate parking areas. Furthermore, there will be no employees required for the operation of the site, eliminating the need for separate employee parking spaces.

The site layout and intended use make designated parking both unnecessary and impractical. Providing designated parking stalls would reduce maneuvering space and interfere with the safe and efficient circulation pattern essential for drive-up access and would require additional impervious surfacing. Given the property's configuration and the nature of the operations, the request to waive the parking standards is consistent with the design and purpose of the facility.

- B. *Strict or literal interpretation and enforcement of the specified regulation would result in a practical difficulty or unnecessary hardship inconsistent with the objectives of the Zoning Ordinance.*

A strict or literal interpretation of the regulation creates a practical difficulty and an unnecessary physical hardship in this specific context. Drive-up self-storage functions differently from traditional commercial or industrial uses as customers stop briefly at their individual units, use the space directly in front of the roll-up door, and then exit the facility. This operational pattern, and the lack of employees, means that conventional parking spaces are not only unnecessary, but would also conflict with the intended circulation and loading design of the site. Granting of the variance would allow the project to function safely and efficiently while remaining fully aligned with the objectives of the Land Use Code – specifically, promoting orderly development, ensuring safe access, and supporting land uses that are compatible with their operational needs.

- C. *Strict or literal interpretation and enforcement of the specified regulation would deprive the applicant of privileges enjoyed by the owners of other properties classified in the same zoning district.*

A strict or literal interpretation and enforcement of the regulation would deprive the project of reasonable use and operational privileges that are inherent to the drive-up self-storage model within the zoning district. The design relies on customers briefly stopping directly in front of the individual units for loading and unloading. This functional stopping space serves the same purpose as parking for this specific use and adding required parking stalls would create unnecessary site constraints and disrupt safe circulation. Allowing the variance ensures that the facility can operate as intended, maintain safe and efficient access, and remain consistent with the objectives of the Land Use Code.

- D. *The granting of the variance will not constitute a grant of special privilege inconsistent with the limitations of other properties classified in the same zoning district.*

The granting of the variance will not constitute a special privilege. The parking waiver is limited to what is necessary for the project to function safely and effectively based on its

operational needs. It does not provide any advantage beyond what is reasonable for the proposed use, nor does it extend benefits unrelated to the practical requirements of the site.

**Additional Findings for Parking:**

- A. *Neither present or anticipated future traffic volumes generated by the use of the site or uses in the vicinity reasonably require strict or literal interpretation and enforcement of the specified regulation.*

Neither present nor anticipated future traffic volumes associated with the project reasonably require strict or literal interpretation of the regulation. The operational nature of the use generates low, intermittent traffic, and circulation patterns remain safe and efficient without the need for the required parking. The variance would not affect traffic flow or create any conditions that would necessitate stricter enforcement.

- B. *The granting of the variance will not result in the parking or loading of vehicles on public streets.*

The granting of the variance will not result in the parking or loading of vehicles on public streets in a way that interferes with the free flow of traffic. Drive-up storage facilities operate with short, efficient customer visits during which vehicles drive directly up to their respective units, load or unload quickly, and then exit the site. All stopping, loading, and circulation activity occurs entirely within the interior of the site using designated drive aisles designed for this purpose. As a result, there is no need for vehicles to queue, idle, or park on public streets at any point.

- C. *The granting of the variance will not create a safety hazard or any other conditions inconsistent with the objectives of the Land Use Code.*

The granting of the variance will not create any safety hazard or any condition inconsistent with objectives of the Land Use Code. The project will maintain safe ingress and egress, internal circulation, and appropriate visibility throughout the site. The requested variance would not introduce any design or operational elements that would compromise safety or conflict with the intent of the Code.

**BE IT FURTHER RESOLVED** that the Healdsburg Planning Commission does hereby approve Major Design Review Application DR-0001-2026 and Major Variance Application VAR-0001-2026 subject to the conditions attached hereto as Exhibit A, which is incorporated herein by reference.

**DULY AND REGULARLY ADOPTED** by the Healdsburg Planning Commission on the 12<sup>th</sup> day of April 2026, by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

Approved:

Attest:

\_\_\_\_\_  
Conor McKay, Chair

\_\_\_\_\_  
Scott M. Duiven, Secretary

Exhibit A: Conditions of Approval

## CONDITIONS OF APPROVAL

Major Design Review Application DR-0001-2026

Major Variance Application VAR-0001-2026

1501 Grove Street

May 12, 2026

### Community Development Department

1. The project shall be developed in accordance with Attachment 2 – Plan Set, dated May 4, 2026, except as conditioned or modified herein.
2. Any modifications to the approved plans must receive prior approval of the City of Healdsburg. Minor modifications may be approved by the Community Development Department Director; however, major modifications require Planning Commission approval.
3. Design Review Permit No. DR-0001-2026 and Variance VAR-0001-206 shall lapse and shall become void two years following the date on which the design review became effective, unless prior to the expiration of two years a building permit is issued for the project.
4. Any future tenant signage requires a sign permit application reviewed and approved by the Community Development Department prior to installation. All future signs shall be consistent with the Citywide Design Guidelines and be modest in scale and design.
5. Prior to the issuance of building permits, a final landscaping and irrigation plan shall be submitted for approval by the Community Development Department for review and approval. The plans shall include the following:
  - A. All plant material shall be served by a city-approved automatic irrigation system pursuant to LUC Section 20.16.105.
  - B. Water Efficient Landscaping Ordinance (WELO) worksheet.
  - C. Certification of compliance with the City’s Water Efficient Landscape Ordinance.
6. A Construction Management Plan shall be submitted prior to issuance of building, grading or demolition permits, whichever occurs first. The plan shall clearly denote the limit of the construction area, tree protection measures, wetland avoidance measures, and construction staging area, subject to review and approval by the Planning and Building Director. Additionally, the Construction Management Plan shall include the following:
  - A. All exposed surfaces (e.g., parking areas, staging areas, soil piles, graded areas, and unpaved access roads) shall be watered two times per day.
  - B. All haul trucks transporting soil, sand, or other loose off-site material shall be covered.
  - C. All visible mud or dirt tracked out onto adjacent public roads shall be removed using wet power vacuum street sweepers at least once per day. The use of dry power sweeping is prohibited.
  - D. All construction vehicle speeds on unpaved roads shall be limited to 15 miles per hour (mph).

- E. All roadways, driveways, and sidewalks to be paved shall be completed as soon as possible. Building pads shall be laid as soon as possible after grading unless seeding or soil binders are used.
  - F. Idling times shall be minimized either by shutting equipment off when not in use or reducing the maximum idling time to 5 minutes (as required by the California airborne toxics control measure Title 13, Section 2485 of California Code of Regulations [CCR]). Clear signage shall be provided for construction workers at all access points
  - G. All construction equipment shall be maintained and properly tuned in accordance with manufacturer's specifications. All equipment shall be checked by a certified mechanic and determined to be running in proper condition prior to operation.
  - H. Post a publicly visible sign with the telephone number and person to contact at the Lead Agency regarding dust complaints. This person shall respond and take corrective action within 48 hours. The Air District's phone number shall also be visible to ensure compliance with applicable regulations.
7. Prior to the issuance of a certificate of occupancy, the project's landscape architect or landscape contractor shall certify that all plant materials have been installed in accordance with the approved landscape plan, and the landscaping shall be inspected by the Community Development Department.
  8. All on-site landscaping shall be maintained by the property owner.
  9. The 2025 California Construction Codes and the current Healdsburg Municipal Code will apply to this project if a permit to construct is applied for prior to 12/31/2028.
  10. A Geotechnical Report is required for this project.
  11. Structural and Energy Calculations are required for this project.

### **Electric Department**

1. For maintenance and inspection of electric facilities, meters may not be enclosed or located behind fences or gates and must be always accessible to City personnel.
2. All work must be in accordance with the City's Electric Department requirements and other utility and building code requirements.
3. The final design of the service and estimation of service fees will be developed during the building permit process.

### **Public Works Department**

1. Pay the Public Works administered charges, including plan check, inspection, development impact fees for the new commercial facility. There are utility capacity fee credits on file for this property for 1.0 ERU water and 1.0 ERU sewer. The project does not propose domestic water nor sanitary sewer service.
2. Prior to final inspection, the property owner shall dedicate to the City of Healdsburg the required right of way to the back of walk of the new sidewalk. The right of way grant deed shall include a legal description and a plat prepared by the property owner's licensed land

surveyor. All costs for any right of way or public easement dedications shall be borne by the property owner. A new public utility easement and public emergency vehicle access easement will also likely be required.

3. Submit a final SWLID report and calculations with the building permit application for storm water post construction best management practice (BMP) requirements pursuant to the Santa Rosa Low Impact Development (LID) Technical Design Manual. Include landscaping planting types, as required in the LID manual, in the final SWLID report and the proposed landscaping construction plans.
4. The project appears to disturb more than one acre of soil. Prior to issuance of any construction permits, obtain coverage under the state's general construction stormwater permit through the SMARTS on-line system and provide documentation to Public Works indicating compliance.
5. Under the provisions of the California Building Code, the Applicant is required to provide inspection of the private drainage facilities including all LID features, by the project engineer to verify that all work is in compliance with the approved project plans. Prior to final inspection, the project engineer shall provide a signed letter of review evidencing these inspections.
6. As a part of the Public Works final inspection, Public Works Inspector will confirm the required Stormwater Maintenance Declaration has been approved by the City Engineer and recorded by the property owner with a copy returned to DPW prior to final inspection.
7. Construct the water utility service needed to service the proposed project, including:
  - a. A separate landscape irrigation meter is required for the proposed irrigation system. The applicant shall verify the existing service and meter meets current city standards and are adequate for the proposed project or if they are not, upgrade per city standards.
  - b. A reduced pressure backflow prevention device is required per city standards. The applicant shall verify the existing device meets current city standards and is adequate for the proposed project or if it is not, upgrade per city standards.
  - c. Coordinate fire water needs and infrastructure improvements as well as public emergency vehicle access requirements with the Healdsburg Fire Department.
  - d. All existing unused water, sewer, and storm drain utilities within the property and within the street along the property frontage shall be abandoned at the utility main and removed from the ground with trench and backfill and street resurfacing per city standards.
8. Construct city standard frontage improvements along the Grove Street property frontage including, but not limited to, 5-foot sidewalk, new commercial driveway approach, and removal of the existing unused driveway approach and replacement with city standard curb, gutter, and sidewalk.
9. All sawcut and pavement/concrete conform locations shall be subject to approval by the City Engineer.

### **Fire Department**

1. Fire apparatus access roads shall comply with CFC §503 and be maintained at all times.
2. Any fire access road exceeding 150 feet in length shall provide an approved turnaround per CFC Appendix D.
3. All gates shall comply with CFC §503.6 and be equipped with approved emergency access controls.
4. Fire hydrants shall be installed and/or verified to meet spacing and fire flow requirements per CFC Appendices B and C.
5. Fire Department Connection shall be installed in an approved location and within 100 feet of a hydrant.
6. Fire access signage (“Fire Lane – No Parking”) shall be installed as required.
7. Knox Box shall be installed at the primary access point or approved location.
8. Addressing shall be installed and visible in accordance with fire code requirements.
9. Fire Department approval is required prior to final occupancy.

#### **Required for Construction Submittal**

1. Provide a Fire Access Plan demonstrating compliance with CFC §503, including:
  - Minimum 20-foot clear width
  - Minimum 13’-6” vertical clearance
  - Turnaround where fire access exceeds 150 feet
2. Provide automatic gate details, including:
  - Knox key switch or approved emergency access
  - Fail-safe operation (gate opens upon power loss)
  - Minimum 20-foot clear opening width
3. Provide fire flow availability and demand calculations in accordance with CFC Appendix B.
4. Verify and demonstrate fire hydrant location and spacing per CFC Appendix C:
  - Hydrant coverage to all portions of the site
  - Hydrant located within 100 feet of the Fire Department Connection (FDC) (required)
5. Provide Fire Department Connection (FDC) location and details, including:
  - Accessible and visible location from fire access road
  - Proximity to hydrant (within 100 feet)

6. Provide a Fire Access and Fire Lane signage plan in accordance with CFC §503.
7. Provide an addressing plan showing site address and unit identification visible from Grove Street.

**Deferred Submittals (Separate Permits Required)**

The following systems are required and shall be submitted under separate permits for review and approval:

- Fire Sprinkler System (NFPA 13)
- Fire Alarm System (monitoring of sprinkler system)
- Underground Fire Main

## Project Narrative

We are pleased to introduce **Sonoma County Storage**, a premier facility engineered for maximum efficiency and modern convenience.

Our site is designed specifically for **direct-to-unit access**, meaning there is **no need for a formal parking area**. Tenants simply drive straight to their unit door, unload their belongings directly into their space, and depart. This streamlined layout ensures a fast, "trunk-to-unit" experience without the hassle of navigating lots or hallways.

Sonoma County Storage is **completely electronic** and operates without onsite employees. For your peace of mind and convenience, the facility features:

- **Automated Electronic Gate:** Secure, seamless entry.
- **Video Security Cameras:** Continuous surveillance of the premises.
- **Daylight Access:** Open daily from **sunrise to sunset**.

Experience the future of effortless, high-tech storage at Sonoma County Storage.

Sincerely

Tony Petruzzella

415-407-8797

PROJECT INFORMATION

PROJECT ADDRESS: 1501 GROVE STREET HEALDSBURG, CA 95448
OWNER/DEVELOPER: PETRUZZELLA SELF STORAGE C/O, TONY PETRUZZELLA 10536 LOS AMIGOS ROAD, HEALDSBURG, CA 95448
CIVIL ENGINEER: THOMAS J. BILLETTER, P.E. BC ENGINEERING GROUP, INC. 2800 CLEVELAND AVE, SUITE B SANTA ROSA, CA 95403 (707) 542-4321
SURVEYOR: CURTIS & ASSOCIATES 805 HEALDSBURG AVE HEALDSBURG, CA 95448 (707) 433-4808
AREA: 1.54 ACRES

SHEET INDEX

- C1.0 PROJECT INFORMATION
C1.1 NOTES
C2.0 EXISTING CONDITIONS
C2.1 OVERALL SITE PLAN
C2.2 GRADING AND DRAINAGE PLAN
C2.3 EROSION CONTROL PLAN
C3.0 SECTIONS
C3.1 DETAILS
C3.2 EMERGENCY VEHICLE TRACKING
L1.0 PLANTING PLAN
L2.0 IRRIGATION PLAN
L3.0 DETAILS
S1 STRUCTURAL DRAWINGS BY OTHERS
P1 LIGHTING PLAN BY OTHERS
A1-A5 ELEVATIONS AND RENDERINGS BY OTHERS

PURPOSE STATEMENT

THE PURPOSE OF THIS PROJECT IS TO PROVIDE GRADING, DRAINAGE, AND UTILITY IMPROVEMENTS FOR A NEW SELF STORAGE FACILITY. THE SELF STORAGE UNITS ARE PRE-MANUFACTURED BY OTHERS AND ARE TO BE INSTALLED DIRECTLY ONTO THE FINISHED ASPHALT CONCRETE SURFACE PER THE MANUFACTURER AND STRUCTURAL SPECIFICATIONS BY OTHERS. THERE ARE NO EXISTING OR PROPOSED DWELLINGS OR CONDITIONED SPACES.

TOTAL UNITS: 142
10x20s: 70
8x20s: 72
BUILDING AREA: 25,520 SF
PARCEL AREA: 67,082 SF
F.A.R.: 0.38

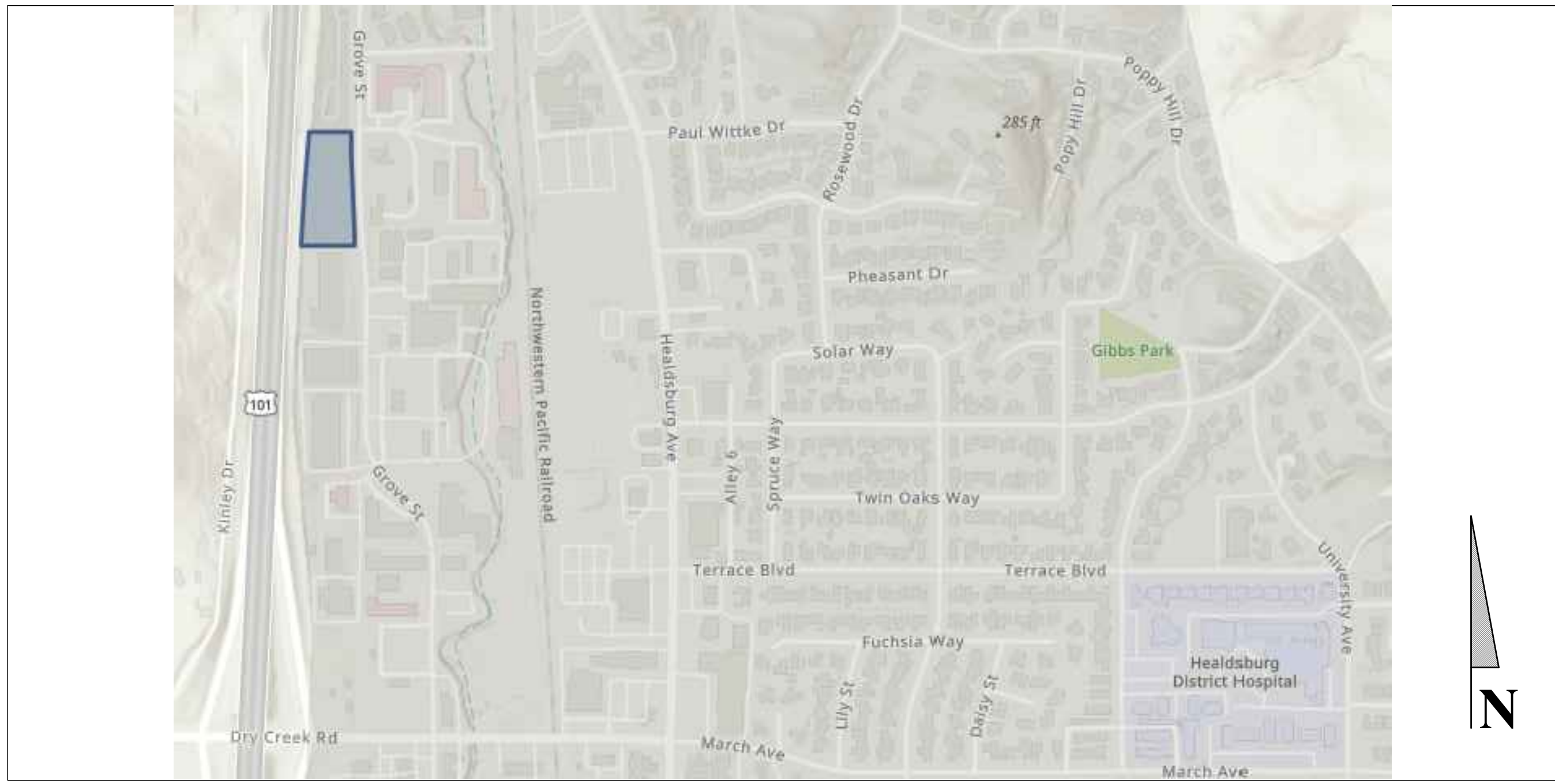
SURVEY NOTE

DESCRIPTION OF BENCHMARK: CP 1
ELEVATION: 152.15 FEET
MAP ELEVATION IS BASED ON NAVD88
CONTOUR INTERVAL = 0.5 FOOT

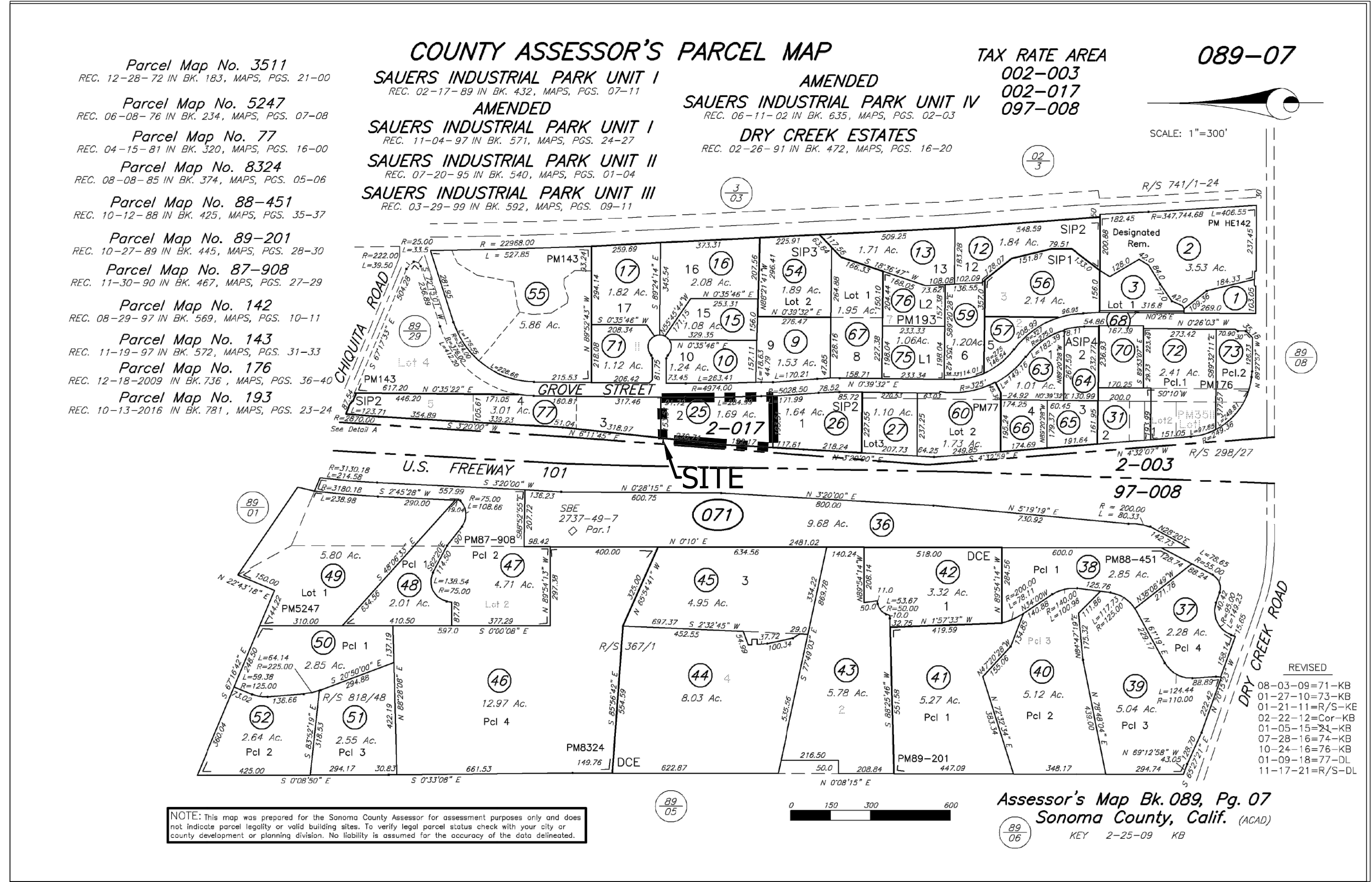
LEGEND

Table with columns: EXISTING, PROPOSED, DEFINITION. Lists various symbols for property lines, roads, utilities, and site features.

DESIGN REVIEW DRAWINGS FOR PETRUZZELLA SELF STORAGE 1501 GROVE STREET, HEALDSBURG, CA 95448 APN: 089-071-025



VICINITY MAP NTS



ASSESSORS PARCEL MAP NTS

ABBREVIATIONS

Table of abbreviations and their full names, including terms like AND, CENTERLINE, DEGREE, DIAMETER, etc.

EARTHWORK SUMMARY

CUT = 50 CY
FILL = 1,200 CY
NET = 1,150 CY FILL
DISTURBED AREA = 52,000 SF
NEW IMPERVIOUS AREA = 50,369 SF

EXACT SHRINKAGE, CONSOLIDATION AND SUBSIDENCE FACTORS AND LOSSES DUE TO CLEARING OPERATIONS ARE NOT INCLUDED. ESTIMATED EARTHWORK QUANTITIES AREA BASED ON THE DIFFERENCE BETWEEN EXISTING GROUND AND PROPOSED FINISH GROUND AND COULD VARY ACCORDING TO THESE FACTORS.

Vertical sidebar containing project information, BC Engineering Group logo, and contact details for Tony Petruzella.

NOT FOR CONSTRUCTION

C1.0 1 of 19

**GRADING AND DRAINAGE NOTES**

- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH HEALDSBURG PUBLIC WORKS STANDARD SPECIFICATIONS & DETAILS, LATEST EDITION, UNLESS OTHERWISE SPECIFIED IN THE CONTRACT DOCUMENTS.
- CONTRACTOR SHALL CALL UNDERGROUND SERVICE ALERT (U.S.A.) AT (800) 642-2444 AT LEAST 2 BUSINESS DAYS PRIOR TO START OF CONSTRUCTION FOR LOCATING & MARK-OUT OF UNDERGROUND UTILITIES BY THE UTILITY OWNERS. IT SHALL BE THE CONTRACTORS' SOLE RESPONSIBILITY TO PROPERLY DELINEATE THE WORK AREA FOR UTILITY MARK-OUTS, IN ACCORDANCE WITH U.S.A. GUIDELINES AND PERIODICALLY UPDATE THE REQUEST FOR MARKOUT IN ACCORDANCE WITH THOSE GUIDELINES.
- FIRST ORDER OF WORK SHALL BE FOR THE CONTRACTOR TO POTHOLE ALL UTILITY CROSSINGS AND VERIFY UTILITY DEPTHS. EXISTING UTILITY LOCATIONS ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY AND ARE UNCONFIRMED AS PLOTTED ON THESE PLANS. ALL EXISTING UTILITIES ARE TO REMAIN AT THEIR CURRENT LOCATION UNLESS OTHERWISE SPECIFIED IN THE CONSTRUCTION DRAWINGS. LOCATION OF UNDERGROUND AND OVERHEAD UTILITIES SHOWN ON PLANS ARE APPROXIMATE ONLY. CONTRACTOR SHALL ASSUME RESPONSIBILITY OF SAID UTILITIES SAFETY DURING CONSTRUCTION AND IF DAMAGED CONTRACTOR SHALL RESTORE SERVICES AT HIS EXPENSE.
- THE CONTRACTOR SHALL OBTAIN A TRENCH (D.I.S. PERMIT) FROM CALIFORNIA DIVISION OF INDUSTRIAL SAFETY PRIOR TO EXCAVATION OF ANY TRENCH. CONTRACTOR SHALL PERFORM TRENCH WORK IN ACCORDANCE WITH THE STATE OF CALIFORNIA DIVISION OF INDUSTRIAL SAFETY. SAID WORK SHALL CONFORM TO ALL APPLICABLE OCCUPATIONAL SAFETY AND HEALTH STANDARDS, RULES, REGULATIONS AND ORDERS ESTABLISHED BY THE STATE OF CALIFORNIA.
- HOURS OF CONSTRUCTION ACTIVITY SHALL BE LIMITED TO MONDAY THROUGH FRIDAY, 7:30 AM TO 6:00 PM,
- CONTRACTOR SHALL CALL THE CITY'S INSPECTION HOTLINE (707)-547-0556 A MINIMUM OF 24 HOURS IN ADVANCE FOR ANY INSPECTIONS REQUIRED PER CONTRACT DOCUMENTS.
- THE ENGINEER ASSUMES NO RESPONSIBILITY OTHER THAN FOR THE ADEQUACY OF THE DESIGN CONTAINED HEREIN.
- IT SHALL BE THE CONTRACTORS DUTY TO PROTECT THE WORK FROM VANDALISM FROM THE TIME IT IS INSTALLED UNTIL PROJECT COMPLETION. ANY DAMAGED PUBLIC OR PRIVATE IMPROVEMENTS SHALL BE REPAIRED AT THE CONTRACTORS EXPENSE.
- CONTRACTOR SHALL BE RESPONSIBLE TO PROTECT ALL ADJACENT PRIVATE AND PUBLIC IMPROVEMENTS DURING CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE TO REPAIR ANY DAMAGE AT HIS OR HER SOLE EXPENSE.
- SHOULD HISTORIC FEATURES OLDER THAN 50 YEARS OF AGE BE DISCOVERED AT ANY TIME DURING GRADING, SCRAPING, OR EXCAVATION ON THE PROJECT SITE, ALL WORK SHALL BE HALTED IN THE VICINITY OF THE FIND AND A QUALIFIED ARCHAEOLOGIST SHALL BE CONTACTED IMMEDIATELY TO MAKE AN EVALUATION.
- CONTRACTOR SHALL VERIFY INTERIOR PLUMBING GRADES WITH GENERAL CONTRACTOR PRIOR TO CONSTRUCTION.
- ALL EARTHWORK, STABILIZATION, AND COMPACTION SHALL CONFORM TO THE RECOMMENDATIONS OF A GEOTECHNICAL ENGINEER.
- ALL DISTURBED AREAS SHALL BE PROTECTED BY USING EROSION PREVENTION MEASURES TO THE MAXIMUM EXTENT PRACTICABLE, SUCH AS ESTABLISHING VEGETATION COVERAGE, HYDROSEEDING, STRAW MULCH, GEOTEXTILES, PLASTIC COVERS, BLANKETS OR MATS. TEMPORARY OR PERMANENT REVEGETATION SHALL BE INSTALLED AS SOON AS PRACTICAL AFTER VEGETATION REMOVAL BUT IN ALL CASES PRIOR TO OCTOBER 15. PRIOR TO FINAL INSPECTION, ALL DISTURBED AREAS SHALL BE REVEGETATED OR LANDSCAPING SHALL BE INSTALLED.

**GRADING AND DRAINAGE INSPECTION NOTES**

- THE PERMITTEE AND THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR THE WORK TO BE PERFORMED IN COMPLIANCE WITH THE APPROVED PLANS AND SPECIFICATIONS AND ANY PERMIT CONDITIONS. WORK SHALL BE SUBJECT TO INSPECTION AS REQUIRED BY THE PERMIT AUTHORITY, TO VERIFY COMPLIANCE.
- PRIOR TO THE START OF ANY GRADING WORK, THE PERMITTEE SHALL HAVE A PRE-CONSTRUCTION CONSULTATION WITH CITY STAFF TO DISCUSS THE SCOPE OF THE PROJECT, PERMIT CONDITIONS, REQUIRED INSPECTIONS, APPROPRIATE APPLICATION OF BEST MANAGEMENT PRACTICES (BMPS) AND ANY OTHER CONSTRUCTION ISSUES.
- THE PERMITTEE SHALL PROVIDE ADEQUATE AND SAFE ACCESS TO THE SITE FOR INSPECTION DURING THE PERFORMANCE OF ALL WORK.
- DURING CONSTRUCTION ACTIVITIES, THE PROJECT SITE ADDRESS SHALL BE POSTED AS FOLLOWS: (1) THE STREET NUMBERS MUST BE AT LEAST FOUR INCHES TALL, WITH A REFLECTIVE SURFACE. (2) THE ADDRESS MUST BE VISIBLE FROM BOTH DIRECTIONS ALONG THE ROAD. (3) THE ADDRESS MUST BE POSTED AT ALL FORKS IN ANY ACCESS ROAD AND AT THE SITE.

**GRADING AND DRAINAGE NOTES CONTINUED**

- ALL WORK SHALL BE DONE IN COMPLIANCE WITH THE APPROVED PLANS AND SPECIFICATIONS. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF RECORD UPON DISCOVERING DISCREPANCIES IN THE PLANS. PRIOR TO PROCEEDING, THE OWNER SHALL HAVE THE PLANS REVISED TO CLARIFY IDENTIFIED DISCREPANCIES. THE APPROVED PLANS AND SPECIFICATION SHALL NOT BE CHANGED WITHOUT THE WRITTEN APPROVAL OF THE CITY OF HEALDSBURG. PROPOSED MODIFICATIONS TO THE APPROVED PLANS AND SPECIFICATIONS SHALL BE SUBMITTED TO THE PERMIT AUTHORITY IN WRITING, TOGETHER WITH ALL NECESSARY TECHNICAL INFORMATION AND DESIGN DETAILS.
- THE GRADING/DRAINAGE PERMIT AND AN APPROVED COPY OF THE GRADING/DRAINAGE PLANS SHALL BE MAINTAINED ON THE PROJECT SITE THROUGHOUT THE DURATION OF CONSTRUCTION ACTIVITIES.
- ISSUANCE OF A GRADING/DRAINAGE PERMIT BY THE CITY OF HEALDSBURG DOES NOT ELIMINATE THE RESPONSIBILITY OF THE OWNER TO SECURE PERMITS FROM OTHER AGENCIES WITH REGULATORY RESPONSIBILITIES FOR THE CONSTRUCTION ACTIVITIES ASSOCIATED WITH THE WORK ON THESE PLANS. FAILURE TO OBTAIN ALL REQUIRED PERMITS MAY RESULT IN FINES FROM THE RESPECTIVE AGENCY.
- EXISTING DRAINAGE COURSES RECEIVING WATERS FROM THIS SITE AND LOCATED THROUGHOUT THIS SITE SHALL REMAIN OPEN AND CLEAR OF DEBRIS TO PROPERLY CONVEY STORM WATER. IN ANY EVENT, THE OWNER AND/OR CONTRACTOR SHALL BE HELD LIABLE FOR ANY DAMAGE DUE TO OBSTRUCTING NATURAL DRAINAGE PATTERNS.
- SHOULD GRADING OPERATIONS ENCOUNTER HAZARDOUS MATERIALS, OR WHAT APPEARS TO BE HAZARDOUS MATERIALS, STOP WORK IMMEDIATELY IN THE AFFECTED AREA AND CONTACT 911 OR THE APPROPRIATE AGENCY FOR FURTHER INSTRUCTION.
- CONTOURS, ELEVATIONS, AND SHAPES OF FINISHED SURFACES SHALL BE BLENDED WITH ADJACENT NATURAL TERRAIN TO ACHIEVE A CONSISTENT GRADE AND NATURAL APPEARANCE. THE TOP OF CUT SLOPES SHALL BE ROUNDED OFF TO BLEND WITH THE NATURAL TERRAIN. BORDERS OF CUT SLOPES AND FILLS SHALL BE ROUNDED OFF TO A MINIMUM RADIUS OF 5 FEET TO BLEND WITH THE NATURAL TERRAIN.

**EROSION PREVENTION & SEDIMENT CONTROL NOTES**

**GENERAL**

- THE APPROVED PLANS SHALL CONFORM WITH THE CITY OF HEALDSBURG'S EROSION PREVENTION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES (BMPS) GUIDE AS POSTED ON THE PRMD WEBSITE.
- THE OWNER IS RESPONSIBLE FOR PREVENTING STORM WATER POLLUTION GENERATED FROM THE CONSTRUCTION SITE YEAR ROUND. WORK SITES WITH INADEQUATE EROSION AND SEDIMENT CONTROL MAY BE SUBJECT TO A STOP WORK ORDER.
- IF DISCREPANCIES OCCUR BETWEEN THESE NOTES, MATERIAL REFERENCED HEREIN OR MANUFACTURER'S RECOMMENDATIONS, THEN THE MOST PROTECTIVE SHALL APPLY.
- AT ALL TIMES THE OWNER IS RESPONSIBLE FOR OBTAINING AND COMPLYING WITH THE STATE OF CALIFORNIA NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) GENERAL PERMIT WASTE DISCHARGE REQUIREMENTS FOR DISCHARGES OF STORM WATER RUNOFF ASSOCIATED WITH CONSTRUCTION ACTIVITY. CONSTRUCTION ACTIVITIES INCLUDE BUT ARE NOT LIMITED TO CLEARING, GRADING, EXCAVATION, STOCKPILING, AND RECONSTRUCTION OF EXISTING FACILITIES INVOLVING REMOVAL AND REPLACEMENT.

**RAINY SEASON OPERATIONS**

- THE OWNER MUST IMPLEMENT AN EFFECTIVE COMBINATION OF EROSION PREVENTION AND SEDIMENT CONTROL ON ALL DISTURBED AREAS DURING THE RAINY SEASON (OCTOBER 15 - APRIL 15). IN ACCORDANCE WITH CITY M54 PERMIT AND STATE CONSTRUCTION GENERAL PERMIT REQUIREMENTS, CONSTRUCTION GRADING AND DRAINAGE IMPROVEMENTS SHALL BE PERMITTED DURING THE RAINY SEASON ONLY WHEN ON-SITE SOIL CONDITIONS PERMIT THE WORK TO BE PERFORMED. STORM WATER BMPS REFERENCED OR DETAILED IN THE PERMIT AUTHORITY'S BEST MANAGEMENT PRACTICES GUIDE SHALL BE IMPLEMENTED AND FUNCTIONAL ON THE SITE AT ALL TIMES.
- THE AREA OF ERODIBLE LAND EXPOSED AT ANY ONE TIME DURING THE WORK SHALL NOT EXCEED 1 ACRE OR 20% OF THE PERMITTED WORK AREA, WHICHEVER IS GREATER, AND THE TIME OF EXPOSURE SHALL BE MINIMIZED TO THE MAXIMUM EXTENT PRACTICABLE.

**YEAR ROUND REQUIREMENTS**

- DURING THE NON-RAINY SEASON, ON ANY DAY WHEN THE NATIONAL WEATHER SERVICE FORECAST IS A CHANCE OF RAIN OF 30% OR GREATER WITHIN THE NEXT 24 HOURS, STORM WATER BMPS REFERENCED OR DETAILED IN THE CITY OF HEALDSBURG'S BEST MANAGEMENT PRACTICES GUIDE SHALL BE IMPLEMENTED, INSTALLED, AND FUNCTIONAL ON THE SITE TO PREVENT SOIL AND OTHER POLLUTANT DISCHARGES. AT ALL OTHER TIMES, BMPS SHOULD BE STORED ON SITE IN PREPARATION FOR INSTALLATION PRIOR TO RAIN EVENTS.
- EROSION PREVENTION AND SEDIMENT CONTROL MEASURES SHALL BE INSPECTED BY THE OWNER BEFORE FORECASTED STORM EVENTS AND AFTER STORM EVENTS TO ENSURE MEASURES ARE FUNCTIONING PROPERLY. EROSION PREVENTION AND SEDIMENT CONTROL MEASURES THAT HAVE FAILED OR ARE NO LONGER EFFECTIVE SHALL BE PROMPTLY REPLACED. EROSION PREVENTION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED UNTIL DISTURBED AREAS ARE STABILIZED.
- THE LIMITS OF GRADING SHALL BE DEFINED AND MARKED ON SITE TO PREVENT DAMAGE TO SURROUNDING VEGETATION. PRESERVATION OF EXISTING VEGETATION SHALL OCCUR TO THE MAXIMUM EXTENT PRACTICABLE. ANY EXISTING VEGETATION WITHIN THE LIMITS OF GRADING THAT IS TO REMAIN UNDISTURBED BY THE WORK SHALL BE IDENTIFIED AND PROTECTED FROM DAMAGE BY MARKING, FENCING, OR OTHER MEASURES.
- CHANGES TO THE EROSION PREVENTION AND SEDIMENT CONTROL PLAN MAY BE MADE TO RESPOND TO FIELD CONDITIONS AND SHALL BE NOTED ON THE PLAN.
- DISCHARGES OF POTENTIAL POLLUTANTS FROM CONSTRUCTION SITES SHALL BE PREVENTED USING SOURCE CONTROL TO THE MAXIMUM EXTENT PRACTICABLE. POTENTIAL POLLUTANTS INCLUDE BUT ARE NOT LIMITED TO: SEDIMENT, TRASH, NUTRIENTS, PATHOGENS, PETROLEUM HYDROCARBONS, METALS, CONCRETE, CEMENT, ASPHALT, LIME, PAINT, STAINS, GLUES, WOOD PRODUCTS, PESTICIDES, HERBICIDES, CHEMICALS, HAZARDOUS WASTE, SANITARY WASTE, VEHICLE OR EQUIPMENT WASH WATER AND CHLORINATED WATER.
- ALL DISTURBED AREAS SHALL BE PROTECTED BY USING EROSION PREVENTION MEASURES TO THE MAXIMUM EXTENT PRACTICABLE, SUCH AS ESTABLISHING VEGETATION COVERAGE, HYDROSEEDING, STRAW MULCH, GEOTEXTILES, PLASTIC COVERS, BLANKETS OR MATS. TEMPORARY OR PERMANENT REVEGETATION SHALL BE INSTALLED AS SOON AS PRACTICAL AFTER VEGETATION REMOVAL BUT IN ALL CASES PRIOR TO OCTOBER 15. PRIOR TO FINAL INSPECTION, ALL DISTURBED AREAS SHALL BE REVEGETATED OR LANDSCAPING SHALL BE INSTALLED.
- WHENEVER IT IS NOT POSSIBLE TO USE EROSION PREVENTION MEASURES ON EXPOSED SLOPES, SEDIMENT CONTROL DEVICES, SUCH AS FIBER ROLLS AND SILT FENCES SHALL BE INSTALLED TO PREVENT SEDIMENT MIGRATION. FIBER ROLLS AND SILT FENCES SHALL BE TRENCHED AND KEYED INTO THE SOIL AND INSTALLED ON CONTOUR. SILT FENCES SHALL BE INSTALLED APPROXIMATELY 2 TO 5 FEET FROM TOE OF SLOPE.
- HYDROSEEDING SHALL BE CONDUCTED IN A THREE STEP PROCESS. FIRST, EVENLY APPLY SEED MIX AND FERTILIZER TO THE EXPOSED SLOPE. SECOND, EVENLY APPLY MULCH OVER THE SEED AND FERTILIZER. THIRD, STABILIZE THE MULCH IN PLACE. AN EQUIVALENT SINGLE STEP PROCESS, WITH SEED, FERTILIZER, WATER, AND BONDED FIBERS IS ACCEPTABLE.

APPLICATIONS SHALL BE BROADCASTED MECHANICALLY OR MANUALLY AT THE RATES SPECIFIED BELOW. SEED MIX AND FERTILIZER SHALL BE WORKED INTO THE SOIL BY ROLLING OR TAMPING. IF STRAW IS USED AS MULCH, STRAW SHALL BE DERIVED FROM WHEAT, RICE, OR BARLEY AND BE APPROXIMATELY 6 TO 8 INCHES IN LENGTH. STABILIZATION OF MULCH SHALL BE DONE HYDRAULICALLY BY APPLYING AN EMULSION OR MECHANICALLY BY CRIMPING OR PUNCHING THE MULCH INTO THE SOIL. EQUIVALENT METHODS AND MATERIALS MAY BE USED ONLY IF THEY ADEQUATELY PROMOTE VEGETATION GROWTH AND PROTECT EXPOSED SLOPES.

MATERIALS	APPLICATION RATE (POUNDS PER ACRE)
SEED MIX	
BROMUS MOLLIS (BLANDO BROME)	40
TRIFOLIUM HIRTUM (HYKON ROSE CLOVER)	20
FERTILIZER	
16-20-0 & 15% SULPHUR	500
MULCH	
STRAW	4000
HYDRAULIC STABILIZING*	
M-BINDER OR SENTINEL	75-100
EQUIVALENT MATERIAL	PER MANUFACTURER

\*NON-ASPHALTIC, DERIVED FROM PLANTS

- DUST CONTROL SHALL BE PROVIDED BY CONTRACTOR DURING ALL PHASES OF CONSTRUCTION.

- STORM DRAIN INLETS SHALL BE PROTECTED FROM POTENTIAL POLLUTANTS UNTIL DRAINAGE CONVEYANCE SYSTEMS ARE FUNCTIONAL AND CONSTRUCTION HAS BEEN COMPLETED.
- ENERGY DISSIPATORS SHALL BE INSTALLED AT STORM DRAIN OUTLETS WHICH MAY CONVEY EROSIIVE STORM WATER FLOW.
- SOIL, MATERIAL STOCKPILES, AND FERTILIZING MATERIAL SHALL BE PROPERLY PROTECTED TO MINIMIZE SEDIMENT AND POLLUTANT TRANSPORT FROM THE CONSTRUCTION SITE.
- SOLID WASTE, SUCH AS TRASH, DISCARDED BUILDING MATERIALS AND DEBRIS, SHALL BE PLACED IN DESIGNATED COLLECTION AREAS OR CONTAINERS. THE CONSTRUCTION SITE SHALL BE CLEARED OF SOLID WASTE DAILY, OR AS NECESSARY. REGULAR REMOVAL AND PROPER DISPOSAL SHALL BE COORDINATED BY THE CONTRACTOR.
- A CONCRETE WASHOUT AREA, SUCH AS A TEMPORARY PIT, SHALL BE DESIGNATED TO CLEAN CONCRETE TRUCKS AND TOOLS. AT NO TIME SHALL CONCRETE PRODUCTS AND WASTE BE ALLOWED TO ENTER WATERWAYS SUCH AS CREEKS OR STORM DRAINS. NO WASHOUT OF CONCRETE, MORTAR MIXERS, OR TRUCKS SHALL BE ALLOWED ON SOIL.
- PROPER APPLICATION, CLEANING AND STORAGE OF POTENTIALLY HAZARDOUS MATERIALS, SUCH AS PAINTS AND CHEMICALS, SHALL BE CONDUCTED TO PREVENT THE DISCHARGE OF POLLUTANTS.
- TEMPORARY RESTROOMS AND SANITARY FACILITIES SHALL BE LOCATED AND MAINTAINED DURING CONSTRUCTION ACTIVITIES TO PREVENT THE DISCHARGE OF POLLUTANTS.
- APPROPRIATE VEHICLE STORAGE, FUELING, MAINTENANCE AND CLEANING AREAS SHALL BE DESIGNATED AND MAINTAINED TO PREVENT DISCHARGE OF POLLUTANTS.
- CONSTRUCTION COST FOR EROSION AND SEDIMENT CONTROL MEASURES IS ESTIMATED AT \$3,000.00 FOR BMPS DURING CONSTRUCTION AND FOR POST CONSTRUCTION WINTERIZATION.
- CONTRACTOR SHALL REMOVE ALL CLEARED VEGETATION FROM THE SITE.

**GENERAL NOTES**

- CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD OWNER AND BC ENGINEERING GROUP. HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXEMPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.
- THE ENGINEER ASSUMES NO RESPONSIBILITY OTHER THAN FOR THE ADEQUACY OF THE DESIGN CONTAINED HEREIN.
- ALL MATERIALS TO BE USED ARE TO BE APPROVED BY THE ENGINEER PRIOR TO THEIR PLACEMENT. ANY MATERIALS INSTALLED PRIOR TO APPROVAL ARE SUBJECT TO REMOVAL.
- AFTER COMPLETION OF WORK, WORK AREAS SHALL BE RESTORED TO THE ORIGINAL CONDITION BY THE CONTRACTOR.
- NO GUARANTEE IS INTENDED THAT UNDERGROUND CONSTRUCTIONS NOT SHOWN ON THE PLANS WILL NOT BE ENCOUNTERED. THOSE SHOWN ARE BASED ON THE BEST INFORMATION AVAILABLE AND THE CONTRACTOR IS CAUTIONED THAT THE OWNER, THE ENGINEERS AND THE CITY OF HEALDSBURG ASSUME NO RESPONSIBILITY FOR ANY OBSTRUCTIONS EITHER SHOWN OR NOT SHOWN ON THESE PLANS.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS SHOWN AND BRING DISCREPANCIES TO THE ATTENTION OF THE ENGINEER PRIOR TO PROCEEDING WITH THE WORK.
- THE OWNER SHALL PROVIDE THE NECESSARY MATERIAL AND SOILS TESTING INSPECTIONS AND OBSERVATIONS. THE CONTRACTOR SHALL PROVIDE 48 HOURS NOTICE PRIOR TO REQUIRED TESTING.
- OWNER SHALL PROVIDE ONE SET OF CONSTRUCTION SLOPE STAKES. OBLITERATED OR DISTURBED STAKES SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
- SILT FENCING SHALL BE REJECTED FOR EROSION CONTROL.
- EXCESS EARTH MATERIAL SHALL BE PLACED IN AREAS DESIGNATED BY THE OWNER, AND INSPECTED/TESTED, AS NECESSARY, BY A GEOTECHNICAL ENGINEER. SHOULD ANY MATERIAL NEED TO BE REMOVED FROM SITE, ALL OFFHAUL MATERIAL SHALL BE INCLUDED IN BID. ANY OFFHAUL SHALL BE APPROVED BY THE CITY OF HEALDSBURG.
- ALL CUT AND FILL EXCAVATION AND EARTH PLACEMENT SHALL BE IN CONFORMANCE WITH THE A GEOTECHNICAL INVESTIGATION.
- ALL STORM DRAIN PIPE SHALL BE ADS OR HANCOR DOUBLE-WALLED SMOOTH BORE. OR EQUIVALENT.
- CONTRACTOR TO COORDINATE WITH OWNERS AND GEOTECHNICAL FIRM THE PLACEMENT OF EARTH SPOILS, STABILIZATION, AND WINTERIZATION
- A CONSTRUCTION MANAGEMENT PLAN SHALL BE SUBMITTED AND APPROVED BY THE CITY PRIOR TO COMMENCEMENT OF CONSTRUCTION.

**UNDERGROUND UTILITIES**

- ALL UNDERGROUND UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE PG&E PUBLICATION "ELECTRIC & GAS SERVICE REQUIREMENTS" LATEST REVISION.

REV.	DESCRIPTION	DATE

**BC ENGINEERING GROUP, INC.**  
**CIVIL ENGINEERING & LAND PLANNING**  
 www.bceengineeringgroup.com  
 Phone: 707.542.4321  
 2800 Cleveland Ave., Suite B  
 Santa Rosa, CA 95403



**PETRUZZELLA SELF STORAGE**  
 NOTES  
 TONY PETRUZZELLA  
 1501 GROVE STREET  
 HEALDSBURG, CA 95448

Date: 04/27/2026

Job: 3619-25

Drawn: IH

Scale: AS SHOWN

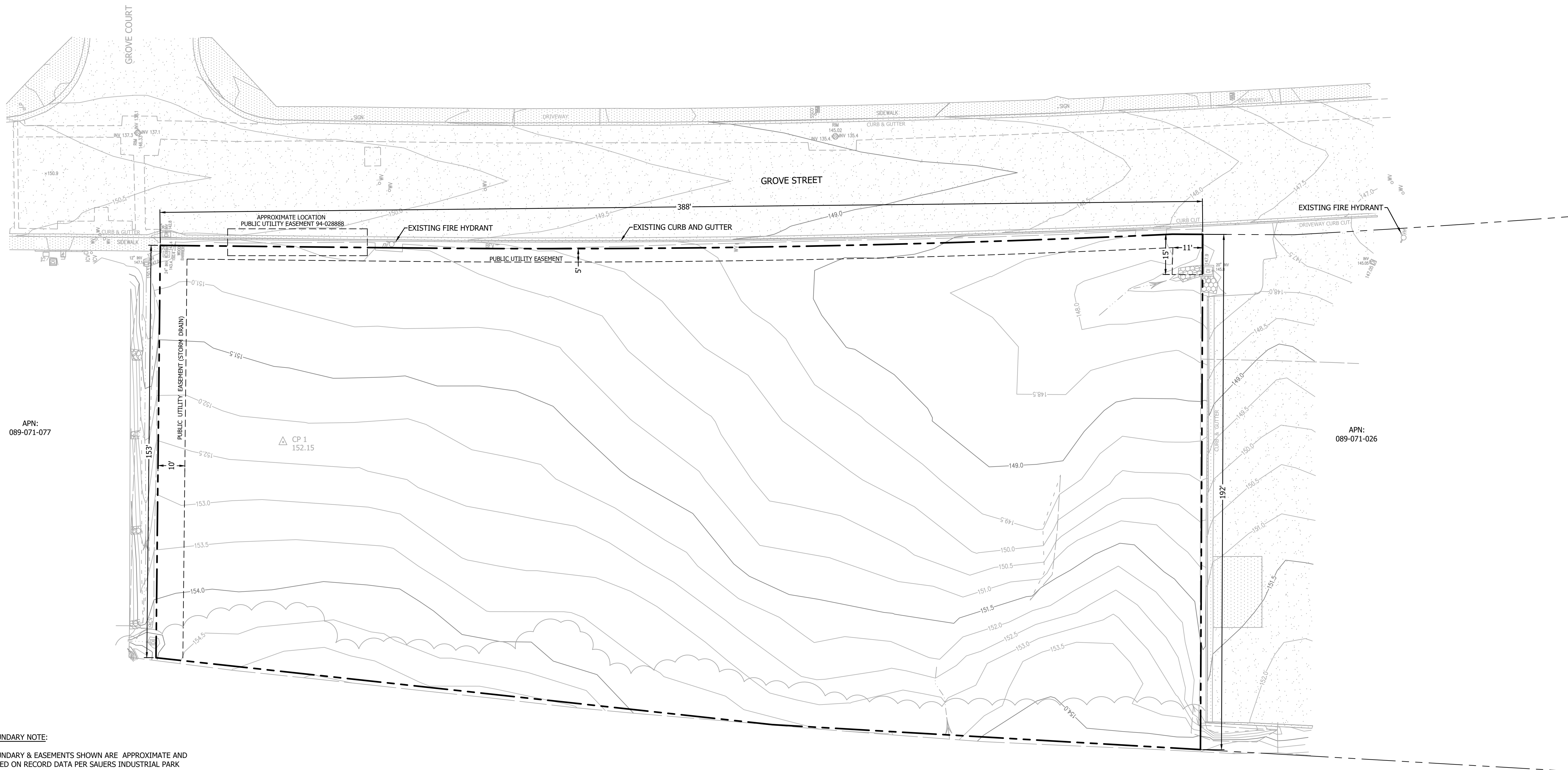
APN: 089-071-025

Permit #:

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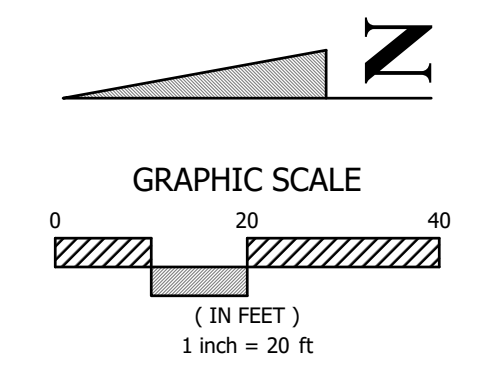
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**BOUNDARY NOTE:**  
 BOUNDARY & EASEMENTS SHOWN ARE APPROXIMATE AND BASED ON RECORD DATA PER SAUERS INDUSTRIAL PARK UNIT II, BOOK 540 MAPS, PAGES 1-4, AND BEST FIT TO FOUND FIELD EVIDENCE. THIS IS NOT A RECORD OF SURVEY.

**REVISION NOTE:**  
 MAP REVISED TO ADD EASEMENT PER DOCUMENT NUMBER 1994-028888 THE REMAINDER OF THE EASEMENTS LISTED IN THE FIDELITY TITLE REPORT DATED OCTOBER 1, 2025 ARE WITHIN GROVE STREET PUBLIC RIGHT-OF-WAY.


**EXISTING CONDITIONS**  
 SCALE: 1"=20'



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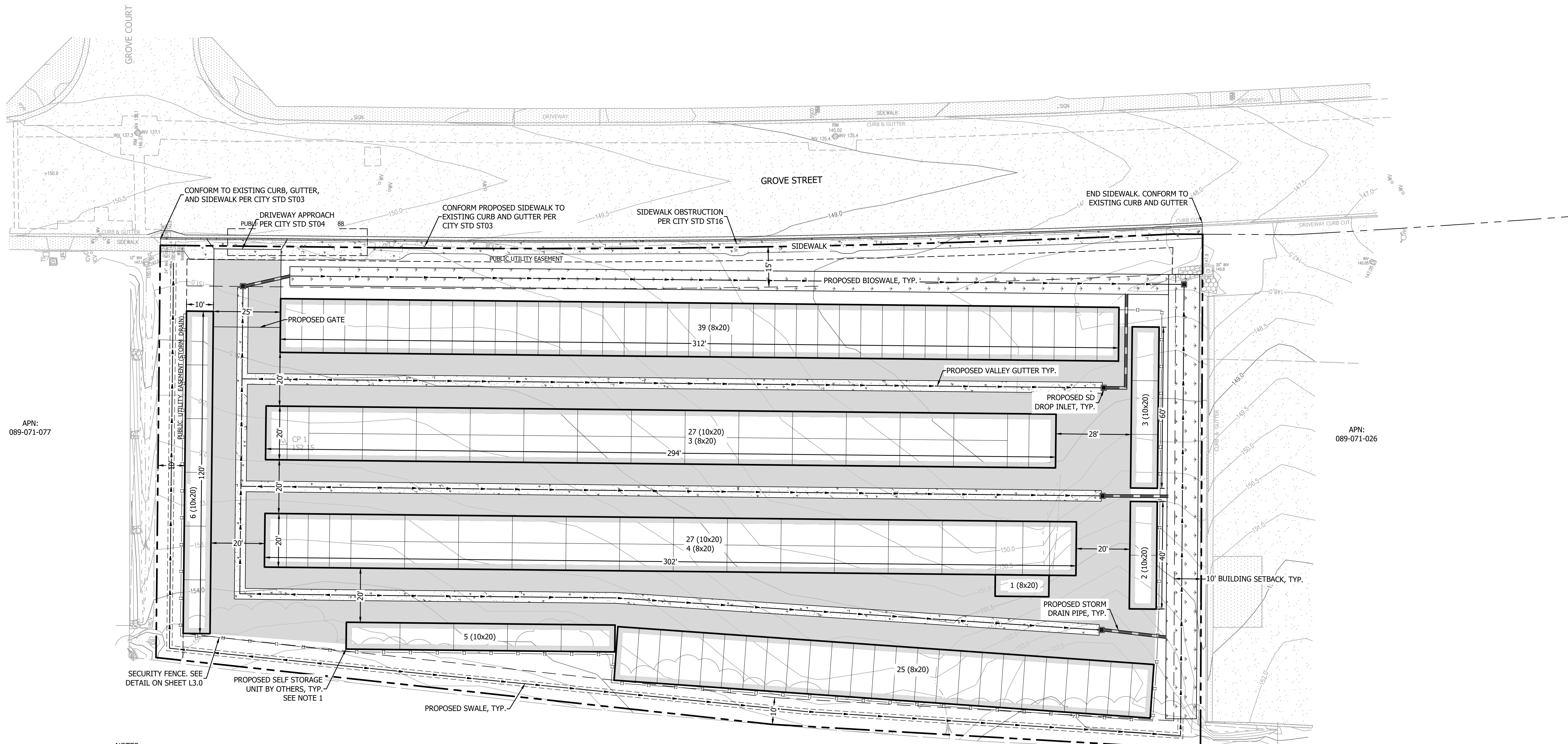
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**PETRUZZELLA SELF STORAGE**  
 EXISTING CONDITIONS  
 TONY PETRUZZELLA  
 1501 GROVE STREET  
 HEALDSBURG, CA 95448

Date:	04/27/2026
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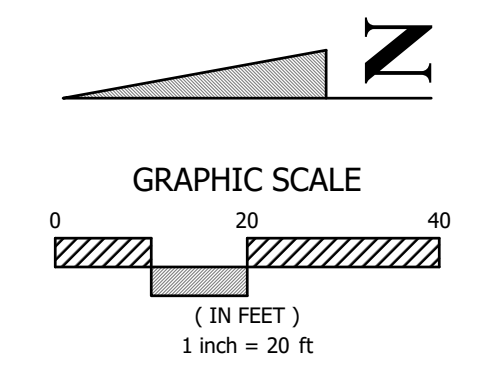
APN: 089-071-077

APN: 089-071-026

TOTAL UNITS: 142  
 10x20s: 70  
 8x20s: 72  
 TOTAL AREA: 25,520 SF  
 PARCEL AREA: 67,082 SF  
 SITE COVERAGE:  $\frac{25,520}{67,082} = 38\%$

**NOTES:**  
 1. AUTOMATIC FIRE SPRINKLER SYSTEM REQUIRED. SEPARATE PERMIT AND SHOP DRAWINGS TO BE SUBMITTED.

**OVERALL SITE MAP**  
 SCALE: 1"=20'



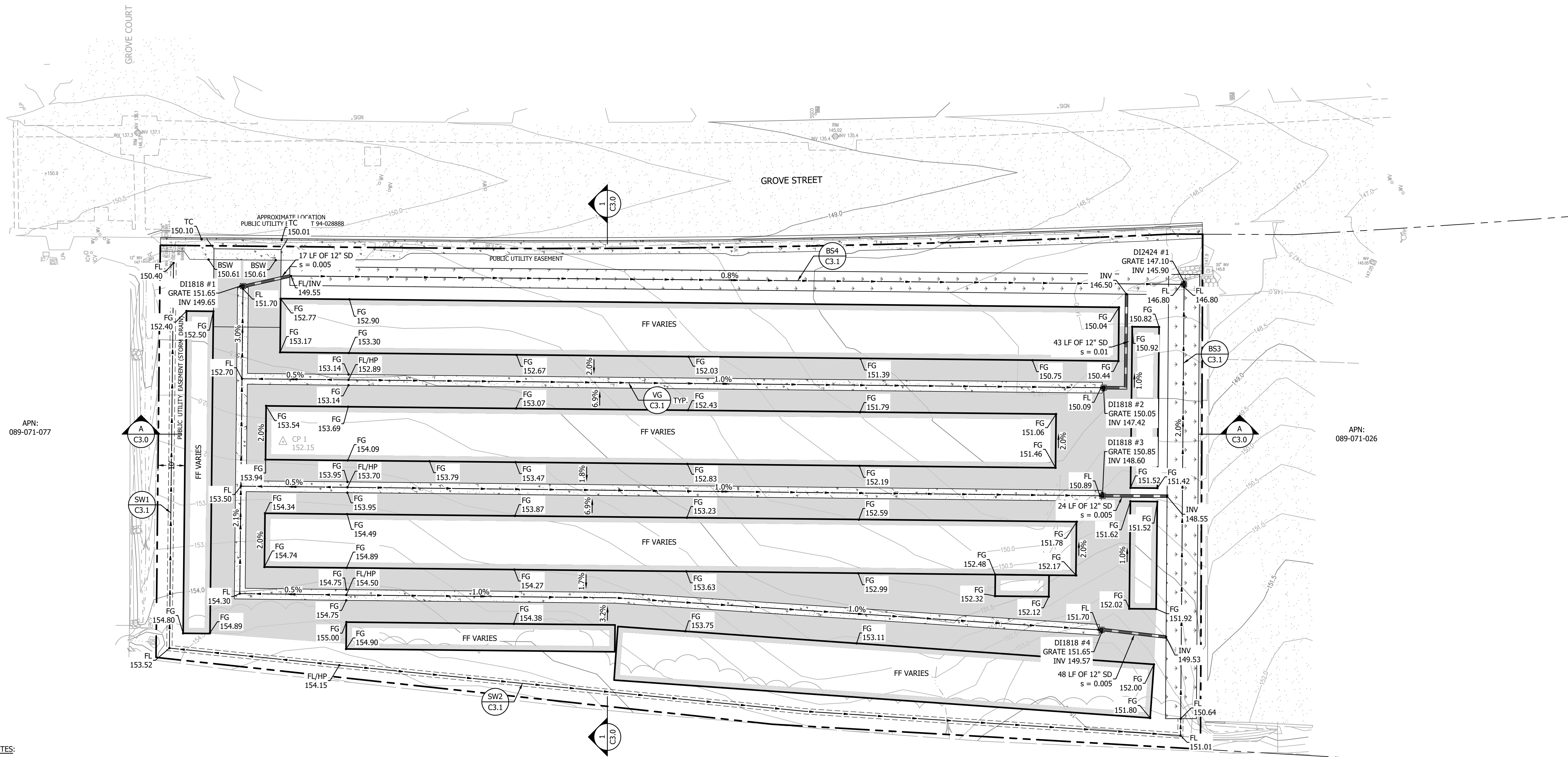
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**PETRUZZELLA SELF STORAGE**  
 OVERALL SITE MAP  
 TONY PETRUZZELLA  
 1501 GROVE STREET  
 HEALDSBURG, CA 95448

Date: 04/27/2026  
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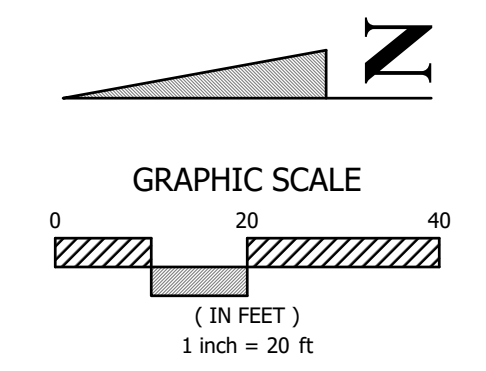


APN: 089-071-077

APN: 089-071-026

**NOTES:**  
 SELF STORAGE UNITS ARE FASTENED ON TOP OF FINISH GRADE. SEE STRUCTURAL DRAWINGS FOR FASTENING DETAILS. SEE SELF STORAGE UNIT DETAILS BY OTHERS.

**GRADING AND DRAINAGE PLAN**  
 SCALE: 1"=20'



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**PETRUZZELLA SELF STORAGE**  
**GRADING AND DRAINAGE PLAN**  
 TONY PETRUZZELLA  
 1501 GROVE STREET  
 HEALDSBURG, CA 95448

Date: 04/27/2026

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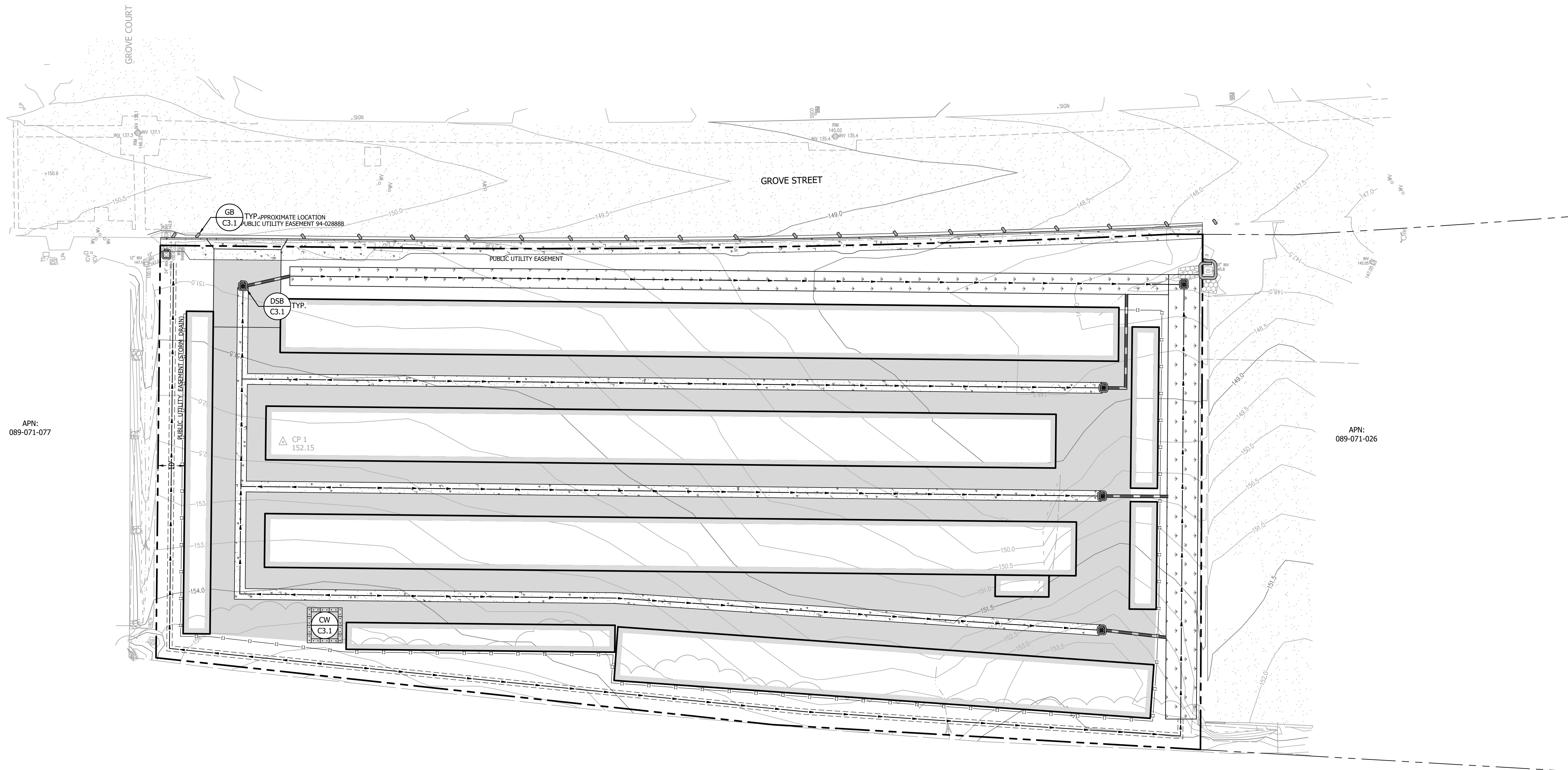
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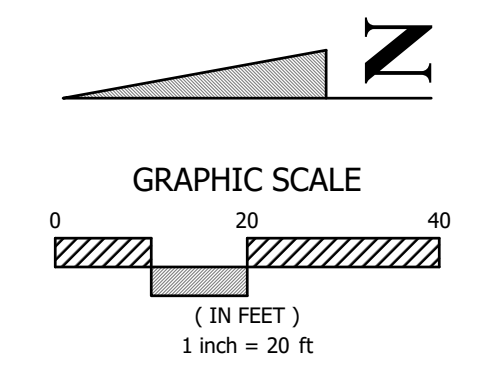
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**EROSION CONTROL PLAN**  
SCALE: 1"=20'



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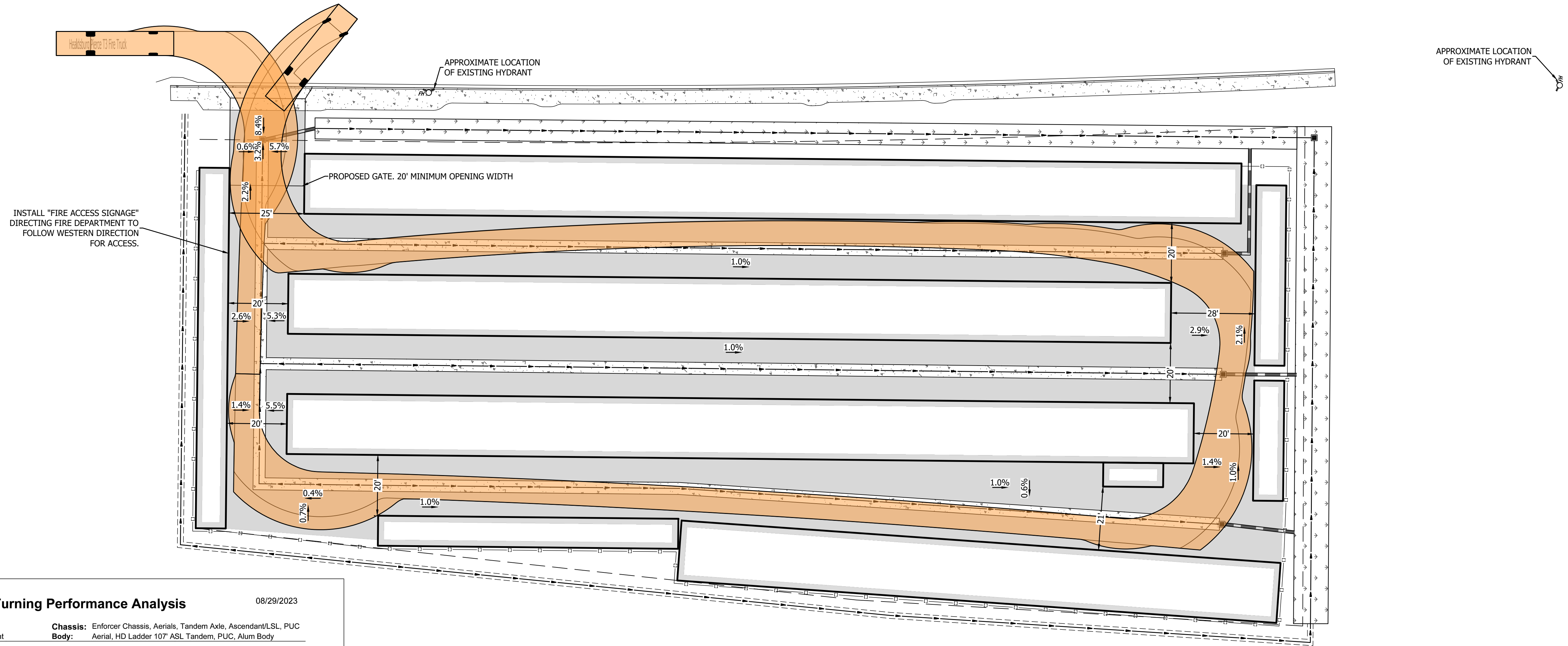
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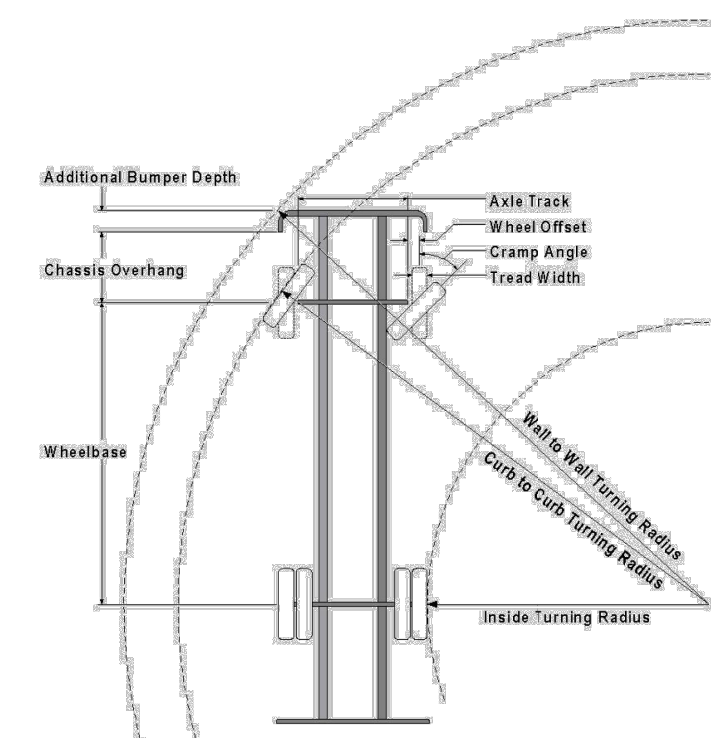
**PETRUZZELLA SELF STORAGE**  
**PROJECT INFORMATION**  
 TONY PETRUZZELLA  
 1501 GROVE STREET  
 HEALDSBURG, CA 95448

Date:	04/27/2026
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**Pierce** Turning Performance Analysis 08/29/2023

**Bid Number:** 784 **Chassis:** Enforcer Chassis, Aerials, Tandem Axle, Ascendant/LSL, PUC  
**Department:** Healdsburg Fire Department **Body:** Aerial, HD Ladder 107' ASL Tandem, PUC, Alum Body



**Parameters:**

*Inside Cramp Angle:	45°
Axle Track:	82.92 in.
Wheel Offset:	5.25 in.
Tread Width:	16.3 in.
Chassis Overhang:	65.95 in.
Additional Bumper Depth:	16 in.
Front Overhang:	81.95 in.
Wheelbase:	250.5 in.

**Calculated Turning Radii:**

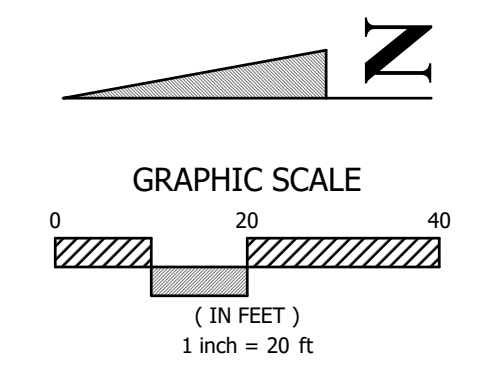
Inside Turn:	19 ft. 9 in.
Curb to curb:	35 ft. 10 in.
Wall to wall:	40 ft. 0 in.

**Calculated Turning Radii (w/ T3):**  
 Inside Turn: 16' 10"  
 Curb to Curb: 31' 5"  
 Wall to Wall: 35' 4"

Category	Option	Description
Aerial Devices	0755095	Aerial, 107' ASL Tandem, 750/500 Tip, 50 MPH
Axle, Front, Custom	0629940	Axle, Front, Oshkosh TAK-4, Non Drive, 22,800 lb, Enforcer
Tires, Front	0594821	Tires, Front, Goodyear, G296 MSA, 425/65R22.50, 20 ply
Wheels, Front	0604672	Wheels, Front, Accuride, 22.50" x 12.25", Steel, Hub Pilot
Bumpers	0606505	Bumper, 16" Extended, Steel Painted, Reinforced, Saber FR/Enforcer

**Notes:**  
 \*Actual inside cramp angle may be less than shown.  
 Curb to Curb turning radius calculated for 9.00 inch curb.

**NOTES:**  
 EMERGENCY VEHICLE ACCESS EXHIBIT DEVELOPED WITH AUTODESK VEHICLE TRACKING SOFTWARE, UTILIZING CITY OF HEALDSBURG FIRE DEPARTMENT TURNING PERFORMANCE ANALYSIS SPECIFICATIONS.  
 NO VERTICAL CLEARANCE OBSTRUCTIONS ARE ANTICIPATED WITHIN FIRE ACCESS ROUTES. MINIMUM 13' 6" VERTICAL CLEARANCE MAINTAINED.



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**PETRUZZELLA SELF STORAGE**  
**VEHICLE TRACKING**  
 TONY PETRUZZELLA  
 1501 GROVE STREET  
 HEALDSBURG, CA 95448

Date: 04/27/2026

Job: 3619-25

Drawn: IH

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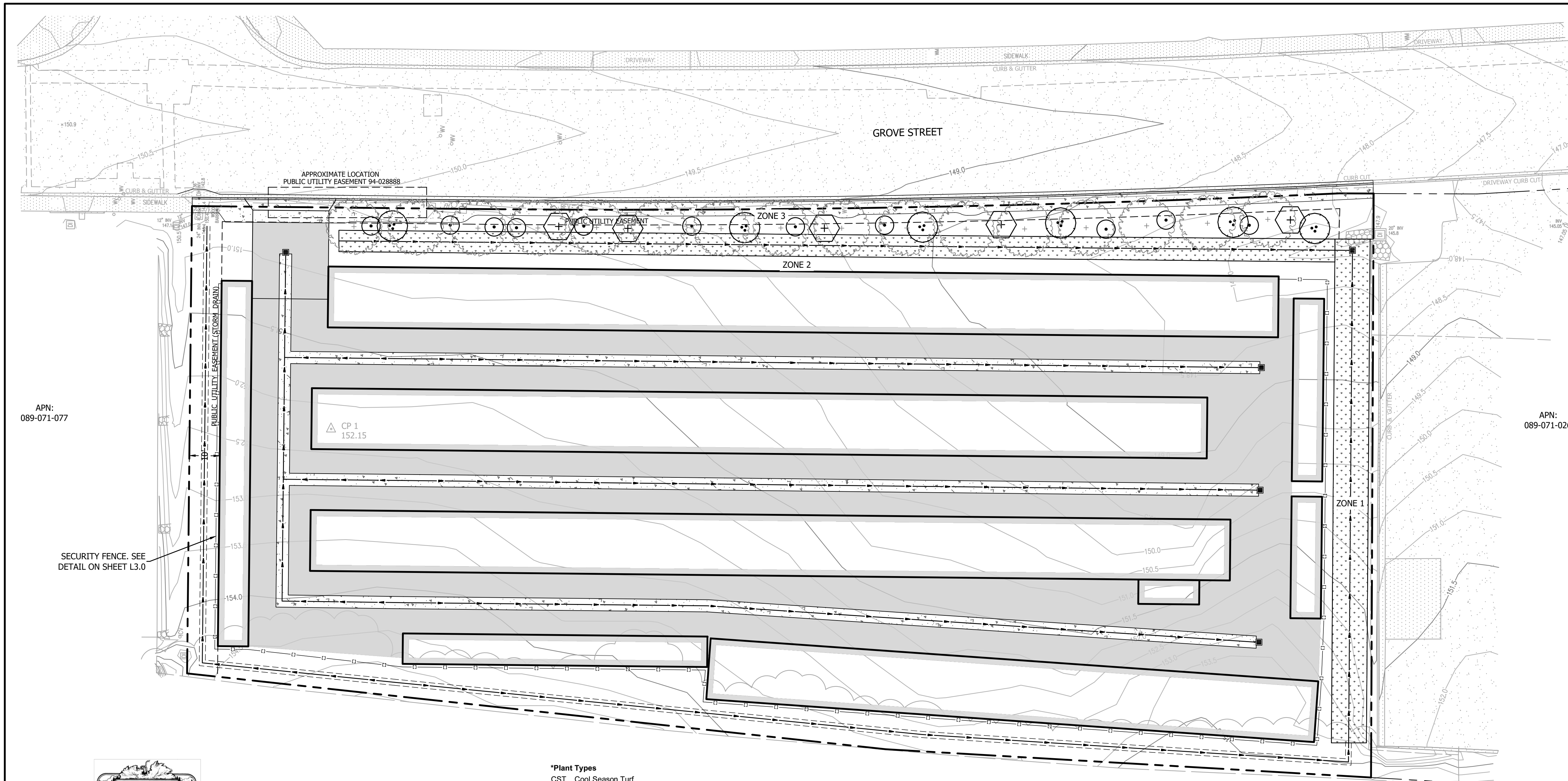
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**PLANTING NOTES**

- ALL WORK IS TO BE PERFORMED UNDER THE DIRECTION OF A LICENSED LANDSCAPE CONTRACTOR (C-27 LICENSE) OR CERTIFIED BY THE STATE OF CALIFORNIA FOR THE TYPE OF WORK SHOWN ON THE PLANS.
- A MINIMUM THREE INCH (3") LAYER OF MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT IN TURF AREAS, CREEPING OR ROOTING GROUNDCOVERS, OR DIRECT SEEDING APPLICATIONS WHERE MULCH IS CONTRAINDICATED.
- FOR LANDSCAPE INSTALLATIONS, COMPOST AT A MINIMUM RATE OF SIX CUBIC YARDS PER 1,000 SQUARE FEET OF PERMEABLE AREA SHALL BE INCORPORATED TO A DEPTH OF EIGHT INCHES INTO THE SOIL. SOILS WITH GREATER THAN 6% ORGANIC MATTER IN THE TOP 6 INCHES OF SOIL ARE EXEMPT FROM ADDING COMPOST AND TILLING.
- CONTRACTOR IS TO SUBMIT SOIL SAMPLES FROM TYPICAL PLANTING AREAS TO A LABORATORY FOR ANALYSIS AND RECOMMENDATIONS. SOIL SAMPLING SHALL BE CONDUCTED IN ACCORDANCE WITH LABORATORY PROTOCOL, INCLUDING PROTOCOLS REGARDING ADEQUATE SAMPLING DEPTH FOR THE INTENDED PLANTS. THE SOIL ANALYSIS SHALL INCLUDE:
  - SOIL TEXTURE
  - INFILTRATION RATE DETERMINED BY LABORATORY TEST OR SOIL TEXTURE INFILTRATION RATE TABLE
  - PH
  - TOTAL SOLUBLE SALTS
  - SODIUM
  - PERCENT ORGANIC MATTER
  - RECOMMENDATIONS
- SOIL AMENDMENTS SHALL BE INCORPORATED ACCORDING TO RECOMMENDATIONS OF THE SOIL REPORT AND WHAT IS APPROPRIATE FOR THE PLANTS SELECTED.
- PRIOR TO THE PLANTING OF ANY MATERIALS, COMPACTED SOILS SHALL BE TRANSFORMED TO A FRIABLE CONDITION. ON ENGINEERED SLOPES, ONLY AMENDED PLANTING HOLES NEED MEET THIS REQUIREMENT.
- PLANTS SHALL BE OF QUALITY NURSERY STOCK, FREE OF PESTS AND DISEASES, AND CONFORM TO THE SIZE SPECIFICATIONS OF THE PLANT LEGEND AND THE LATEST EDITION OF THE AMERICAN NURSERYMAN STANDARDS. PLANTS SHALL BE SUFFICIENTLY ROOTED TO THE EDGE OF THE CONTAINER. PLANTS OBSERVED WITH A ROOT-BOUND CONDITION OR SHOWING ANY SIGNS OF GIRDLING SHALL BE REJECTED.
- ALL PLANT LOCATIONS SHOWN ARE DIAGRAMMATIC AND SHALL BE CONFIRMED IN THE FIELD BY THE LANDSCAPE ARCHITECT. PROVIDE 48 HOURS ADVANCE NOTICE TO SCHEDULE SITE VISITS. CONTRACTOR IS TO ADJUST ALL PLANTING WITH UTILITY LOCATIONS OR OTHER OBSTACLES NOT SHOWN ON THESE PLANS. ANY CONFLICTS BETWEEN LOCATIONS OF PROPOSED PLANTING AND UTILITIES OR OTHER OBSTRUCTIONS ARE TO BE CALLED TO THE ATTENTION OF THE LANDSCAPE ARCHITECT.
- PLANT QUANTITIES ARE FOR INFORMATIONAL USE ONLY. IN THE CASE OF ANY DISCREPANCIES BETWEEN PLANT QUANTITIES AND SYMBOLS SHOWN, THE PLANTING PLAN SHALL GOVERN. NOTIFY THE LANDSCAPE ARCHITECT IF CLARIFICATION IS NEEDED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PLANTS AS SHOWN ON THE DRAWINGS.
- NURSERY TRAINING STAKES SHALL BE REMOVED AT THE TIME OF PLANTING. BACKFILL HOLES WITH AMENDED PLANTING SOIL. TREES AND OTHER PLANTINGS THAT REQUIRE STAKING SHALL BE INSTALLED PER DETAIL.
- TREES SHALL BE CAPABLE OF SUPPORTING THEMSELVES WHEN STAKED. TREES WHICH HAVE BEEN "TOPPED" OR CUT ALONG THE LEAD TRUNK WILL BE REJECTED.
- THE CONTRACTOR SHALL MAINTAIN AND MONITOR THE LANDSCAPE INSTALLATION FOR 60 DAYS UPON FINAL ACCEPTANCE. PLANTS IN AN UNHEALTHY OR DISTRESSED STATE SHALL BE REPLACED AT THE SAME SIZE AND SPECIFICATION AS THE ORIGINAL AT NO ADDITIONAL COST TO THE OWNER. ALL TREES SHALL BE GUARANTEED FOR ONE YEAR AND ALL SHRUBS AND GROUND COVER SHALL BE GUARANTEED FOR 6 MONTHS UPON FINAL ACCEPTANCE.
- UPON COMPLETION OF THE INSTALLATION, THE CONTRACTOR SHALL SUBMIT TO THE CITY A COMPLETED AND SIGNED "CERTIFICATE OF COMPLETION" STATING THAT THE PROJECT HAS BEEN INSTALLED AS DESIGNED.
- THE CERTIFICATE OF COMPLETION SHALL BE ACCOMPANIED BY AN IRRIGATION AUDIT, IRRIGATION SCHEDULE AND MAINTENANCE SCHEDULE, AS DESCRIBED IN THE CITY ORDINANCE.
- CONTRACTOR SHALL SUBMIT A REGULAR MAINTENANCE SCHEDULE WITH THE CERTIFICATE OF COMPLETION. A REGULAR MAINTENANCE SCHEDULE SHALL INCLUDE, BUT NOT BE LIMITED TO, ROUTINE INSPECTION; AERATING AND DETHATCHING TURF AREAS; TOPDRESSING WITH COMPOST, REPLISHING MULCH; FERTILIZING; PRUNING; WEEDING IN ALL LANDSCAPE AREAS.

REV.	DESCRIPTION	DATE

**BC ENGINEERING GROUP, INC.**  
**CIVIL ENGINEERING & LAND PLANNING**  
 www.bceengineeringgroup.com  
 Phone: 707.542.4321  
 2800 Cleveland Ave., Suite B  
 Santa Rosa, CA 95403



**PETRUZZELLA SELF STORAGE**  
**10 - PLANTING PLAN**  
 TONY PETRUZZELLA  
 1501 GROVE STREET  
 HEALDSBURG, CA 95448

Date:	03/03/2026
Job:	3619-25
Drawn:	IH
Scale:	AS SHOWN
APN:	089-071-025
Permit #:	
Sheet:	L1.0



**Water Efficient Landscape Worksheet**

Project Name: PETRUZZELLA SELF STORAGE

**Maximum Applied Water Allowance (MAWA)** (gallons per year)  
 Calculate the project's Maximum Applied Water Allowance using the following equation:  
 MAWA = (ETo x 0.62) (0.7 x LA + 0.3 x SLA)  
 where:  
 ETo = Reference Evapotranspiration (40.8 inches per year for Healdsburg)  
 0.62 = Conversion factor (to gallons per square foot)  
 0.7 = ET Adjustment Factor  
 LA = Total Landscape Area, including any Special Landscape Area (square feet)  
 SLA = Special Landscape Area (square feet)  
 0.3 = ET Adjustment Factor for Special Landscape Area (1.0 - 0.7 = 0.3)  
 Show calculations below.  
 MAWA = (40.8 x 0.62) (0.7 x 5,755 + 0.3 x 0) = 101,921 gallons per year  
 Maximum Applied Water Allowance = 101,921 gallons per year

Hydrozone ID	Plant Type*	Plant Factor (PF)**	Landscaped Area	PF X Landscaped Area
ZONE 1	LW	0.3	1,905	571.5
ZONE 2	LW	0.3	2,372	712
ZONE 2	LW	0.3	1,477	443
<b>Totals</b>			5,755 sq. ft.	1,726.5 sq. ft.

\*Plant Types  
 CST Cool Season Turf  
 WST Warm Season Turf  
 HW High Water Use Plants  
 MW Moderate Water Use Plants  
 LW Low Water Use Plants  
 All water features are High Water Use  
 Temporarily irrigated areas are Low Water Use  
 \*\*From Water Use Classification of Landscape Species (WUCOLS)

**Hydrozone Map**  
 Attach a hydrozone map to this worksheet. Hydrozones shall be designated by number, letter or other designation. SEE HYDROZONES ON SHEET L2.0

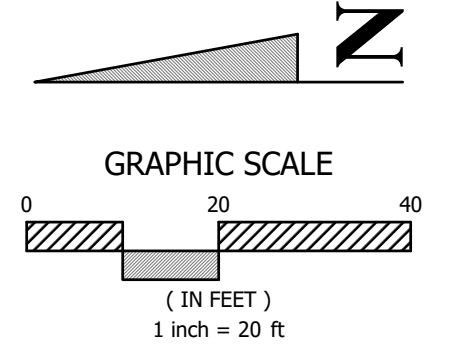
**Estimated Total Water Use (ETWU)** (gallons per year)  
 Calculate the project's Estimated Total Water Use using the following equation:  
 ETWU = (ETo x 0.62)  $\left[ \frac{\sum WU}{IE} + SLA \right]$   
 where:  
 ETo = Reference Evapotranspiration (40.8 inches per year in Healdsburg)  
 0.62 = Conversion factor (to gallons per square foot)  
 $\sum WU$  = Total water use from Water Use by Hydrozone Table (above)  
 IE = Irrigation efficiency from table below (minimum 0.71)  
 % of total landscape irrigated with drip      Irrigation efficiency factor  
 0 - 25%      0.71  
 26 - 50%      0.75  
 51 - 75%      0.80  
 76 - 100%      0.85  
 SLA = Special Landscape Area (square feet)  
 Show calculations below.

ETWU = (40.8 x 0.62)  $\left[ \frac{1,726.5}{.71} + 0 \right]$  = 61,512 gallons per year  
 Estimated Total Water Use = 61,512 gallons per year

Calculations must demonstrate that the project's ETWU of 61,512 gallons per year is less than its MAWA of 101,921 gallons per year

**PLANTING LEGEND**

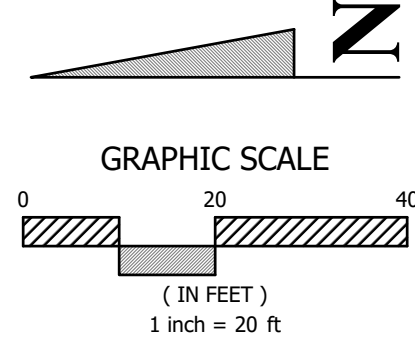
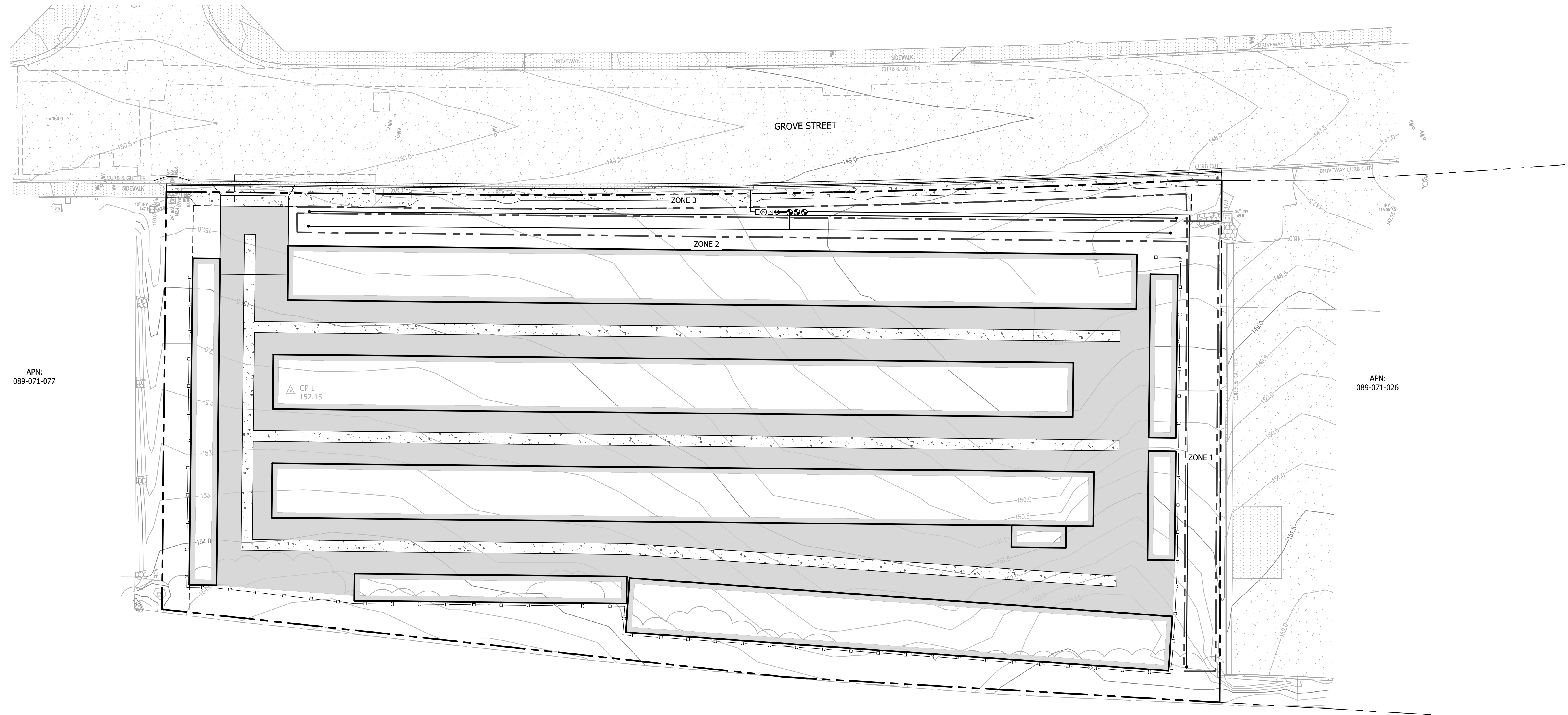
BOTANICAL NAME / COMMON NAME	WUCOLS	SIZE	QTY.	COMMENTS
<b>GROUNDCOVERS/PERENNIALS</b>				
FESTUCA CALIFORNICA / CALIFORNIA FESCUE	L	1 GAL	4,278 SF	SEE DETAIL PL ON SHEET L3.0
MUHLENBERGIA RIGENS / DEERGRASS	L	1 GAL	4,278 SF	SEE DETAIL PL ON SHEET L3.0
CAREX BARBARAE / SANTA BARBARA SEDGE	VL	1 GAL	4' O.C. SPACING	
<b>SHRUBS</b>				
CEANOTHUS / CALIFORNIA LILAC	VL	5 GAL	12	4' O.C. Δ SPACING
SALVIA C. 'WINNIFRED GILMAN' / BLUE SAGE	L	5 GAL	6	6' O.C. Δ SPACING
SALVIA G. 'LIPSTICK' / 'LIPSTICK' SAGE	L	5 GAL	6	4' O.C. Δ SPACING
<b>TREES</b>				
CERCIS OCCIDENTALIS / WESTERN REDBUD	L	FIELD DUG	16	20' O.C. Δ SPACING



**MWELo STATEMENT**

"I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE PLAN"  
  
 THOMAS BILLETER  
 REGISTERED CIVIL ENGINEER #C78125  
 DATE: 1/21/2026

NOT FOR CONSTRUCTION



**IRRIGATION NOTES**

1. THE IRRIGATION SYSTEM SHALL BE ASSEMBLED AND INSTALLED ACCORDING TO THE IRRIGATION PLANS, DESIGN SPECIFICATIONS, LOCALLY APPLIED CODES AND STANDARDS, AND MANUFACTURERS' PRODUCT REQUIREMENTS. WORK IS TO BE EXECUTED BY A LICENSED LANDSCAPE CONTRACTOR (C-27 LICENSE).
2. THESE IRRIGATION DRAWINGS ARE DIAGRAMMATIC AND INDICATIVE OF THE WORK TO BE INSTALLED. ALL PIPING, VALVES, AND OTHER IRRIGATION COMPONENTS MAY BE SHOWN WITHIN PAVED AREAS FOR GRAPHIC CLARITY ONLY AND ARE TO BE INSTALLED WITHIN PLANTING AREAS.
3. CONTRACTOR IS TO BE FAMILIAR WITH ALL FINISHED CONDITIONS AFFECTING THE CONTRACT WORK AND PLAN ACCORDINGLY. COORDINATE IRRIGATION WORK WITH APPLICABLE CONTRACTORS, CONDUIT OR SLEEVES UNDER PAVING AND STRUCTURES BEFORE CONSTRUCTION. IN THE EVENT THESE NOTIFICATIONS ARE NOT PERFORMED, THE CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR ANY REQUIRED REVISIONS.
4. THE IRRIGATION SYSTEM DESIGN IS BASED ON THE MINIMUM AVAILABILITY OF 12 G.P.M. AND OPERATING PRESSURE OF 55 P.S.I. AT THE POINT OF CONNECTION. CONTRACTOR IS TO NOTIFY LANDSCAPE ARCHITECT IF THESE DEMANDS CANNOT BE MET PRIOR TO COMMENCING ANY WORK.
5. TEST ALL PRESSURE LINES AT 150 P.S.I. FOR 2 HOURS PRIOR TO BACKFILLING TRENCH. IF LEAKS DEVELOP, MAKE ALL NECESSARY REPAIRS AND REPEAT TEST UNTIL PRESSURE IS HELD.
6. SLEEVES SHALL BE SCH. 40 PVC, TWICE THE DIAMETER OF THE PIPING OR WIRING BUNDLE THAT IT HOLDS, AND EXTEND A MINIMUM 12" BEYOND THE EDGE OF SURFACES. SLEEVE ALL PIPES AND WIRE BUNDLES SEPARATELY.
7. COORDINATE EXACT CONTROLLER LOCATION WITH OWNER. COORDINATE POWER SUPPLY AND SLEEVING WITH GENERAL CONTRACTOR. ALL 120V ELECTRICAL POWER SUPPLY WORK TO BE PERFORMED BY A LICENSED ELECTRICAL CONTRACTOR AND MEET ALL APPLICABLE CODES. LANDSCAPE CONTRACTOR SHALL MAKE ALL HARDWARE CONNECTIONS FOR CONTROL WIRES.
8. IRRIGATION CONTROL WIRES SHALL BE SOLID COPPER WITH U.L. APPROVAL FOR DIRECT BURIAL IN GROUND AND CONTINUOUS FROM THE CONTROLLER (NO SPLICES). COMMON GROUND WIRE: SIZE #12-1 WIRE WITH A WHITE INSULATING JACKET. CONTROL WIRE SERVICING REMOTE CONTROL VALVES SHALL BE SIZE #14-1 WIRE WITH A RED INSULATING JACKET. SPLICES SHALL BE MADE WITH 3M-DBY SEAL PACKS OR APPROVED EQUAL. SPLICING OF LOW VOLTAGE WIRES IS PERMITTED IN VALVE BOXES ONLY.
9. ALL IRRIGATION EQUIPMENT MUST MEET AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI), AMERICAN SOCIETY OF AGRICULTURAL AND BIOLOGICAL ENGINEERS/ INTERNATIONAL CODE COUNCIL (ASABE/ICC)802-2014, "LANDSCAPE IRRIGATION SPRINKLER AND EMITTER STANDARD.
10. ALL MATERIALS PROVIDED BY THE CONTRACTOR SHALL BE NEW OR VIABLE AND FREE OF ANY CONTAMINATION OR DAMAGE. MATERIALS NOT SPECIFICALLY ADDRESSED IN THESE SPECIFICATIONS OR ASSOCIATED NOTES AND DRAWINGS BUT ARE UNDERSTOOD AS NECESSARY TO COMPLETE THE PROJECT AS A MATTER OF INDUSTRY STANDARDS SHALL NEVERTHESS BE PROVIDED BY THE CONTRACTOR. SUBSTITUTIONS OF MATERIALS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT IN WRITING.
11. PRESSURE REGULATING DEVICES ARE REQUIRED IF WATER PRESSURE IS BELOW OR EXCEEDS THE RECOMMENDED PRESSURE OF THE SPECIFIED IRRIGATION DEVICES.
12. CHECK VALVES OR ANTI-DRAIN VALVES ARE REQUIRED ON ALL SPRINKLER HEADS WHERE LOW POINT DRAINAGE COULD OCCUR.
13. THE CONTRACTOR SHALL KEEP A DETAILED REDLINE PLAN OF THE INSTALLATION AS IT PROGRESSES. THIS "AS-BUILT" PLAN SHALL SHOW ANY DISCREPANCIES TO THE DESIGN PLANS, LOCATION OF POINT OF CONNECTION, MAIN LINE AND LATERAL PIPE LAYOUT, WIRE PATH, VALVES, SPRINKLER HEADS, ETC. THE AS-BUILT PLAN SHALL BE REDUCED TO 11x17 AND PERMANENTLY MOUNTED IN THE CONTROLLER ENCLOSURE.
14. A DIAGRAM OF THE IRRIGATION PLAN SHOWING HYDROZONES SHALL BE KEPT WITH THE IRRIGATION CONTROLLER FOR SUBSEQUENT MANAGEMENT PURPOSES.
15. A CERTIFICATE OF COMPLETION SHALL BE FILLED OUT AND CERTIFIED BY EITHER THE DESIGNER OF THE LANDSCAPE PLANS, IRRIGATION PLANS, OR THE LICENSED LANDSCAPE CONTRACTOR FOR THE PROJECT.
16. AN IRRIGATION AUDIT REPORT SHALL BE COMPLETED AT THE TIME OF FINAL INSPECTION. ALL LANDSCAPE IRRIGATION AUDITS SHALL BE CONDUCTED BY A CITY CERTIFIED LANDSCAPE IRRIGATION AUDITOR OR A THIRD PARTY CERTIFIED LANDSCAPE IRRIGATION AUDITOR.
17. CONTRACTOR SHALL SUBMIT A REGULAR MAINTENANCE SCHEDULE WITH THE CERTIFICATE OF COMPLETION AND SHALL INCLUDE, BUT NOT BE LIMITED TO, ROUTINE INSPECTION; AUDITING, ADJUSTMENT AND REPAIR OF THE IRRIGATION SYSTEM AND ITS COMPONENTS; AND REMOVING OBSTRUCTIONS TO EMISSION DEVICES.
18. THE CONTRACTOR SHALL GUARANTEE THE IRRIGATION SYSTEM FOR A PERIOD OF 12 MONTHS BEYOND THE DATE OF FINAL ACCEPTANCE. ALL MATERIALS AND WORKMANSHIP REQUIRING REPAIRS OR REPLACEMENT SHALL BE PERFORMED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER. REPAIRS SHALL BE MADE WITHIN A 48 HOUR TIMEFRAME, AND IMMEDIATELY SHOULD THEY POSE A SAFETY ISSUE.

**IRRIGATION LEGEND**

SYMBOL	MFG.	MODEL #	DESCRIPTION	DETAIL
[W]	N/A	N/A	WATER METER & SERVICE BY OTHERS	
[C]	N/A	N/A	1" IRRIGATION POINT OF CONNECTION AT DOMESTIC WATER SOURCE	
[PK]	WATTS	LF25AUB-Z3	WATER PRESSURE REDUCING VALVE, WHOLE SYSTEM SET TO 55 PSI	PR/L3.0
[SM]	BADGER METER	MODEL 25	RECORDALL COLD WATER ENGINEERED POLYMER DISK WATER METER W/ REGISTER AND COUPLERS. INSTALL PER MFG'S RECOMMENDATIONS	
[WS]	IRRITROL	CL100-WIRELESS	CLIMATE LOGIC WIRELESS WEATHER SENSOR, INSTALL ON EAVER OR GUTTER	N/A
[BV]	N/A	N/A	PVC BALL VALVE, SIZE PER LINE	BV/L3.0
[AS]	IRRITROL	2713DPR	1" ANTI-SIPHON VALVE W/ FLOW CONTROL & THREADED BONNET	AS/L3.0
[---]	N/A	N/A	HYDROZONE BOUNDARY	

**PIPE**


SYMBOL	DESCRIPTION	DETAIL
[---]	1" PRESSURE MAINLINE, SCH. 40 PVC	TS/L3.0
[---]	NON-PRESSURE LATERAL PIPE, SCH. 40 PVC, CONTRACTOR TO SIZE PER FLOW DEMAND	TS/L3.0
[---]	SCH. 40 PVC SLEEVES. SEE NOTES	TS/L3.0

**DRIP IRRIGATION & EMISSION DEVICES**

SYMBOL	MFG.	DESCRIPTION
[•]	RAINBIRD	POINT SOURCE DRIP W/ SCH. 40 LATERALS & 1/2" POLY TUBING, XB-XX-PC XERIBUG PRESSURE COMPENSATING EMITTERS, NOT SHOWN FOR GRAPHIC CLARITY. INSTALL 1 GPH EMITTER PER GROUND COVER AND 2 GPH PER SHRUB.

REV.	DESCRIPTION	BY	DATE

**BC ENGINEERING GROUP, INC.**  
**CIVIL ENGINEERING & LAND PLANNING**  
 www.bceengineeringgroup.com  
 Phone: 707.542.4321  
 2800 Cleveland Ave., Suite B  
 Santa Rosa, CA 95403

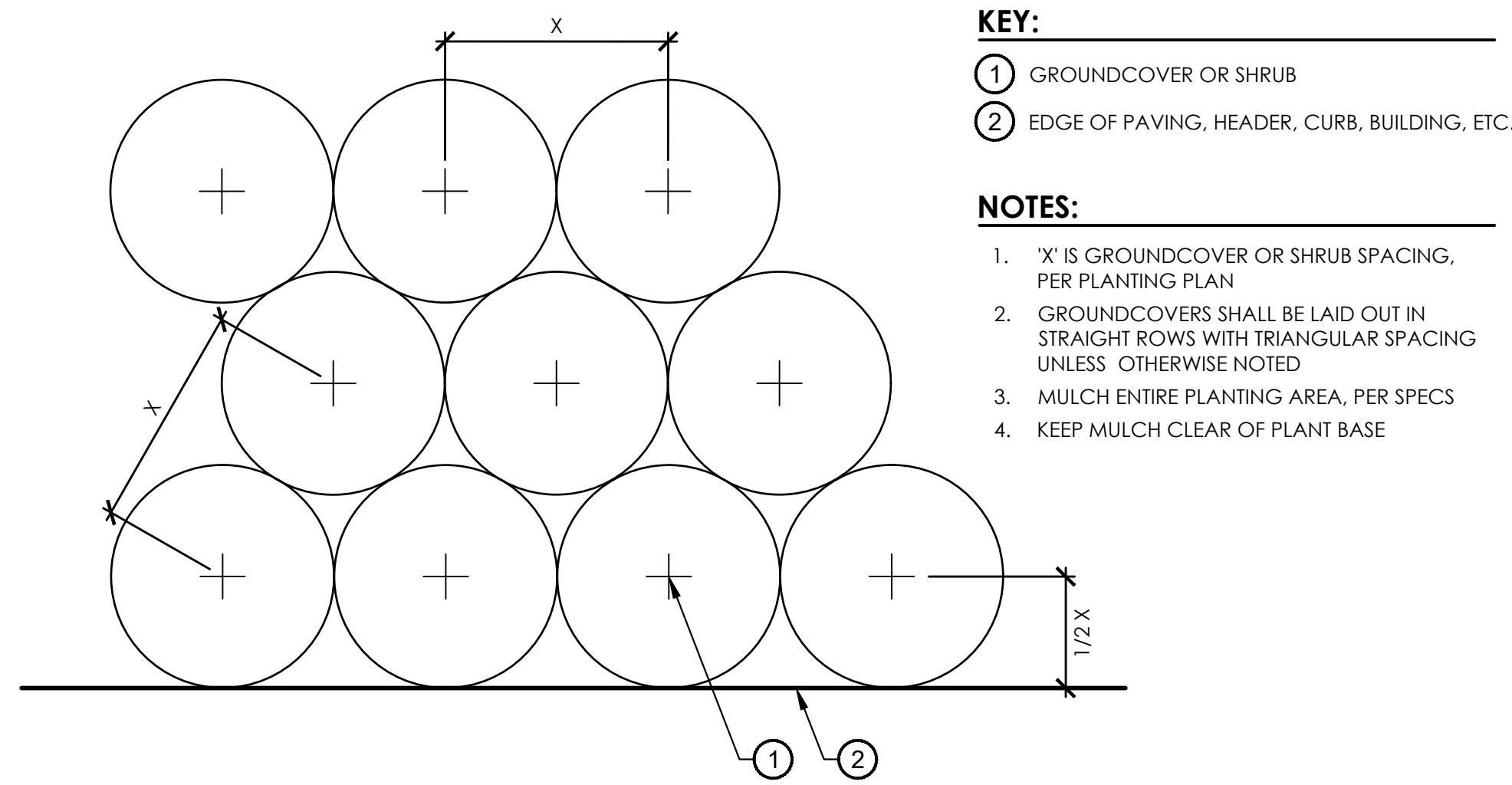


**PETRUZZELLA SELF STORAGE**  
 11 - IRRIGATION PLAN  
 TONY PETRUZZELLA  
 1501 GROVE STREET  
 HEADLSBURG, CA 95448

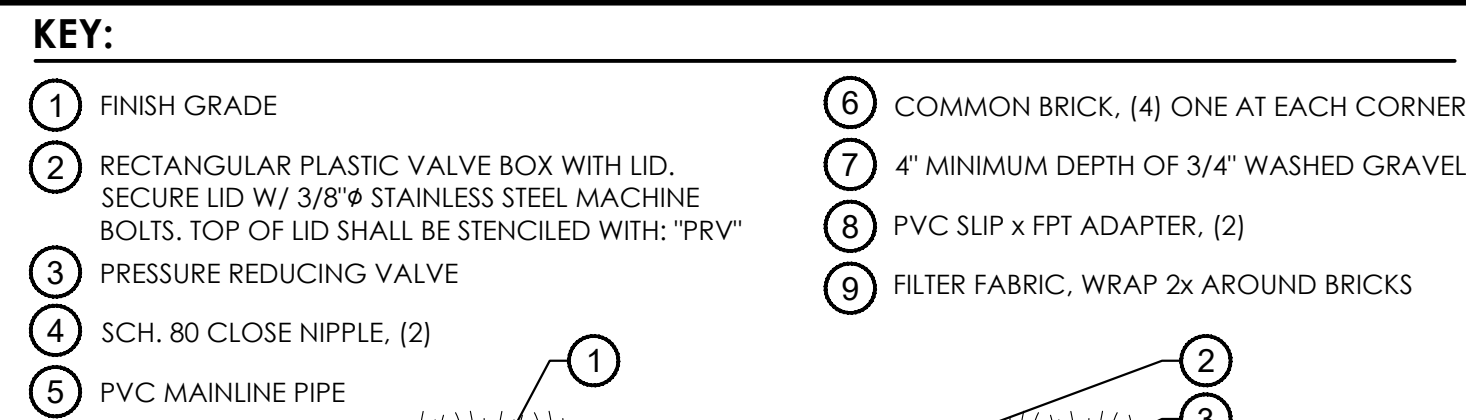
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Job:	3619-25
Drawn:	IH
Scale:	AS SHOWN
APN:	089-071-025
Permit #:	
Sheet:	<b>L2.0</b> 11 of 19

NOT FOR CONSTRUCTION

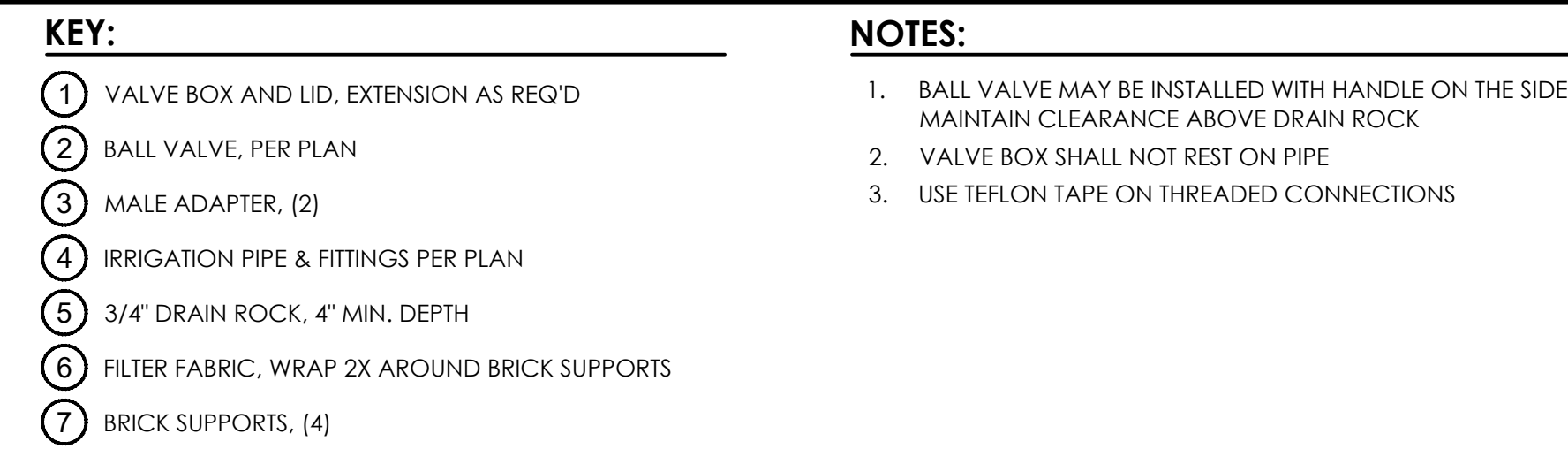
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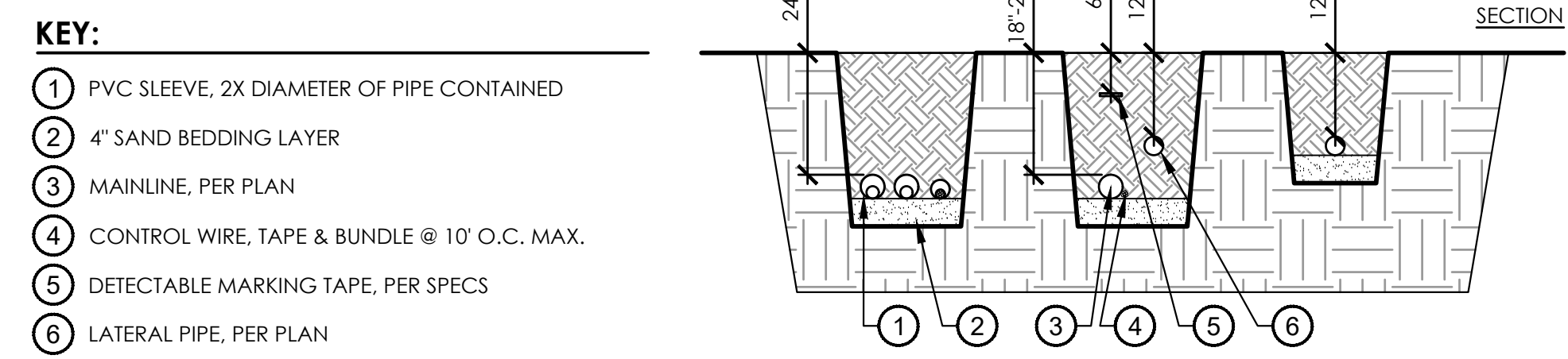
**PL PLANTING LAYOUT** NO SCALE



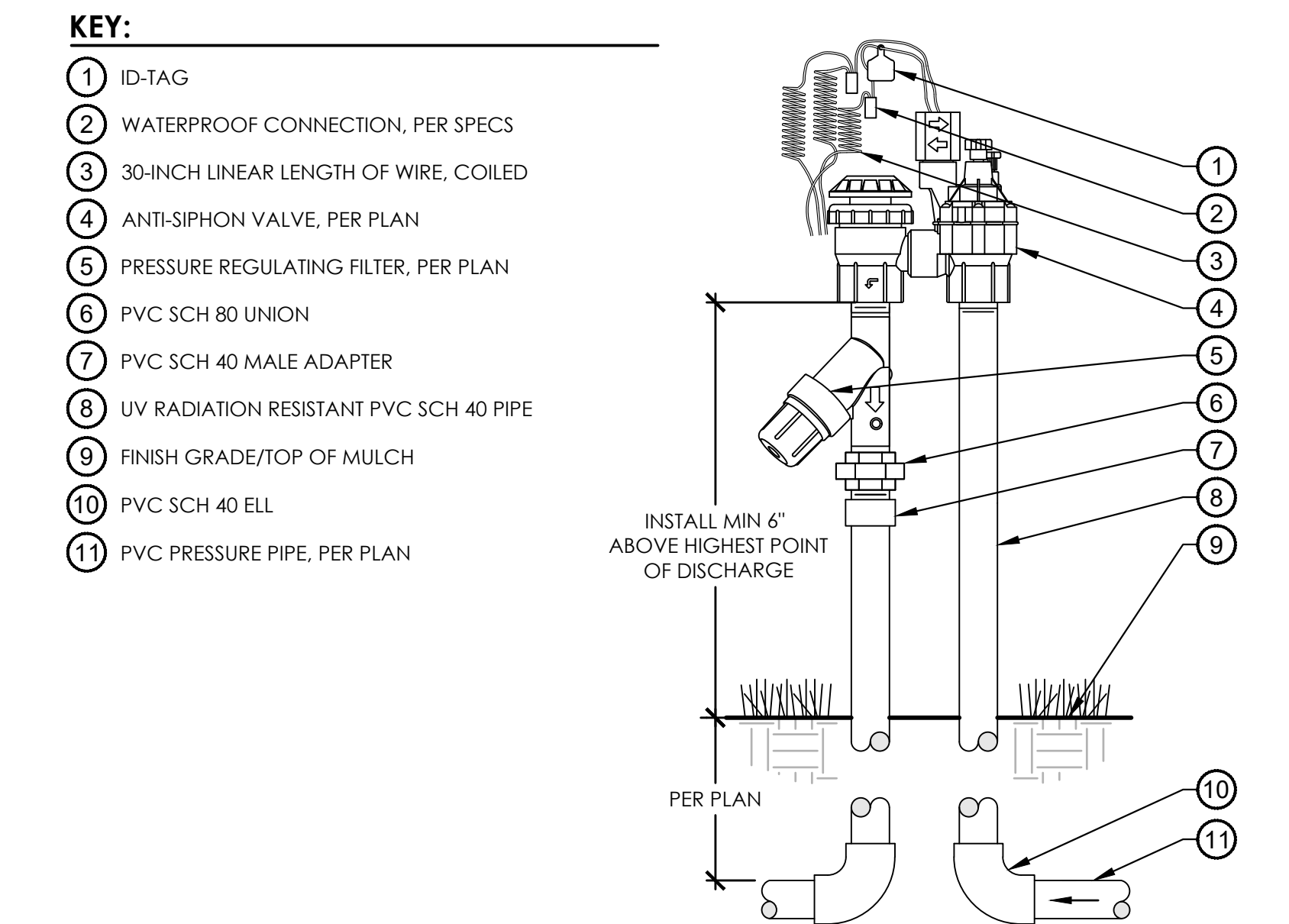
**PR PRESSURE REDUCING VALVE** NO SCALE



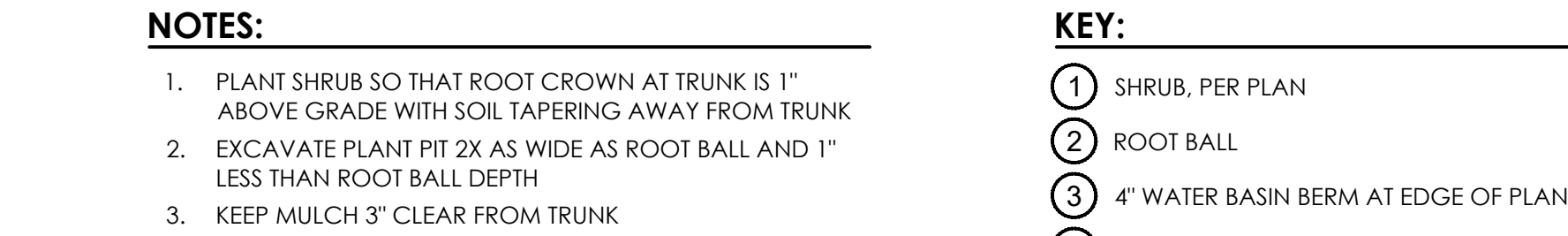
**BV BALL VALVE** NO SCALE



**TS TRENCH SECTION** NO SCALE



**AS ANTI-SIPHON VALVE/ DRIP CONTROL ZONE KIT** NO SCALE



**SP SHRUB PLANTING** NO SCALE

**KEY:**

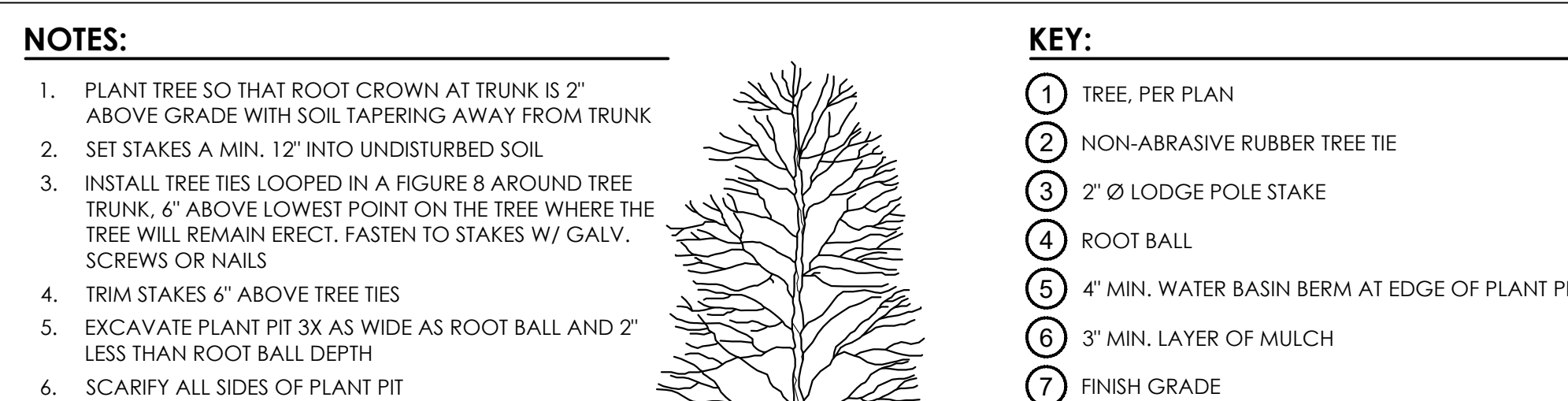
- ROOT BALL
- PLANT CROWN
- DRIP EMITTERS, PER PLAN
- TUBING STAKE, 1 @ EA. SIDE OF ROOT BALL
- 1/2" DRIP TUBING ON GRADE BELOW 3" MIN. MULCH

**NOTES:**

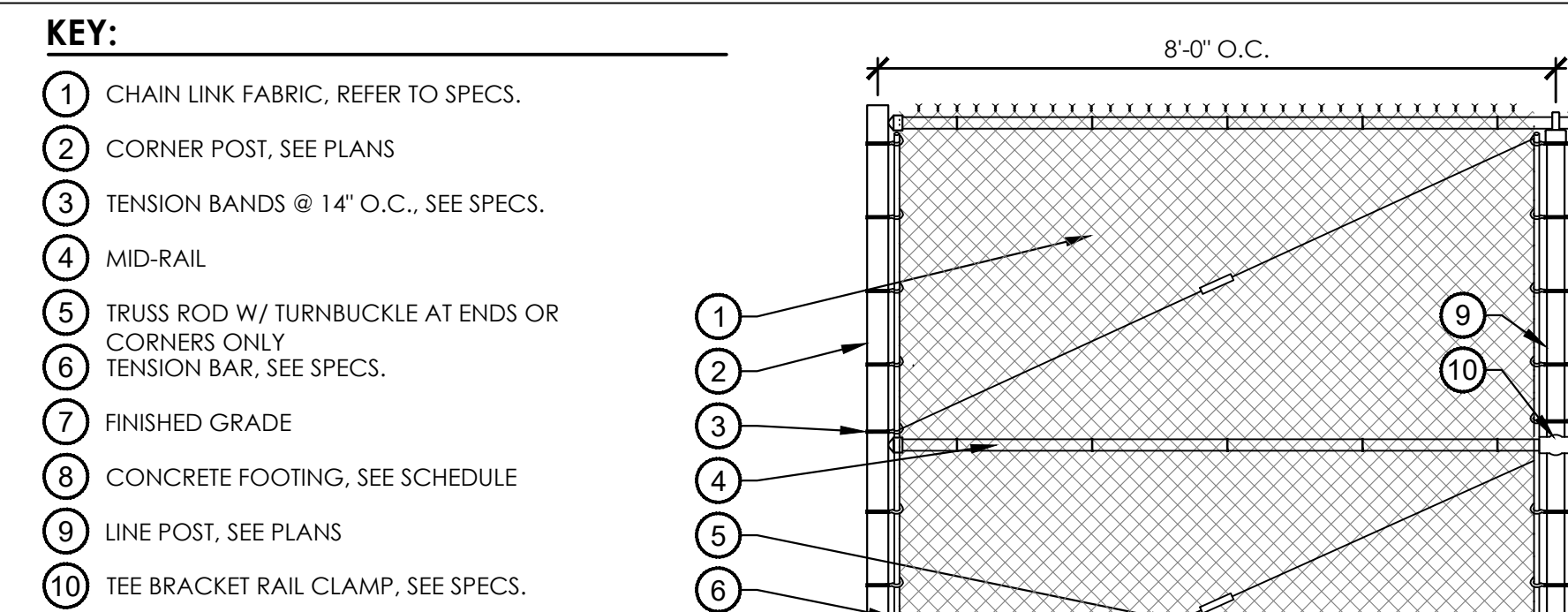
- INSTALL EMITTERS AT EDGE OF ROOTBALL ON OPPOSITE SIDES OF THE PLANT, SPACE EVENLY
- INSTALL EMITTERS ON THE UPHILL SIDE WHEN PLANTING ON SLOPES, ADJUST SPACING AS NECESSARY

**DRIP EMITTER CHART**

CONTAINER	# OF EMITTERS
4" POT	(2) 0.5 GPH
1 GAL.	(2) 1.0 GPH
5 GAL.	(2) 2.0 GPH
15 GAL.	(3) 2.0 GPH



**TP TREE PLANTING AND STAKING** NO SCALE



**CL CHAIN LINK FENCE** NO SCALE

**NOTES:**

- CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR OWNER APPROVAL PRIOR TO CONSTRUCTION OF FENCE. SHOP DRAWINGS TO INCLUDE ALL FITTINGS, HARDWARE AND FASTENERS. DRAWINGS SHALL BE OF SUFFICIENT SCALE AND CLARITY TO CLEARLY ILLUSTRATE ALL CONNECTIONS AND HARDWARE.

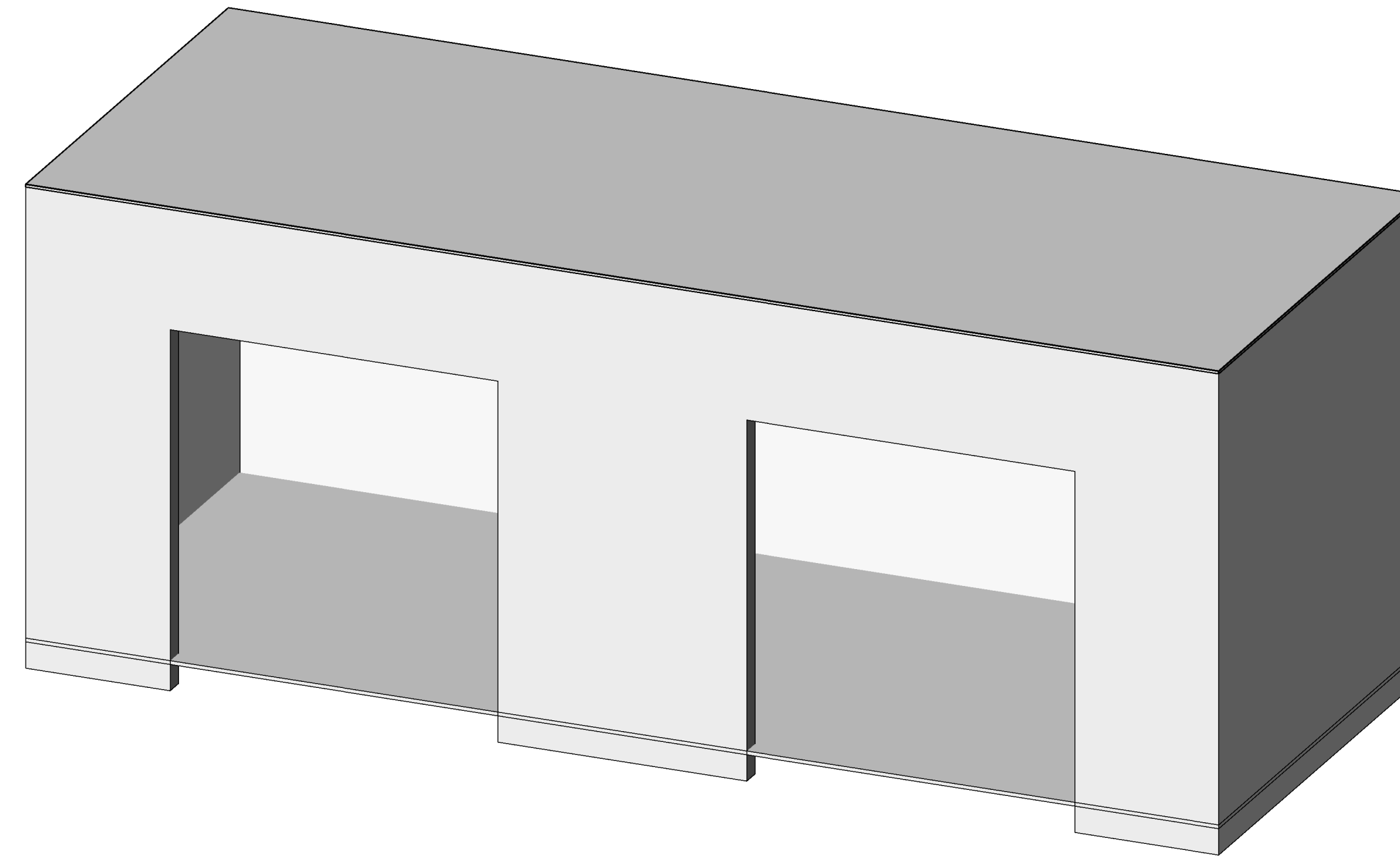
FENCE HEIGHT	CHAIN LINK FOOTING SCHEDULE		TERMINAL/GATE POST	
	FOOTING DIAMETER	FOOTING DEPTH	FOOTING DIAMETER	FOOTING DEPTH
8"	10"	48"	12"	48"

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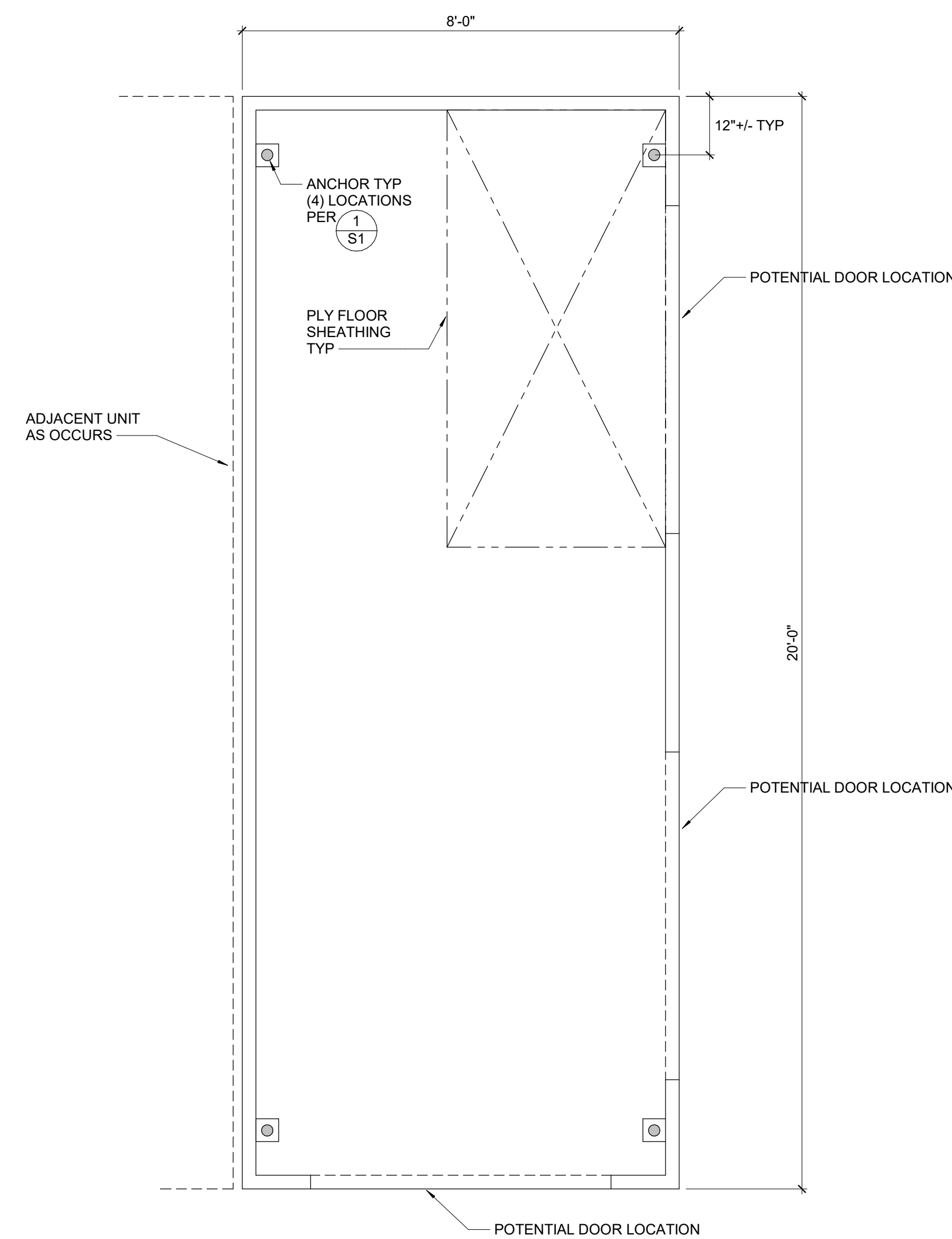
**PETRUZZELLA SELF STORAGE**  
 12 - DETAILS  
 TONY PETRUZZELLA  
 1501 GROVE STREET  
 HEALDSBURG, CA 95448

REV.	DATE	DESCRIPTION

Date: 03/03/2026  
 Job: 3619-25  
 Drawn: IH  
 Scale: AS SHOWN  
 APN: 089-071-025  
 Permit #:  
 Sheet: **L3.0**  
 12 of 19



**SCHEMATIC 3-D DUAL SIDE DOOR CONFIGURATION**



**TYPICAL PLAN VIEW - ANCHOR LAYOUT**

1/2" = 1'-0"

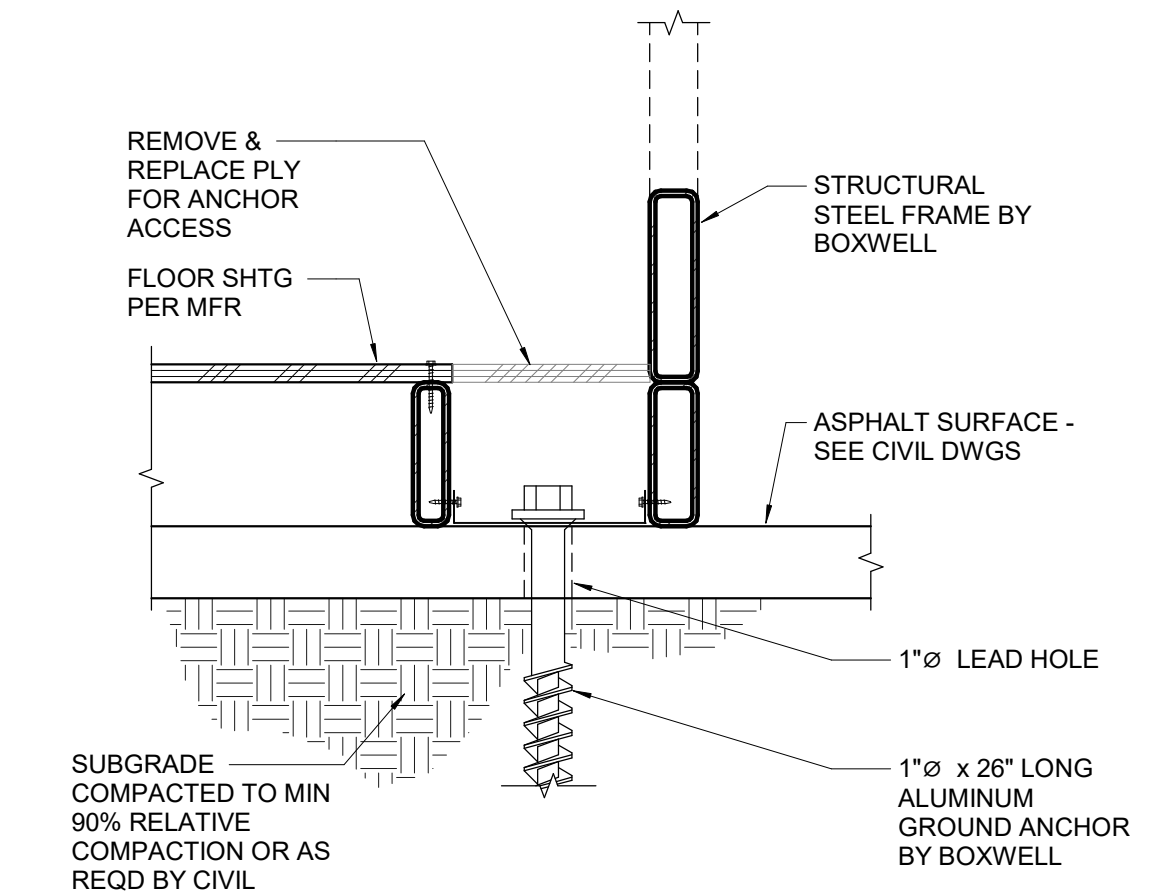
**3 DESIGN CRITERIA**

**DESIGN CODE:** 2022 CALIFORNIA CODE OF REGULATIONS, TITLE 24, PART 2 (CBC)  
**FLOOR LIVE LOAD:** 125 PSF  
**ROOF LIVE LOAD:** 20 PSF  
**RISK CATEGORY:** II

**WIND DATA:** ULTIMATE WIND SPEED = 92 MPH (3 SEC GUST)  
 WIND EXPOSURE: C  
 INTERNAL WIND PRESSURE COEFFICIENT (GCPI) = +/- 0.18  
 COMPONENTS & CLADDING DESIGN PRESSURES FOR SYSTEMS DESIGNED BY OTHERS SHALL COMPLY WITH THE ASCE 7 DESIGN STANDARD

**SEISMIC DATA:** SEISMIC IMPORTANCE FACTOR ( $I_h$ ) = 1.0  
 MAPPED SPECTRAL RESPONSE ACCELERATIONS:  $S_s = 2.195$ ,  $S_1 = 0.85$   
 SITE CLASS: D (DEFAULT)  
 SPECTRAL RESPONSE COEFFICIENTS:  $S_{DS} = 1.756$  (1.0 PER ASCE7 12.8.1.3)  
 SEISMIC DESIGN CATEGORY: E  
 SEISMIC FORCE RESISTING SYSTEM: RIGID NON-BUILDING STRUCTURE - GROUND SUPPORTED TANKS  
 RESPONSE MODIFICATION FACTOR (R): 3  
 SEISMIC RESPONSE COEFFICIENT:  $C_s = 0.287$  (ASD)  
 ANALYSIS PROCEDURE USED: EQUIVALENT LATERAL FORCE

**SCOPE:** THIS PROJECT CONSISTS OF SUPPORT ANALYSIS FOR PRE-MANUFACTURED STEEL STORAGE CONTAINERS DESIGNED AND MANUFACTURED BY BOXWELL. THE CONTAINERS WILL BE ANCHORED TO THE GROUND USING PROPRIETARY SOIL ANCHORS INSTALLED THROUGH THE BASE OF THE BOX AT EACH CORNER. SLIDING AND OVERTURNING STABILITY ANALYSIS HAVE BEEN PERFORMED USING SITE-SPECIFIC WIND AND SEISMIC FORCES. ALL CONTAINERS ARE THE SAME SIZE AND APPROXIMATELY THE SAME WEIGHT, AND HAVE THREE ROLL-UP DOOR OPTIONS.



**1 TYPICAL GROUND ANCHOR**

1 1/2" = 1'-0"

**PLAN NOTES:**

- GC CONFIRM ASPHALT SURFACE PROVIDES FLAT BEARING FOR PERIMETER OF STORAGE UNIT. SHIM AS REQUIRED PER MANUFACTURER'S RECOMMENDATIONS FOR FULL FLUSH SUPPORT AT ALL BEARING POINTS.
- GC CONFIRM NO GAP BETWEEN STEEL ANCHOR CHANNEL AND GROUND SURFACE. INSTALL GROUND ANCHORS SNUG TIGHT. DO NOT OVERTORQUE. NOTIFY ENGINEER FOR POSSIBLE ANCHOR RELOCATION IF UNDERGROUND CONFLICT OCCURS WITH CORNER LOCATION.
- USE CARE AND CAUTION WHEN PREDRILLING ASPHALT SO AS NOT TO DAMAGE SURROUNDING SURFACE.

Item 4.c

**BARRILLEAUX**  
STRUCTURAL ENGINEERING

PO BOX 904  
Petaluma CA 94953



PROJECT

Healdsburg Self Storage  
1501 Grove Street  
Healdsburg, CA 95448

Revision Schedule		
#	Revision Description	Date

SHEET DESCRIPTION

**FOUNDATION PLAN**

THIS PLAN AND THE DETAILS HEREIN, REPRESENTS A PROFESSIONAL SERVICE AND SHALL BE THE PROPERTY OF THE ENGINEER AND SHALL NOT BE USED, IN WHOLE OR IN PART FOR ANY OTHER PROJECT WITHOUT THE PRIOR WRITTEN AUTHORIZATION OF THE ENGINEER.

DRAWN BY: JPB DATE: 12/18/2025

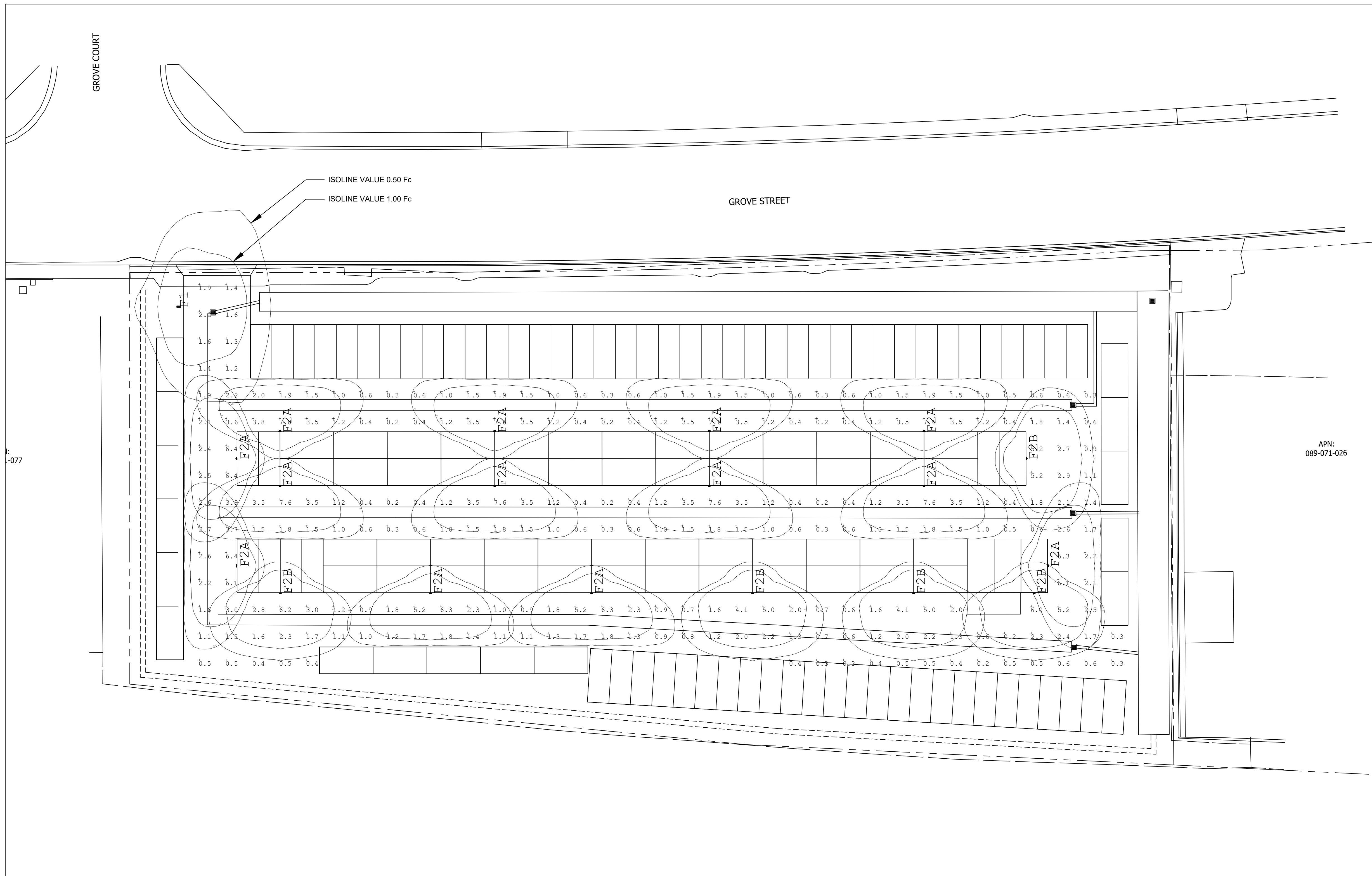
PROJECT #: 2517

SHEET

**S1**

13 of 19

**PROJECT STATUS**



SCALE: 1" = 20'-0"

PLAN VIEW

Symbol	Qty	Label	Arrangement	Mounting Height	Description	LLF	Luminaire Lumens	Luminaire Watts	Total Watts	Data Source Filename
[Symbol]	1	F1	Single	20	STONCO LPA-A03-730-T3	0.850	5824	34.06	34.06	LPA-A03-730-T3.ies
[Symbol]	13	F2A	Single	10	STONCO LPW-16-30-WW-G3-3	0.850	3687	34.3	445.9	LPW16-30-WW-G3-3.ies
[Symbol]	5	F2B	Single	10	STONCO LPW-16-30-WW-G3-4	0.850	3638	34.3	171.5	LPW16-30-WW-G3-4.ies

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
SITE	Illuminance	Fc	1.92	7.8	0.2	9.60	39.00

Note: Unless otherwise specified - the lamp lumen depreciation (LLD) for legacy sources used in these calculations is based on published mean lumen ratings by major lamp manufacturers; 0.80 LLD for pulse start metal halide; 0.90 LLD for high pressure sodium; 0.95 LLD for linear T8 and T5 fluorescent; 0.96 LLD for compact fluorescent and induction; 0.88 LLD for Cosmo and Elite lamps; 0.94 LLD for all LED sources. Unless otherwise noted - 0.90 luminaire dirt depreciation (LDD) is commonly applied. In cases where appropriate - ballast factor (BF) is applied. Additional user def'd factors (UDF) may be applied if necessary to represent luminaire performance to a higher degree of accuracy. Total light loss factor (LLF) is the product of all multiplied loss factors.

LIGHTING PLAN - PHOTOMETRIC ANALYSIS - LAYOUT RECOMMENDATION  
(ALL VALUES SHOWN ARE MAINTAINED HORIZONTAL FOOTCANDLES AT FINISHED GRADE, U.O.N.)

### Stonco Area Light

LytePro LPA Pole Mounted Area Light

Stonco LytePro Area LPA pole mounted LED Luminaire is a value-engineered solution with the perfect combination of affordability, quality, and performance. Available in both make-to-stock and make-to-order options, LytePro is the flexible choice for any project. With its lightweight design and easy-to-install features, it is perfect for contractors and installers who want a hassle-free installation process. Stonco LytePro Area is the ideal choice for your area lighting needs.

Profile	Configuration	CCT/CRI	Distribution	Shading	Voltage
LPA	LytePro Area	3000K, 3000K, 4000K, 5000K, 6000K, 8000K, 10000K	T2 Type 2 Medium, T3 Type 3 Medium, T4 Type 4 Medium, T5 Type 5 Medium	None	120V 100 Watts, 200V 200 Watts, 240V 240 Watts, 277V 277 Watts, 480V 480 Watts, 575V 575 Watts, 600V 600 Watts

Ordering guide Example: LPA-A03-730-T3-HIS-120V-PCB-BZ

Lighting Control	Electrical Control	Finish
None	None	BK Black
BSA Dimming (not externally accessible)	TRT 3-Fin twist lock w/ 0-10V	BZ Bronze
FMS Field Adjustable Wattage Selector	TRFC 3-Fin twist lock w/ 0-10V & On/Off Protocol (PHS)	GG Dark Gray
MRL2 Motion Response Dim to 50% L2 Lens	TRBC 3-Fin twist lock w/ 0-10V & Shorting Cap (PHS)	MG Medium Gray
MRL3 Motion Response Dim to 50% L3 Lens	PCF Photo Control (factory)	WH White
MRL7 Motion Response Dim to 50% L7 Lens		
MAIRP1 Outdoor Infrared - Low Mounting		
MAIRP2 Outdoor Infrared - High Mounting		

1. Not available at 347-480V (HV).  
 2. Expanded lead time apply. Contact factory for details.  
 3. Only available with Luner Package A03-A08 at 120-277V (LVV).  
 4. Only available with Luner Package A03-A08 at 347-480V (HVV).  
 5. Mutually exclusive. Not allowed with other lighting control options.  
 6. Combined with lighting control option, entering leads will not be combined with LED 3-in-1.  
 7. Must specify voltage. Cannot be selected with LVV or HVV.

Stocked luminaires - Stonco ordering guide

Catalog Number	Description
8123000081	LPA-A03-730-T3-LVW-FMS-TRFC-BZ
8123000082	LPA-A03-730-T3-LVW-FMS-TRFC-BZ
8123000083	LPA-A03-730-T3-LVW-FMS-TRFC-BZ
8123000084	LPA-A03-730-T3-LVW-FMS-TRFC-BZ

### KEENE Wall mount

LytePro LPW16 medium wall luminaire

Keene LytePro LED medium wall luminaire LPW16 features outstanding value in a compact, architectural design. This powerful and precise combination offers outstanding energy savings with excellent photometric performance. LPW16 is ideal for entryways and corridors in addition to wall lighting applications requiring strong lateral spacing and forward pattern projection.

Profile	Mounting	LED Color/Gen	Beam/Spread	Voltage	Photocell	Finish
LPW16	LytePro	30 3000K	WW-G3 Warm White Generation 3	2 Type 2 120 120V	None	Textured
		40 4000K	WW-G3 Warm White Generation 3	3 Type 3 208 208V	PCB Photocell/Bulb	BK Black
		40 4000K	WW-G3 Warm White Generation 3	4 Type 4 240 240V		WH White
		40 4000K	WW-G3 Warm White Generation 3	377 277V		BZ Bronze
		480 480V	WW-G3 Warm White Generation 3	347 347V		GG Dark Gray
		575 575V	WW-G3 Warm White Generation 3	480 480V		MG Medium Gray
		600 600V	WW-G3 Warm White Generation 3	575 575V		Customer specified
				600 600V		RAL Specify optional color or RAL, see CDS-GF or CDS-RA-7039
						CC Custom color (Must specify color chip for requested factory stock)

Ordering guide Example: LPW16-20-WW-G3-3-120-PCB-BZ

Catalog Number	Description	Master Pack, Qty	UPC Code
LPW16-G3-BZ	LPW16, 30W, 6500K, Type 3, 120-277V, Bronze textured paint	6	62225231872
LPW16-G3-BZ-01	LPW16, 30W, 6500K, Type 3, 120-277V, Dark gray textured paint	6	62225231865

Stocked accessories - Ordering guide (Must be ordered separately)

Catalog Number	Description	Master Pack, Qty	UPC Code
LPW16W1-BZ	LPW16 luminaire wall cover mounting plate, Bronze textured paint	panel	930295144650

1. Must specify voltage. Not available in 277V or 480V.  
 2. Other colors available upon request as made-to-order.

Associated Lighting Representatives, Inc.  
 1000 S. Bascom Avenue, Suite 100, San Jose, CA 95128  
 4080 S. Bascom Avenue, Suite 100, San Jose, CA 95128  
 1000 S. Bascom Avenue, Suite 100, San Jose, CA 95128  
 4080 S. Bascom Avenue, Suite 100, San Jose, CA 95128  
 1000 S. Bascom Avenue, Suite 100, San Jose, CA 95128  
 4080 S. Bascom Avenue, Suite 100, San Jose, CA 95128

PROJECT DESCRIPTION  
1501 GROVE STREET - SITE

SCALE  
1" = 20'-0"

DATE  
01-23-2026

SHEET  
1 OF 1

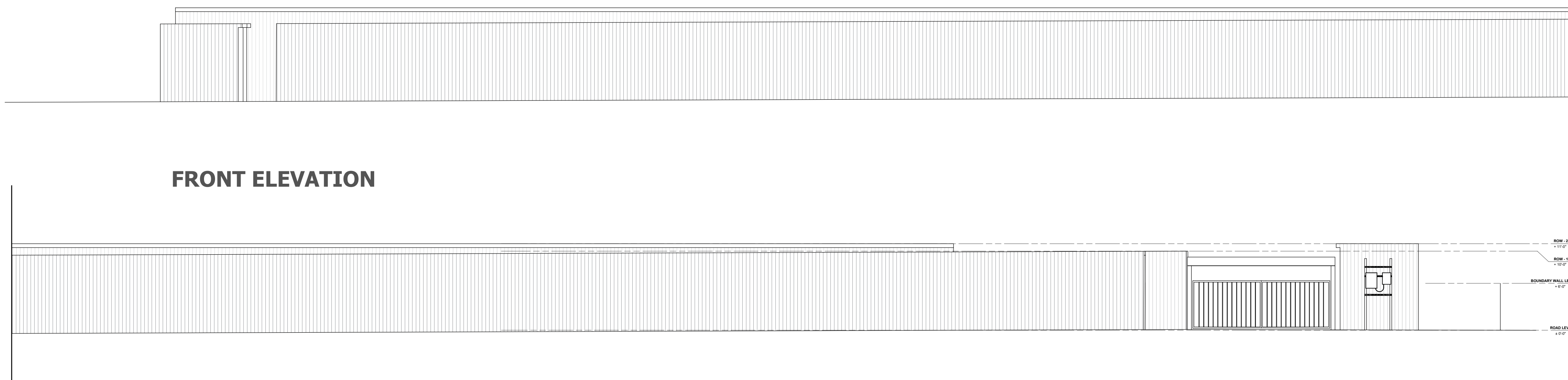
SALES REPRESENTATIVE  
JOSH GOULD

ASSOCIATED LIGHTING REPRESENTATIVES, INC.

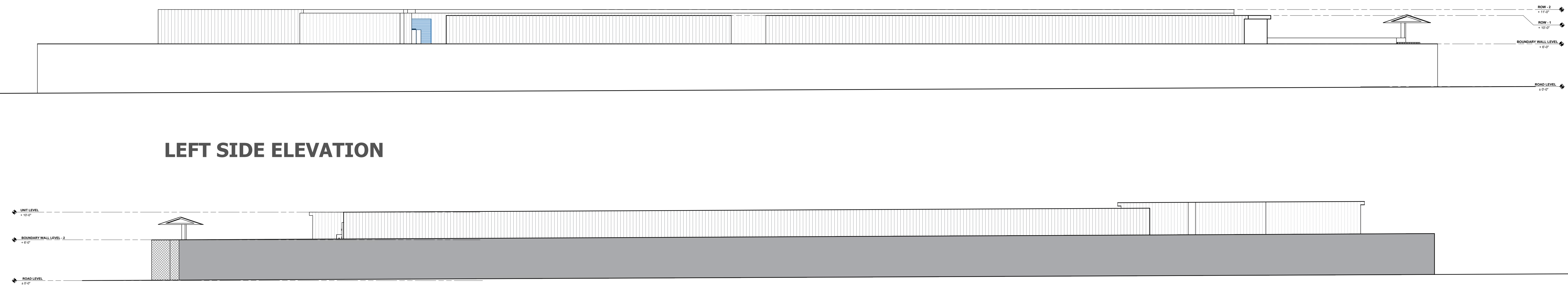
APPLICATION ENGINEER  
HUNTER SIMMERS

ASSOCIATED LIGHTING REPRESENTATIVES, INC.

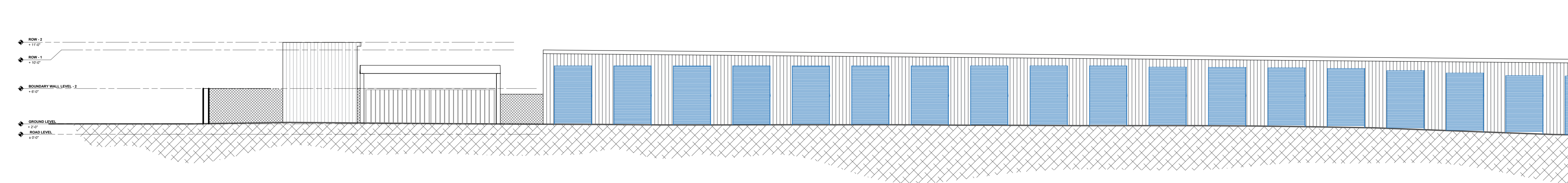
### FRONT ELEVATION



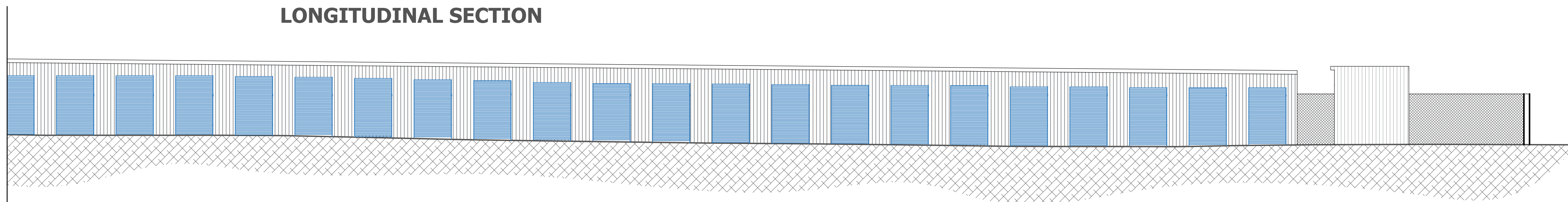
### LEFT SIDE ELEVATION



### RIGHT SIDE ELEVATION



### LONGITUDINAL SECTION



REV.	DESCRIPTION	BY	DATE

PETRUZZELLA SELF STORAGE  
 ELEVATIONS  
 TONY PETRUZZELLA  
 1501 GROVE STREET  
 HEALDSBURG, CA 95448

Date: 04/27/2026

Job:

Drawn:

Scale: NO SCALE

APN: 089-071-025

Permit #:

Sheet:

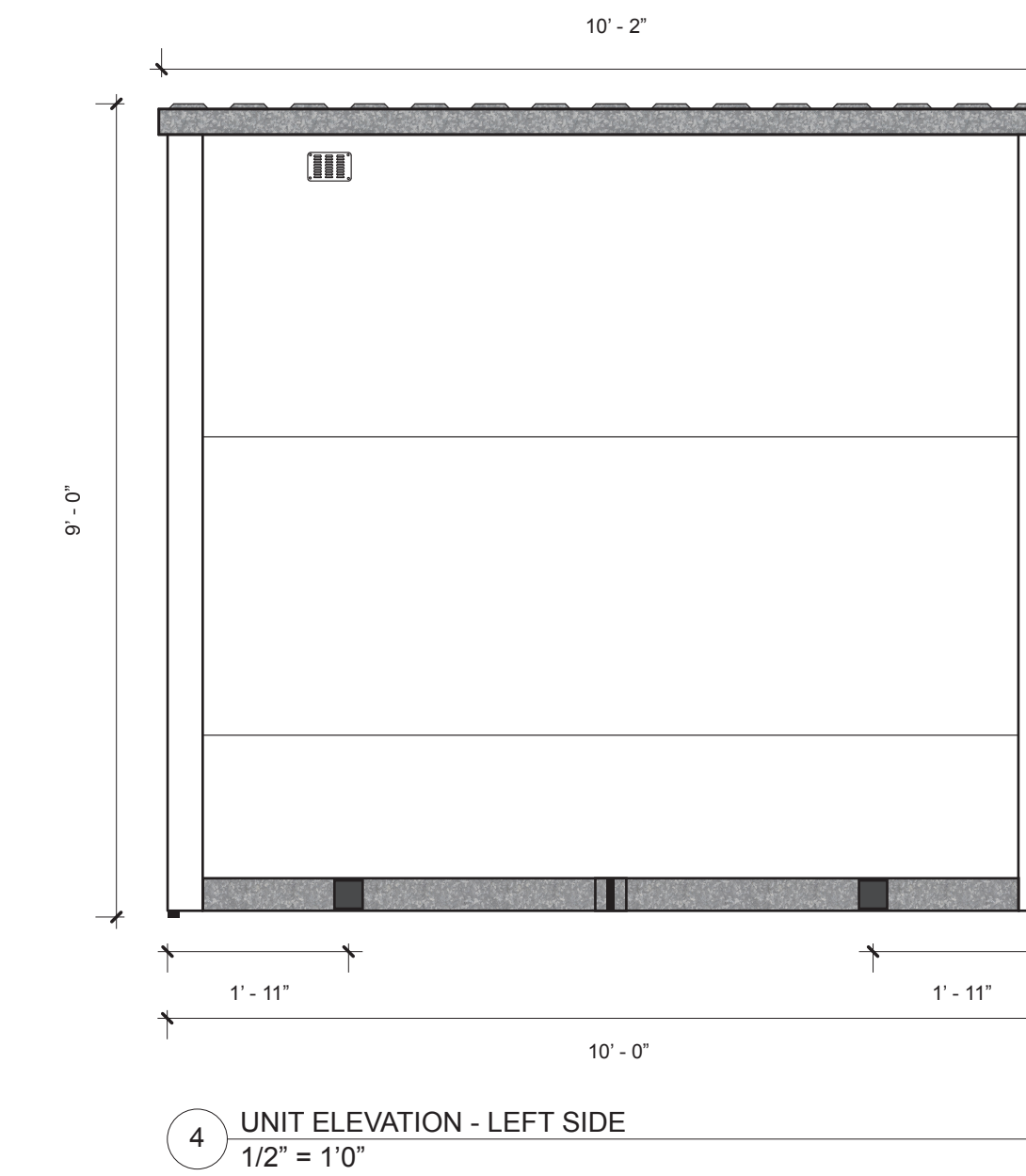
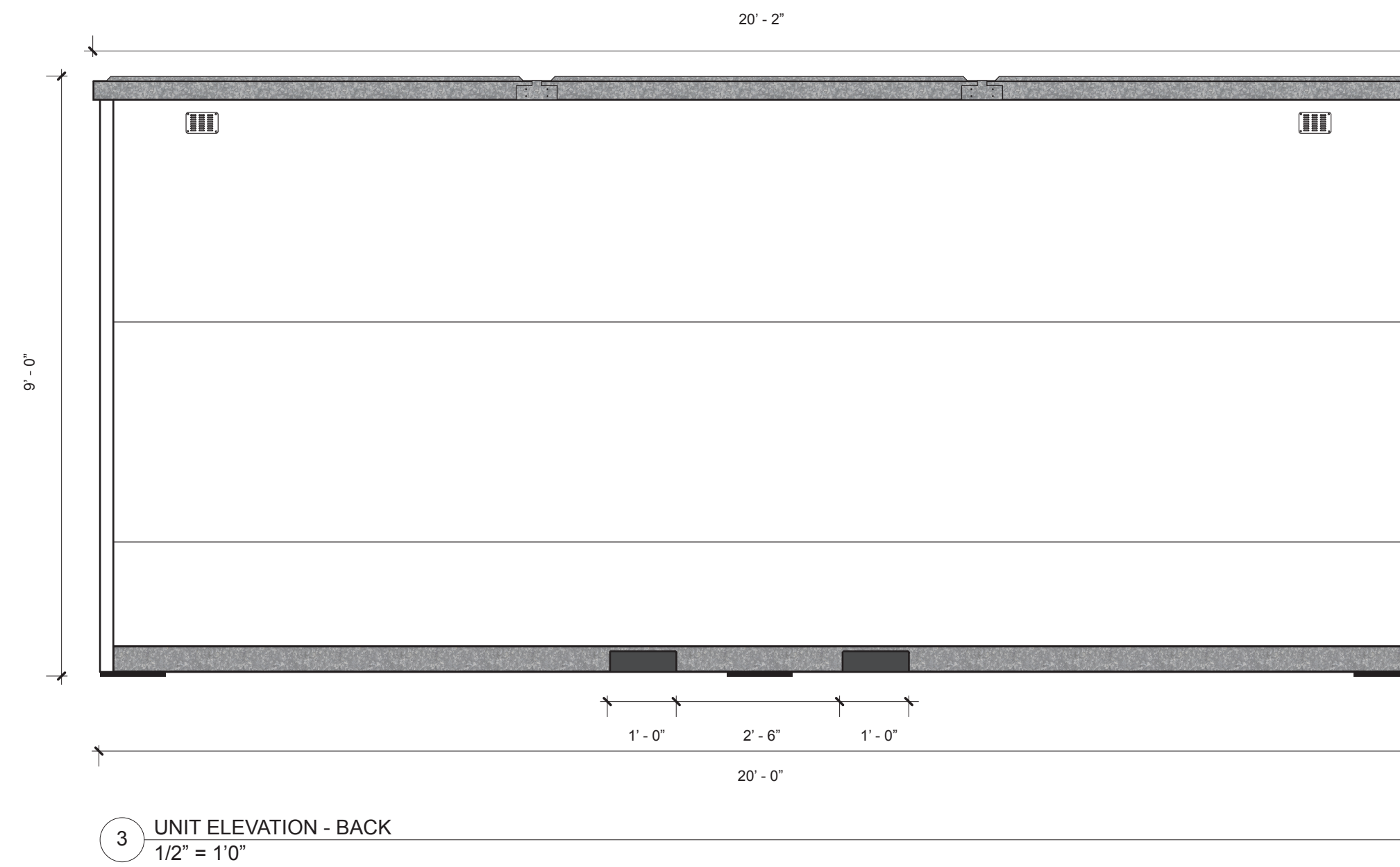
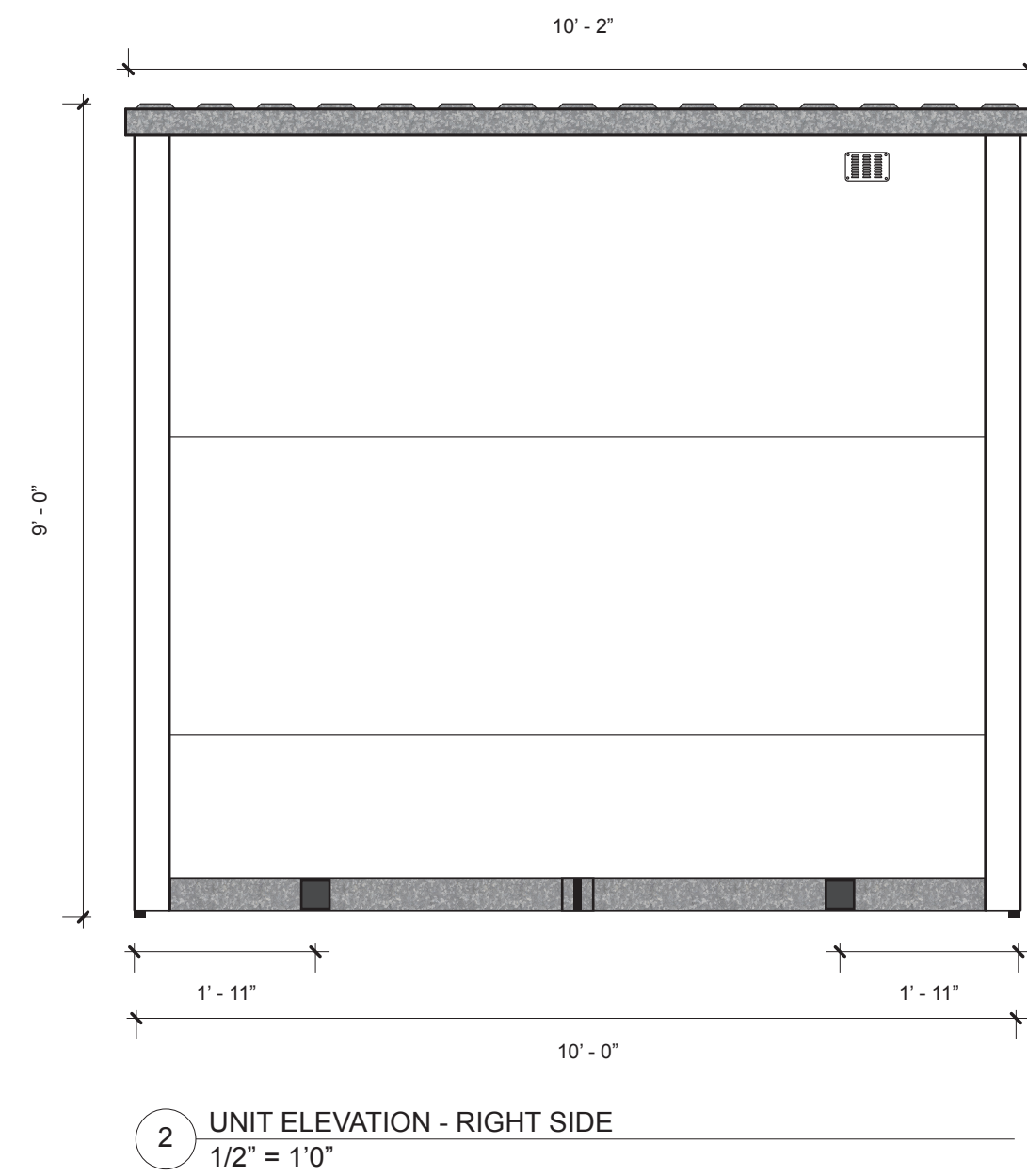
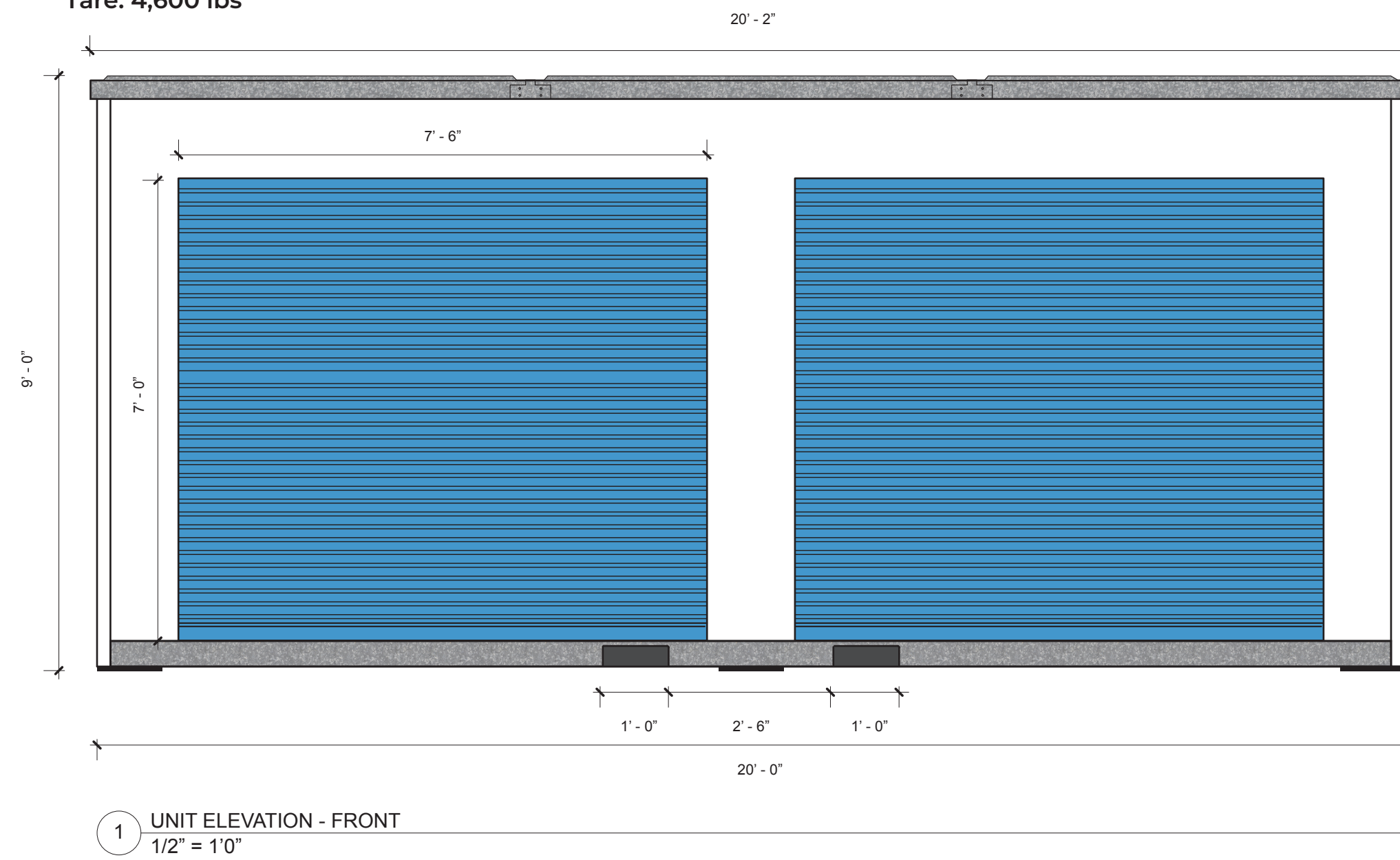
**A1**

15 of 19

NOT FOR CONSTRUCTION

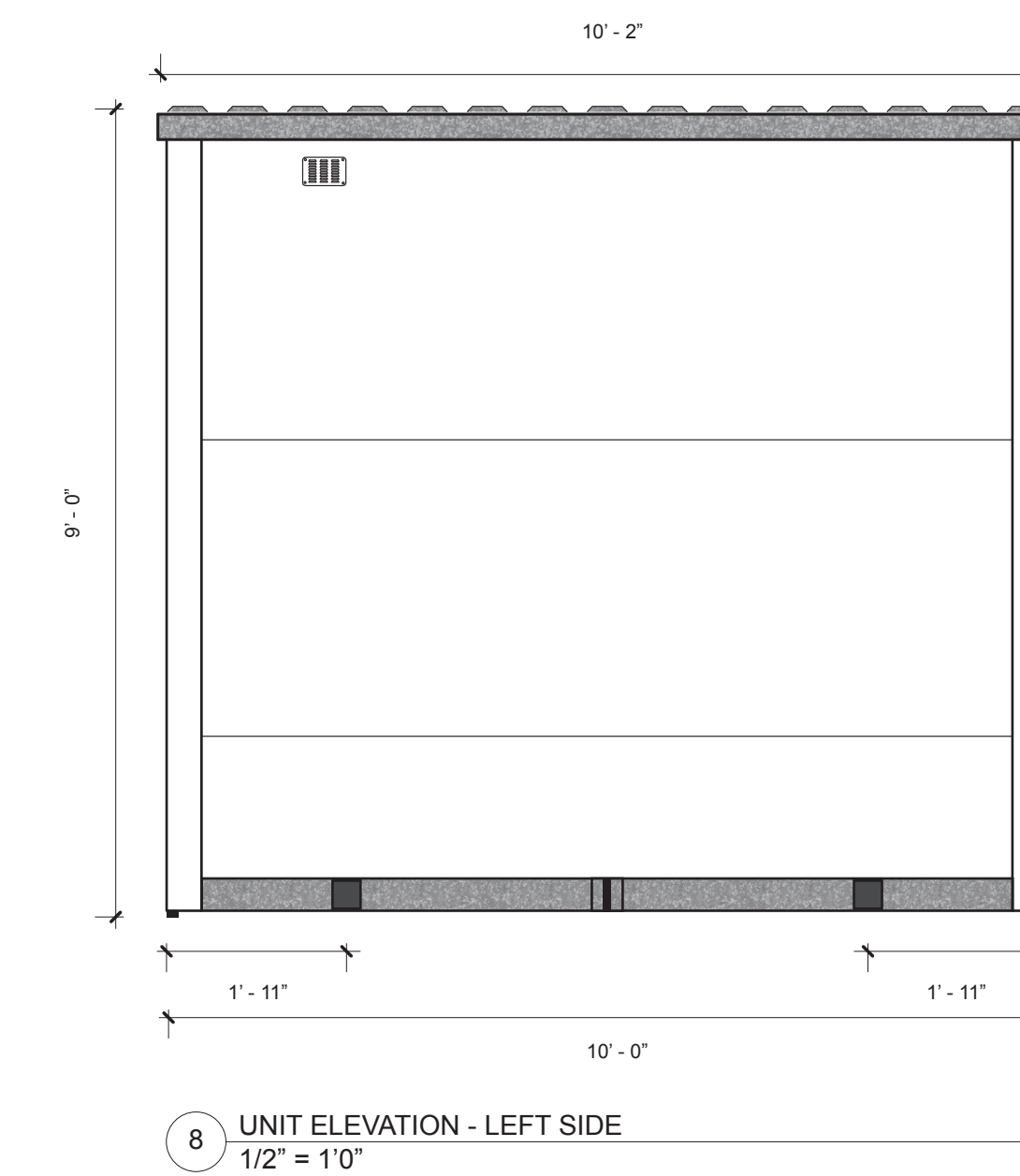
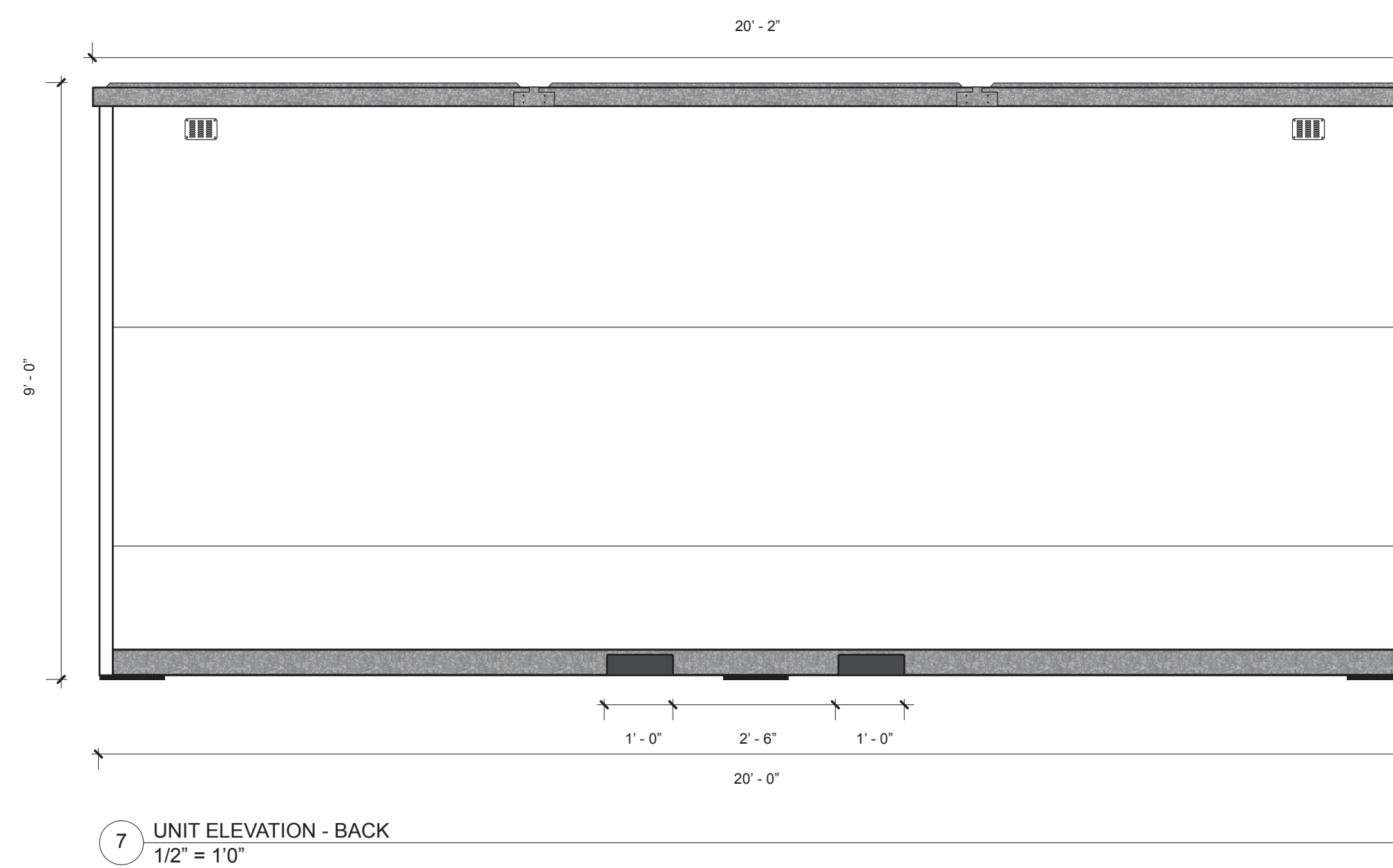
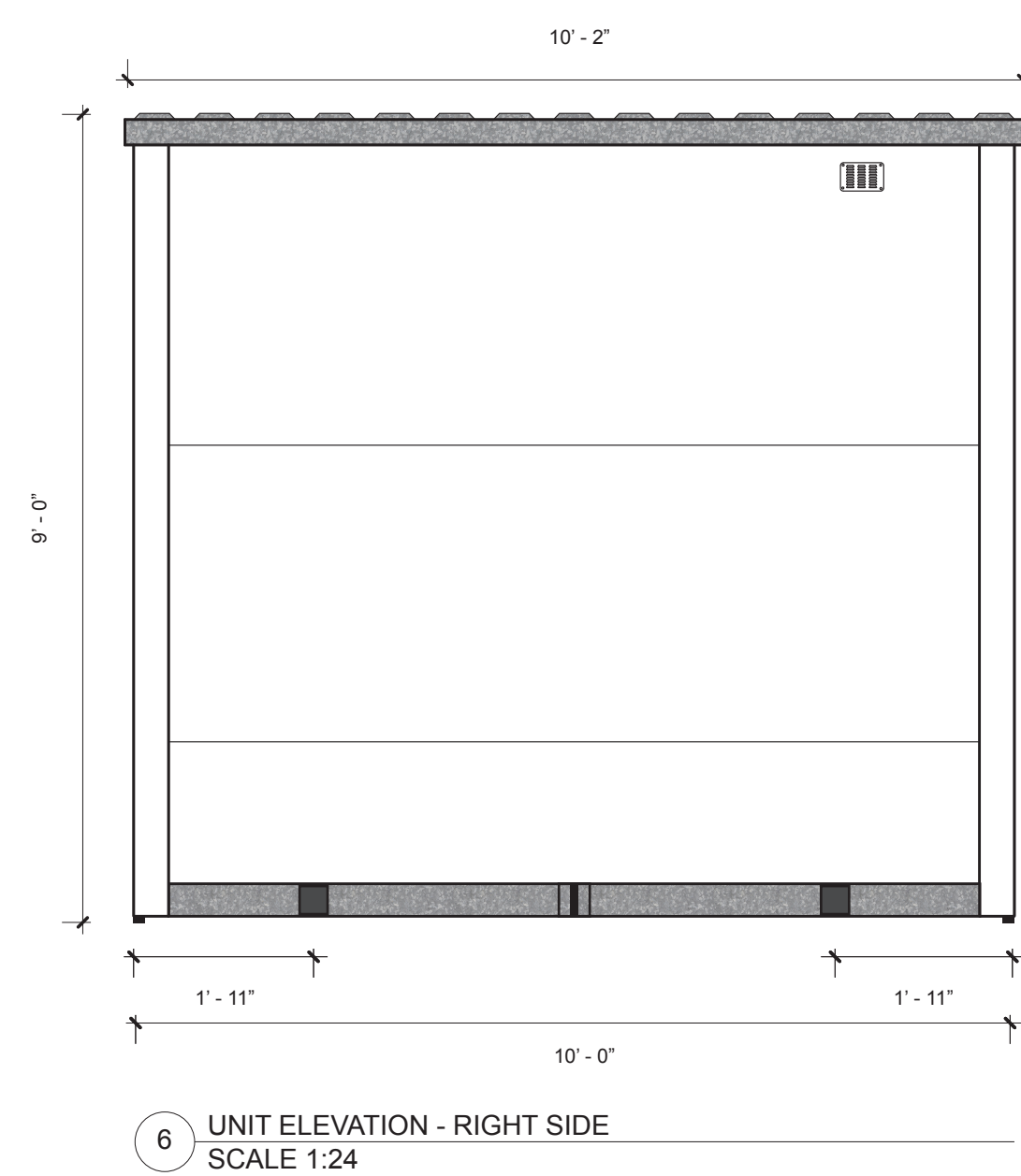
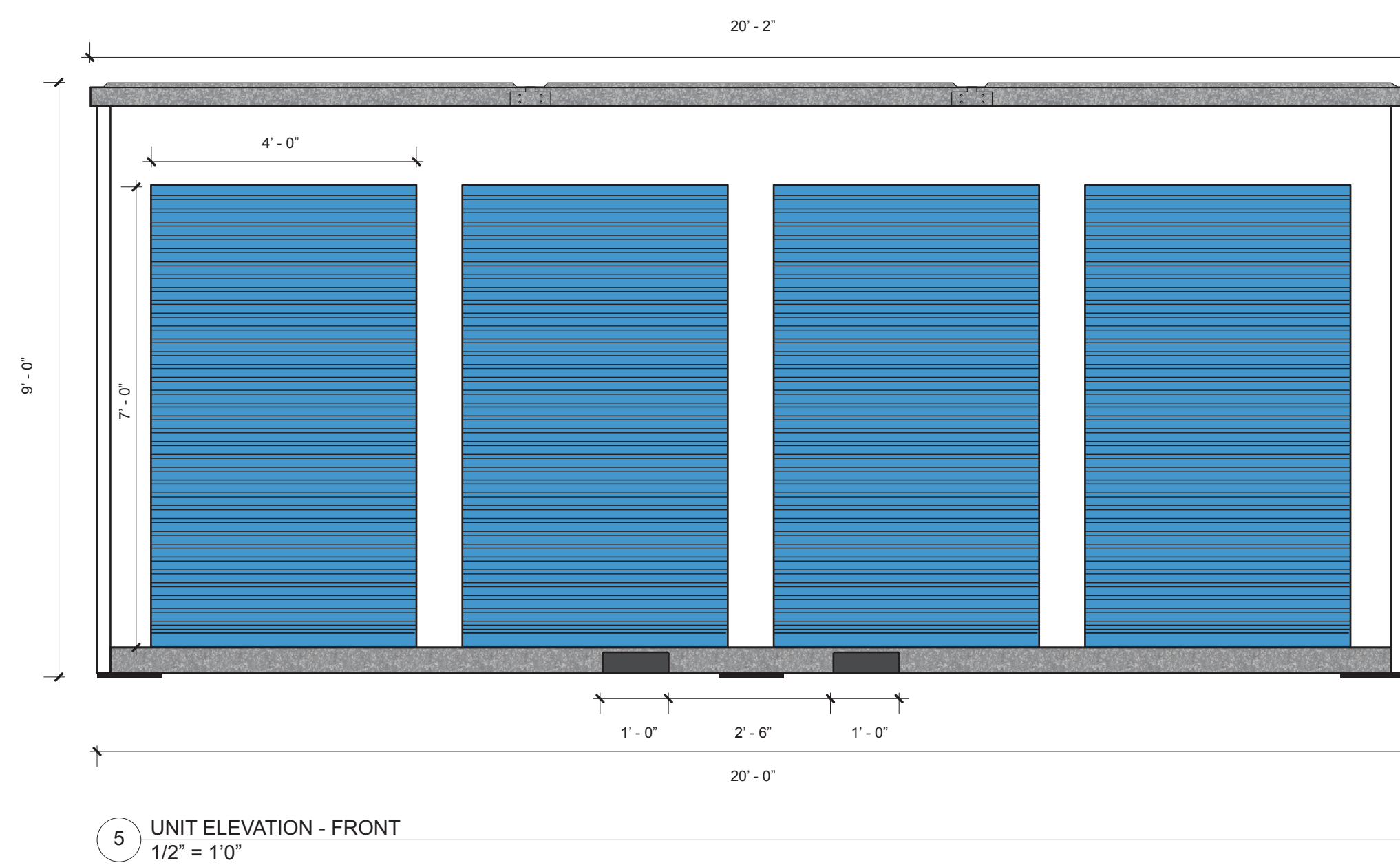
**Relocatable Unit - Two Side Doors**

Tare: 4,600 lbs



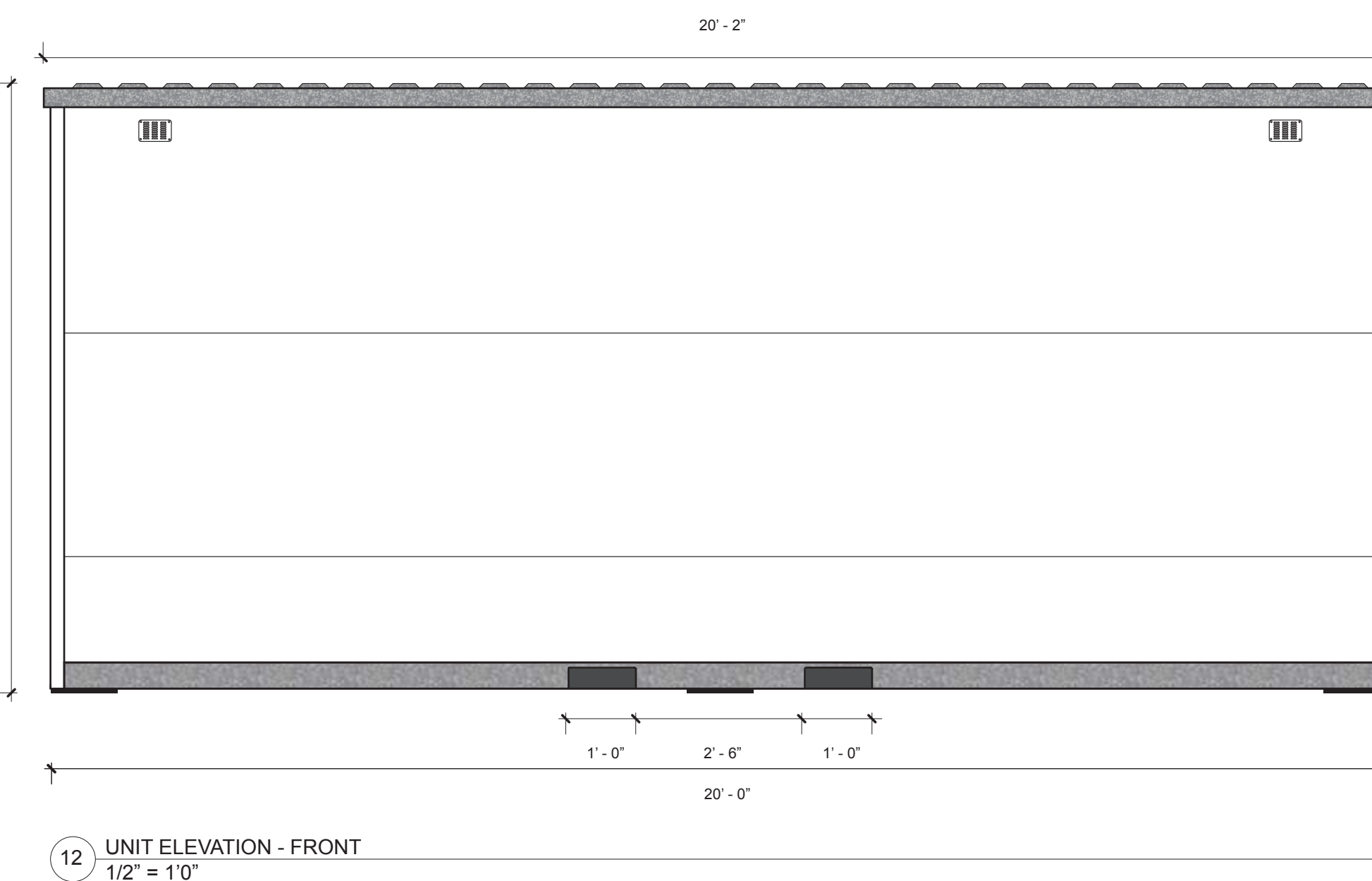
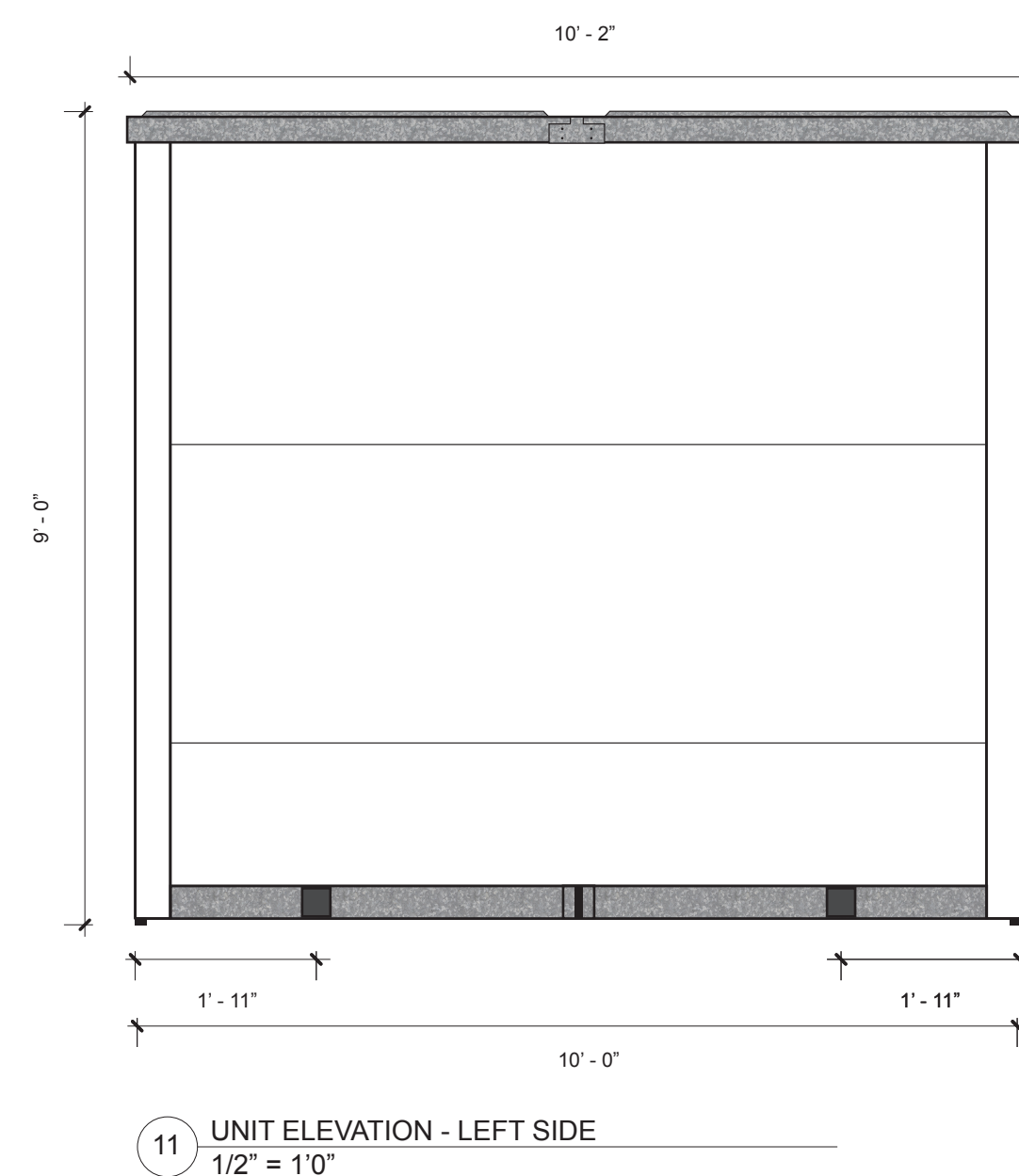
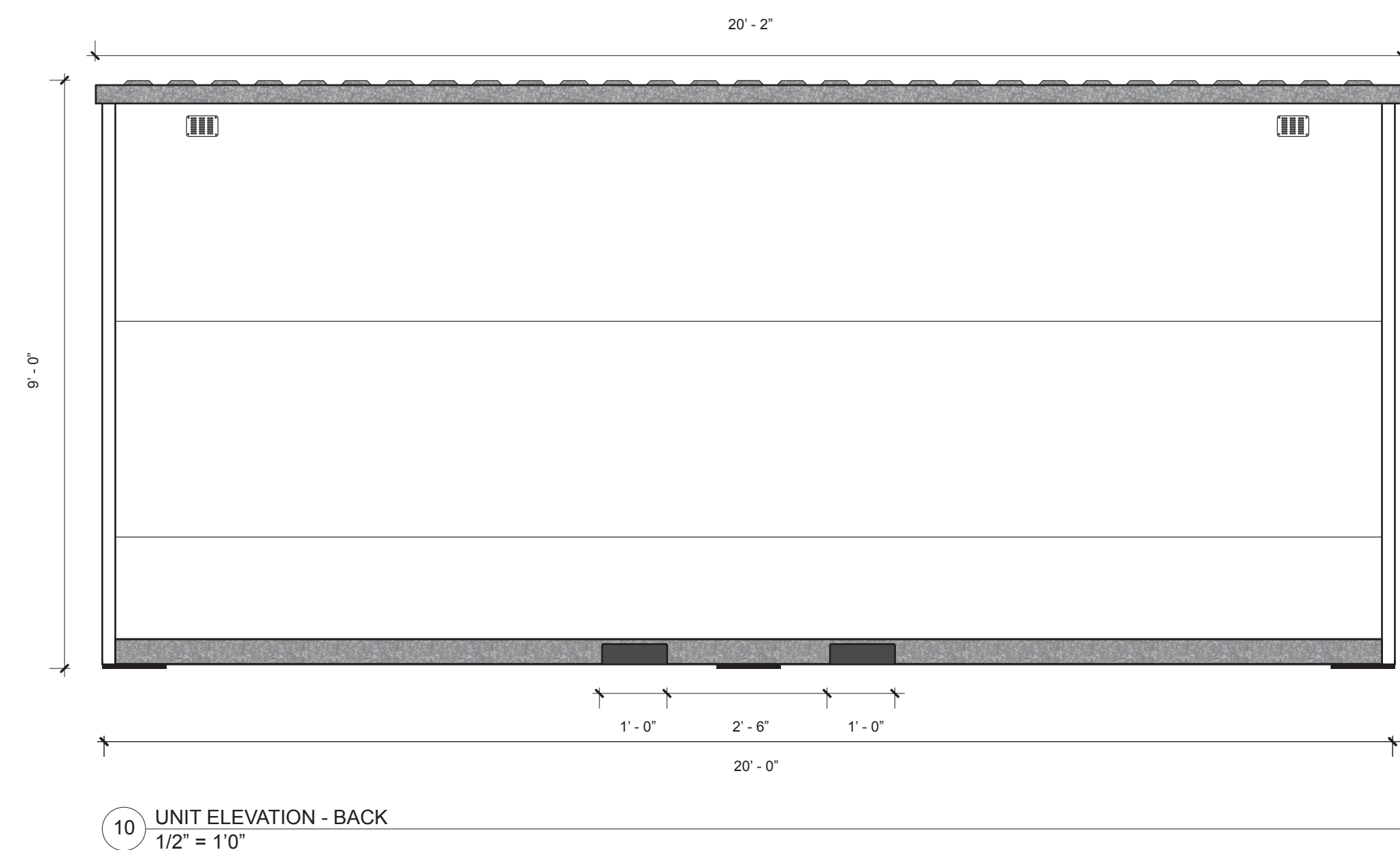
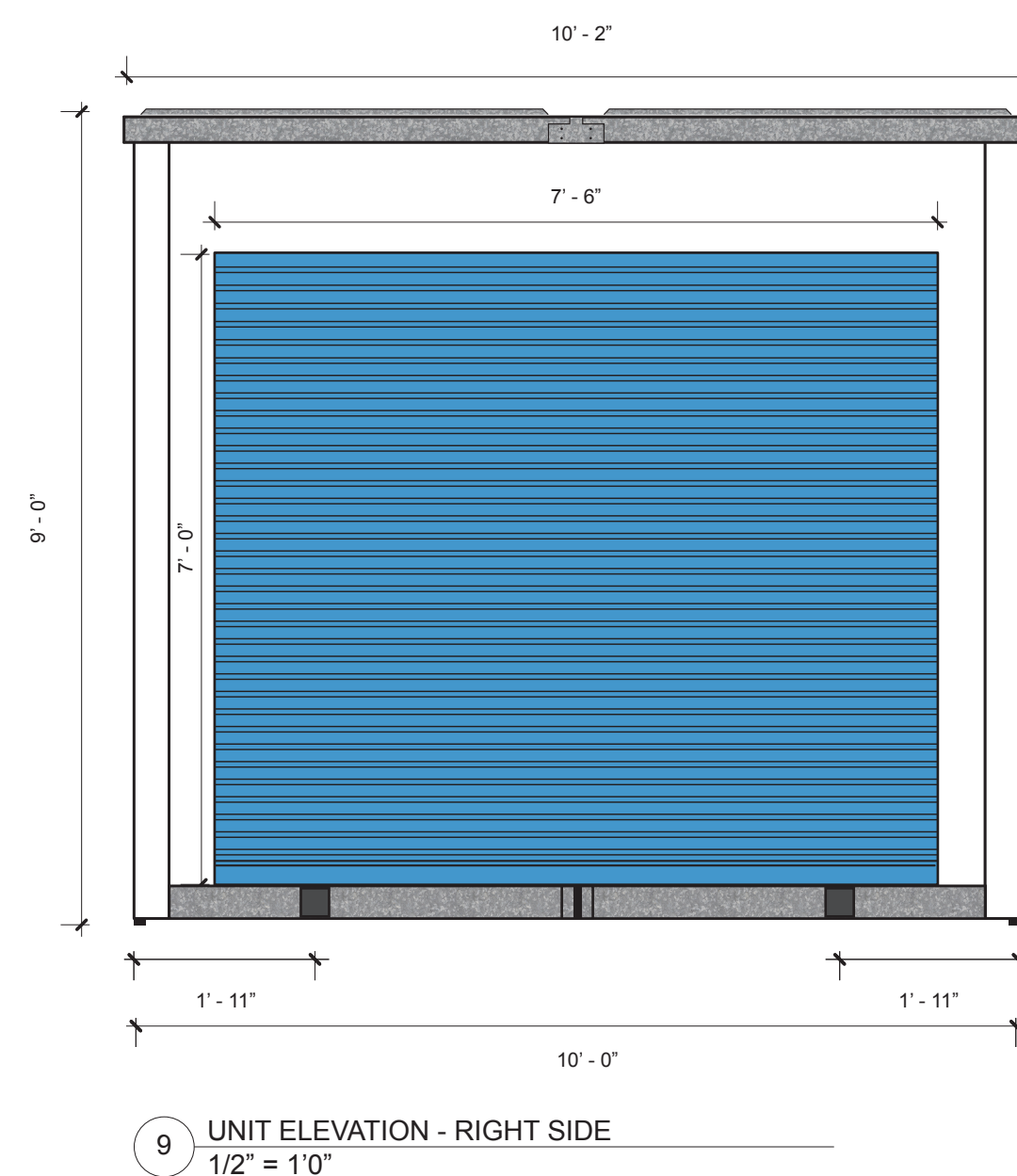
**Relocatable Unit - Four Side Doors**

Tare: 4,850 lbs



**Relocatable Unit - Four Side Doors**

Tare: 4,400 lbs



BOXWELL LLC  
6672 Gunpark Dr. Ste. 100  
Boulder, CO 80301  
303-317-5850  
www.boxwell.co

BOXWELL UNIT ELEVATIONS - 10'x20'  
PATENT PENDING

**SELF-STORAGE UNIT FEATURES**

- Structure:**
- 10,000 lbs on base, 120 mph wind resistant, 60 psf snow load on roof
  - 20+ year lifespan with proper care and maintenance
  - Build time - less than two hours / unit
  - Stackable three-high, fully loaded
  - Truly portable. Fork pockets, D rings, receiver tubes allow for easy moving, even when fully loaded
  - Water, wind, dust, and pest-proof
  - Wall vents allow for proper air flow

- Interior:**
- Anti-condensation spray on ceiling absorbs moisture present within unit
  - Safety and informational stickers
  - Can be subdivided into smaller units using removable partitions

- Steel:**
- Highest grade and best quality steel, SPA-H and SPA-C
  - All hardware is stainless steel and will not rust
  - Wall panel thickness: 1.0mm (19ga) galvanized steel painted white
  - Roof: 4.0mm (6ga) corrugated steel, "ISO Style" steel
  - Roof, base, and interior frame are all hot-dipped galvanized
  - Non-galvanized components are customizable to any color

- Door:**
- Roll-up doors are low maintenance, pre-assembled, and lubricated
  - Choose from a wide variety of lock assemblies, including smart locks
  - Roll-up doors are ADA compliant
  - Custom colors available

- Exterior Signage:**
- Logos/Artwork: 3M brand vinyl decal available on three sides
  - Numbered units (optional)

- Floor:**
- 19mm marine grade plywood sealed with phenolic resin textured coating (non-slip, non-toxic, non-odorous)
  - Light or dark wood finish available
  - Diamond plate flooring (optional)

- Services and Warranties:**
- Graphic design and site plan services
  - On-site delivery assistance included upon arrival of first order
  - White glove install service (optional)
  - One year warranty - workmanship and defect protection
  - Five year warranty - paint
  - Seven year warranty - 3M vinyl decals

*Our containers are constantly being upgraded and improved. Exact specifications may change without notice. Boxwell units are fully customizable - additional options available.*

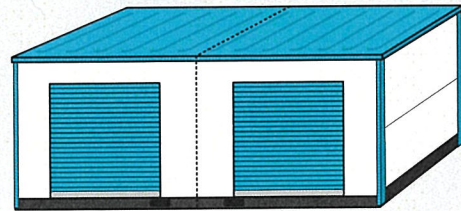
This plan is provided as a conceptual layout only to provide an approximation of unit placement. Boxwell® has provided this for conceptual review "as-is" and makes no representation. Boxwell disclaims any liability with respect to project feasibility, unit mix, building code, and/or fire code compliance. Prior to submittal to any governing municipality, this plan should be reviewed, amended as needed, and approved by an appropriately licensed architect as required by law. All rights reserved. No part of this document may be reproduced or transmitted in any form or by any means without the written permission of Boxwell®. This document and its depictions, photographs, and contents are confidential or proprietary information of Boxwell® and shall not be disclosed, reproduced or transmitted in any form or by any means without the written permission of Boxwell®. All rights reserved © 2022 Boxwell®



# UNIT SPECIFICATIONS

RELOCATABLE SELF-STORAGE - 8' x 20'

## COMMON CONFIGURATIONS



### TWO SIDE DOORS

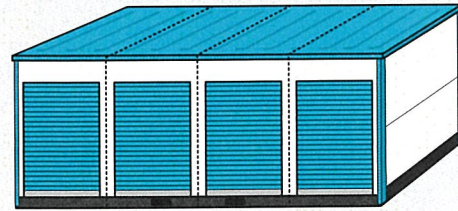
Two 80 ft<sup>2</sup> rentable units

#### DIMENSIONS

Exterior: 234" L x 96" W x 96" H  
Interior: 230" L x 92" W x 92" H  
Door Opening: 68" W x 72" H

#### WEIGHT

Tare: 3,500 lbs



### FOUR SIDE DOORS

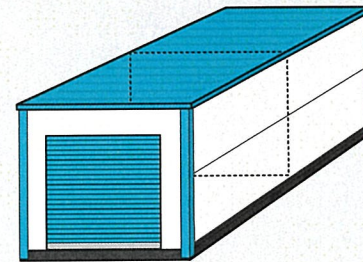
Four 40 ft<sup>2</sup> rentable units

#### DIMENSIONS

Exterior: 234" L x 96" W x 96" H  
Interior: 230" L x 92" W x 92" H  
Door Opening: 48" W x 72" H

#### WEIGHT

Tare: 4,000 lbs



### END DOOR(S)

One 160 ft<sup>2</sup> rentable unit or  
Two 80 ft<sup>2</sup> units (if divided)

#### DIMENSIONS

Exterior: 234" L x 96" W x 96" H  
Interior: 230" L x 92" W x 92" H  
Door Opening: 68" W x 72" H

#### WEIGHT

Tare: 3,300 lbs

**FEATURES + OPTIONS** *Boxwell relocatable units are continuously being upgraded and improved. Exact specifications are subject to change without notice. Units are fully custom, additional options available.*

### STEEL CONSTRUCTION

- Highest grade and best quality steel, SPA-H and SPA-C
- Wall panel thickness: 1.0mm (19 ga)
- Roof thickness: 4.0mm (6 ga) corrugated "ISO Style" steel
- All hardware is stainless steel, will not rust
- Customizable to any color
- Hot-dipped galvanized upgrade available

### INTERIOR

- Marine grade plywood (3/4") sealed with phenolic resin textured coating (non-slip, non-toxic, non-odorous)
- Choose from light or dark flooring finish
- Diamond plate flooring upgrade available
- Wall vents promote ample air flow
- Anti-condensation spray on ceiling
- Adjust unit mix with removable steel partition

### STRUCTURE

- Load Rating: 125 psf on base
- Wind Rating: 120 mph
- Snow Load: 60 psf on roof
- Build time: less than 30 minutes per unit
- Fork pockets for easy moving/stacking
- Roof made from one piece of steel, no welds

### SERVICES + WARRANTIES

- Graphic design, unit renderings, and site layouts available to all Boxwell clients
- Standard for all first orders: on-site Boxwell rep to oversee delivery and unload process
- White glove install service available
- One year warranty: manufacturing, workmanship
- Five year warranty: paint

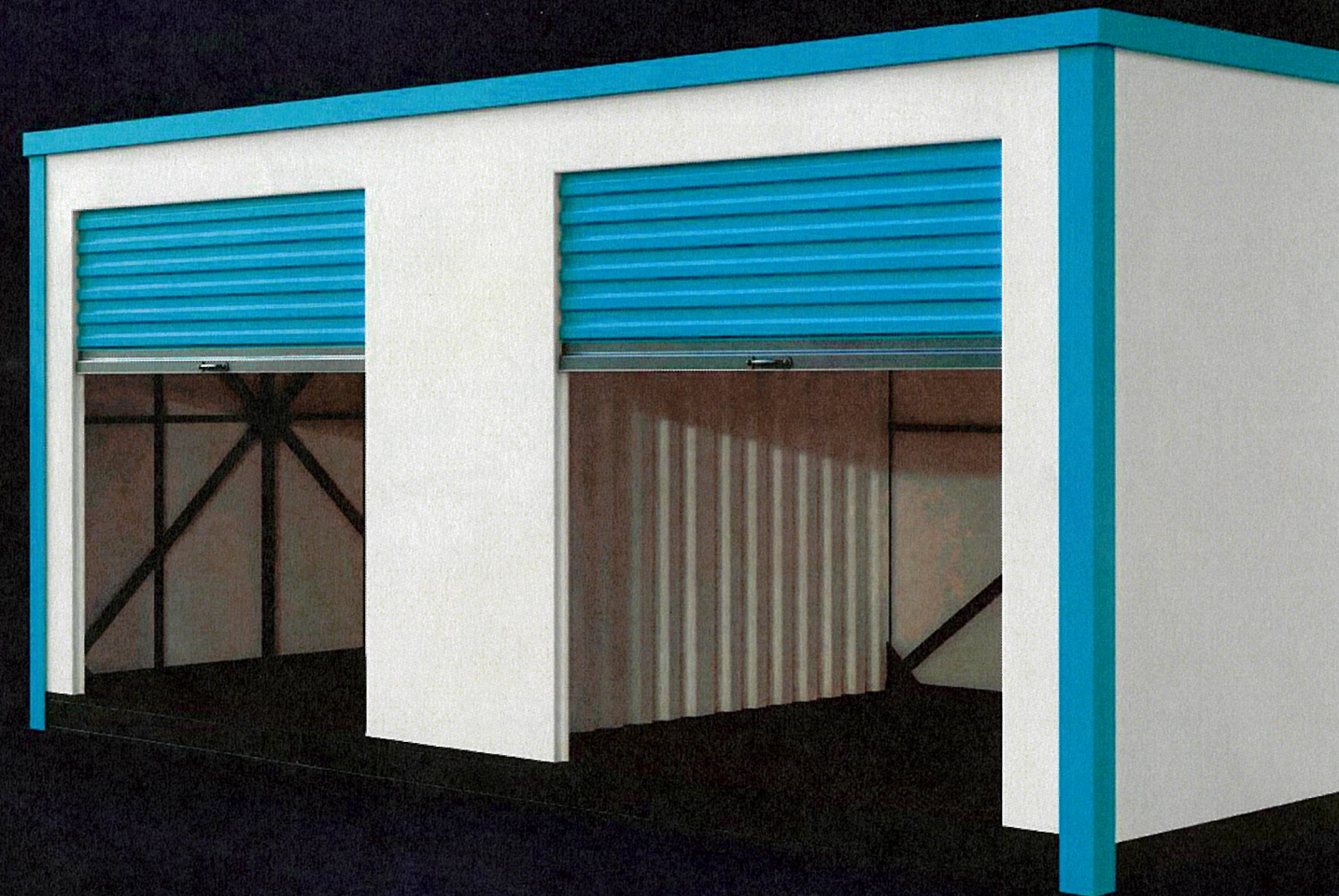
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BOXWELL REDEFINES

# FLEXIBILITY

WITH 8x20 RELOCATABLES

PORTABLE DURABLE STACKABLE VERSATILE CUSTOMIZABLE  
LONG-LASTING EASY TO BUILD WEATHERPROOF INNOVATIVE  
DEPENDABLE TRUSTED PROTECTED EXPERTLY ENGINEERED



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