



"The City With a Heart"

Community Development
Department

AGENDA
Community Development Directors Hearing
May 21, 2026
4:00 PM

<p>IN PERSON* MEETING LOCATION San Bruno City Hall Conference Room 115 567 El Camino Real San Bruno, CA 94066</p> <p>*Please turn off all electronic devices before the start of the meeting to prevent disruptions*</p>	<p>Zoom Link* https://sanbruno-ca-gov.zoom.us/j/87584453023</p> <p>Phone Line: 1 (669) 444 9171 Webinar ID: 875 8445 3023 Webinar Password: 567765</p> <p>*Teleconference broadcasting is offered in the meeting via Zoom as a courtesy to the public.</p> <p>**No public comment accepted via Zoom</p>
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PUBLIC COMMENT: In person attendees who want to provide public comment, will be asked to fill out a speaker card and turn it in to the Planning Division. Public comment may also be emailed to planning@sanbruno.ca.gov. Comments received via email will not be read aloud during the meeting.

ACCESSIBILITY: In compliance with the Americans with Disabilities Act, individuals requiring special accommodations or modifications to participate in this meeting should contact the planning department or the Project Planner noted on the public notice at least 48 hours prior to the meeting at (650) 616-7038 or via email at planning@sanbruno.ca.gov.

*Any disclosable public writings related to an open session item on a regular meeting agenda and distributed by the City to the Director less than 72 hours prior to that meeting are available for public inspection at the Community Development Department Office at City Hall located at 567 El Camino Real, San Bruno, California during normal business hours. In addition, the city may also post such documents on the City's Website at <https://www.sanbruno.ca.gov/AgendaCenter>.

1. CALL TO ORDER

2. PUBLIC COMMENTS FOR ITEMS NOT ON THE AGENDA

Individuals are allowed 3 minutes. It is the Community Development Department's policy to refer matters raised in this forum to staff for investigation and/or action where appropriate. The Brown Act prohibits the Director from discussing or acting upon any matter not agendaized pursuant to State law.

3. PUBLIC HEARINGS

A. Use Permit (UP25-006) and Architectural Review Permit (AR25-018) – 333-345 El Camino Real (APN: 020-293-040, 020276-290, 020-293-030):

Request for a Use Permit and Architectural Review Permit (UP25-006 & AR25-018) to allow the expansion of an existing Vehicle Sales and Rental use, Victory Honda, into an adjacent 22,911 square foot building formerly occupied by Walgreens, including site modifications and exterior alterations, on a 1.65-acre site within the TOD-2 zoning district..

The proposed project is categorically exempt from the California Environmental Quality Act pursuant to CEQA guidelines *Class 1, Section §15301* as it involves interior and exterior modifications to an existing structure.

Planner: Raquel Pulido, Assistant Planner

4. ADJORNMENT

Posted on May 18, 2026

POSTING: I declare a copy of this agenda was posted at City Hall, 567 El Camino Real, San Bruno, among other locations in the city limits of San Bruno, on May 18, 2026, by 6:00 p.m.



Lupita Huerta, City Clerk



STAFF REPORT

Date: May 21, 2026

Agenda Item: 3A

Decision-Body: Community Development Director

Prepared By: Raquel Pulido, Assistant Planner

Project Location	333-345 El Camino Real (APN: 020-293-040, 020-276-290, and 020-293-030)
Zoning Classification	TOD-2 (High density mixed-use)
Application Number(s)	Use Permit (UP25-006) & Architectural Review Permit (AR25-018)
Subject	Request for a Use Permit Amendment and Architectural Review Permit to allow the expansion of an existing Vehicle Sales and Rental use, Victory Honda, into an adjacent 22,911 square foot building formerly occupied by Walgreens, including site modifications and exterior alterations, on a 1.65-acre site within the TOD-2 zoning district.
Existing Conditions	<p>The project site consists of three parcels (APNs: 020-293-040, 020-276-290, and 020-293-030) totaling 1.65 acres. The site is developed with the existing Victory Honda dealership and an adjacent one-story commercial building formerly occupied by Walgreens, which ceased operations in December 2025.</p> <p>The site includes two one-story commercial buildings, surface parking areas, landscaping, site lighting, and internal circulation aisles. The Victory Honda dealership contains showroom, office, and service-related uses, while the former Walgreens building is currently vacant.</p> <p>Surface parking is provided on the north and south of the site, with a combined total of 146 spaces serving the site. Parking areas are served by existing vehicular access points from El Camino Real and Crystal Springs Avenue. A curb cut along Linden Avenue provides pedestrian access through the site to El Camino Real.</p>
Proposed Conditions	<p>The project expands the existing Victory Honda dealership into the adjacent vacant Walgreens building on a site previously consolidated through a lot line adjustment and parcel merger. The proposal includes the adaptive reuse of the existing 22,911-square-foot commercial building for automotive service operations. Improvements include service bays, work areas, and supporting spaces to support the existing vehicle sales use.</p> <p>The existing dealership building and former Walgreens building share a common wall. New openings are proposed within this wall to provide internal connectivity</p>

	<p>and facilitate vehicle and operational circulation between service areas.</p> <p>Exterior modifications include façade and architectural improvements consistent with the existing dealership, landscape enhancements along El Camino Real and Crystal Springs Road. Site improvements include reconfiguration of parking, including the modification of approximately 68 existing parking spaces into approximately 78 parking spaces, installation of fencing, and upgrades to operational features such as the trash enclosure and oil storage and compressor enclosure to support service operations.</p> <p>A total of 148 parking spaces are provided, including customer, employee, inventory, and accessible parking.</p>
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BACKGROUND: The project site was merged into a single development site following lot line adjustment and parcel merger (LLA24-001) finalized in January 2025. The site is developed with the existing Victory Honda dealership and an adjacent one-story commercial building formerly occupied by Walgreens, which ceased operations in December 2025.

The existing dealership operates under an approved Use Permit (UP01-55), and this request is processed as an amendment to that entitlement. The existing dealership is nearing completion of an extensive renovation to the building and has received a Temporary Certificate of Occupancy.

ANALYSIS: The former Walgreens building is approximately 22,911 square feet and previously operated as a retail pharmacy with a sales floor and storefront glazing. The project converts the building into dealership service and support space, including 20 service bays accessed through new service bay openings and three detail bays for vehicle preparation. The use is conditionally permitted and meets required findings as shown in [Attachment 2](#). The project also requires an Architectural Review Permit for the exterior improvements, and it meets the findings as it shows also in [Attachment 2](#).

ENVIRONMENTAL IMPACT: The project is categorically exempt from environmental guidelines (*Class 1, Section §15301*) as it involves interior and exterior modifications to existing structures.

MAILED NOTICE: In accordance with San Bruno Municipal Code Section 12.132.030, a mailed notice was sent to all owners of property within 300 feet of the subject site on May 7, 2026 and published in the San Mateo Daily Journal on May 9, 2026; not less than ten or more than thirty days before the scheduled hearing date.

RECOMMENDATION: Staff recommends that the Community Development Director approve the Use Permit (UP25-006) and Architectural Review Permit (AR25-018) based on Findings 1-8 and Conditions of Approval 1-37.

Next Steps: The Community Development Director is the final approval body for this project. There is a 10-day appeal period from the date of the Community Development Director’s final action. Appeals shall be made in writing and filed with the City Clerk within ten days after the final action and as described in Section 12.64.042 of the San Bruno Municipal Code.

Item 3A – Staff Report

333-345 El Camino Real (UP 25-006 & AR25-018)

Page **3** of **13**

ATTACHMENTS:

1. Site Location Map
2. Project Findings for Approval
3. Conditions of Approval
4. Site Plan, Floor Plans, and Elevations

ATTACHMENT 2: **PROJECT FINDINGS FOR APPROVAL**

UP25-006 & AR25-018
333-345 El Camino Real

The Community Development Director shall grant a Use Permit and Architectural Review Permit only if they make the findings required by Section 12.112.050 and 12.108.030 of the San Bruno Municipal Code. The required findings are in **bold** followed by staff's *analysis* basis for the findings.

Use Permit

- 1. Will not under the circumstances of the particular case, be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use**

The project expands the existing Vehicle Sales and Rental use into a vacant commercial building previously occupied by a retail pharmacy. The former Walgreens building, approximately 22,911 square feet in size, will be converted into dealership service and support space, including 20 service bays and three detail bays for vehicle preparation. All service activities will occur within enclosed buildings and the project will continue operating under the same hours of operation established under existing Use Permit UP01-55. The project also includes necessary operational infrastructure such as trash and oil storage enclosures to support the expanded service use. The project does not introduce operational characteristics that would result in adverse impacts to surrounding properties.

- 2. Will not be injurious or detrimental to property and improvement in the neighborhood or to the general welfare of the city**

The project reuses a vacant commercial building and includes site and building improvements such as façade updates, new landscaping, and replacement of fencing. The project will provide adequate parking and integrate the existing and former commercial buildings into a single dealership site. The project improves the condition of the site and is not expected to result in negative impacts to surrounding properties or the community.

- 3. Will not be inconsistent with the general plan.**

The project is consistent with the General Plan's Transit Oriented Development land use designation, which supports a range of commercial uses along the El Camino Real corridor. The project expands an existing commercial use within an established commercial area and reuses a vacant building without increasing the overall building footprint.

Architectural Review Permit

- 1. The proposed buildings, site plan, and landscaping are in substantial conformance with the goals, policies, and objective development standards of the zoning code, General Plan, and applicable specific plans.**

The project complies with the development regulations of the TOD-2 zoning district as set forth in the San Bruno Municipal Code, with the exception of existing legal nonconforming setback conditions. The existing buildings do not meet the required front setback of 5 feet minimum and 10 feet average along El Camino Real. Portions of the building are located approximately 2 feet 11 inches from the front property line, while other portions are located directly at the property line. Additionally, the rear setback adjacent to the R-1 zoning district is approximately 5 feet 9 inches, where a minimum 10-foot rear setback is required.

Pursuant to San Bruno Municipal Code Section 12.92.020(C), these conditions are considered lawful nonconforming structures. The proposed project does not expand the building footprint, increase building area, or otherwise modify the building envelope. Therefore, the project does not increase the degree of nonconformity and is consistent with Section 12.92.020(C)(2), which allows modifications to nonconforming structures that do not increase the extent of the nonconformity. The continued use and improvement of the existing structures is consistent with the intent of the zoning regulations and supports ongoing commercial use within the district.

- 2. The site for the proposed development is adequate in size and shape to accommodate proposed building site plan and landscaping.**

The 1.65-acre site accommodates the existing buildings, parking areas, circulation, and proposed improvements. The site provides adequate space for vehicle sales and service operations, including 148 on-site parking spaces, and supports the integration of the expanded use. The existing curb cuts from El Camino Real and Crystal Springs Avenue would be retained. The expansion requires 46 parking spaces pursuant to San Bruno Municipal Code Section 12.100.030 and provides 81 on-site spaces, including customer, employee, inventory, electric vehicle, and accessible parking.

- 3. The design of the building site plan, landscaping, and streetscape, including street trees, lighting, and street furnishings, is consistent with the character of the surrounding area, and would not create an adverse visual impact on the surrounding area.**

The project includes façade updates, removal of the mansard roof element, new service bay openings, replacement of fencing, and new and enhanced landscaping. These improvements integrate the former Walgreens building with the already approved Victory Honda dealership and create a cohesive development across the site. The proposed modifications are compatible with the surrounding commercial corridor.

4. The development will not be detrimental to public health, safety, or welfare.

The project maintains existing access points and circulation patterns and provides adequate on-site parking. All service activities occur within enclosed buildings. The project does not introduce conditions that would negatively affect public health, safety, or welfare.

5. The proposed development contributes to the creation of an attractive and visually interesting built environment that includes a variety of building styles and designs with well-articulated structures within a unifying context that encourages increased pedestrian activity and promotes compatibility among neighboring land uses within the same or different districts.

The project improves the appearance of an existing commercial site through façade updates, landscaping improvements, and replacement of fencing. The integration of the former Walgreens building into the dealership creates a unified development that is compatible with surrounding uses along the El Camino Real corridor. Modifications to the former Walgreens building include new wall finishes, revisions to storefront glazing, and removal of the existing mansard roof element. Existing fencing is repaired and replaced with new white vinyl fencing, and landscaping improvements include new planting areas and enhancements throughout the site.

End of Findings

ATTACHMENT 3:
CONDITIONS OF APPROVAL

UP25-006
333-345 El Camino Real

Planning Division

1. The applicant shall file a declaration of acceptance of the following conditions by submitting a signed copy of the Hearing Summary to the Community Development Department within 30 days of approval. Until such time as the Summary is filed, Use Permit UP25-006 and Architectural Review Permit AR25-018 shall not be valid for any purpose.
2. All conditions of approval herein shall apply to the project in its entirety, regardless of the individual department under which the conditions are listed. These conditions of approval and any other conditions associated with any further approvals of the project at 333 El Camino Real and 345 El Camino Real shall run with the land, and any and all successors in interest of the property shall comply with all conditions of said approval.
3. Use Permit UP25-006 shall be operated by the owner and any successor in interest, according to the approval by the Community Development Director on May 21, 2026, except as required to be modified by these Conditions of Approval. Any modification to the approved plans or any deviation or change in the business activities shall require prior approval by the Planning Commission. Failure to comply with these requirements may result in the City of San Bruno instituting revocation hearings.
4. This approval constitutes an amendment to Use Permit (UP01-55) and applies to the entire project site, including all parcels merged under this approval, APN's 020-276-290, 020-293-060, and 020-293-050 (together, the "Site"). All conditions of approval from UP01-55 shall remain in full force and effect and shall govern operations across the Site, except as modified herein.
5. All automotive service, repair, and maintenance activities shall occur entirely within enclosed buildings. No outdoor repair or service activities are permitted.
6. A certificate of occupancy shall be obtained prior to commencement of the approved use on the site.
7. Subject to the conditions of UP01-55 (including condition 14 re: inoperable vehicles), parking areas on the Site may be utilized for the parking of customers, employees, service vehicles, and new and used vehicle inventory. All vehicle movement associated with service operations shall occur on-site. No staging, idling, or queuing of vehicles shall occur within the public right-of-way.
8. All deliveries, parts loading/unloading, and service-related activities shall occur within designated on-site loading areas as shown on the approved plans.
9. Hours of operation for the dealership and all associated service, repair, and support activities, including

those within the expanded building, shall be limited to:

- a. Monday through Friday: 7:00 AM to 9:00 PM
- b. Saturday: 7:00 AM to 8:00 PM
- c. Sunday: 9:00 AM to 7:00 PM

These hours shall apply to all operations across the entire Site, including the existing dealership and the expanded service facility. Any expansion or modification of approved hours of operation shall require prior approval from the Community Development Director.

10. All rooftop and ground-mounted mechanical equipment, including but not limited to HVAC units, compressors, vents, gas meters, backflow preventers, and related appurtenances, shall be screened from public view from all adjacent public rights-of-way and neighboring properties, unless prohibited by code. Proposed screening shall be architecturally integrated with the building design and maintained in good condition at all times. The screening shall be shown on the building permit plans for the project and shall be subject to review and approval by the Community Development Department and Fire Department prior to the issuance of the first building permit for the project.
11. All on-site landscaping, including existing and proposed trees, shrubs, and groundcover, shall be permanently maintained in a healthy and thriving condition. Any damaged, diseased, or dead plant materials shall be replaced in kind within a reasonable timeframe, with species approved by the Community Development Department as part of the landscaping plan. Applicant may replace with other species only as determined by the Community Development Department prior to the installation.
12. All fencing and screening elements, including those along property lines and adjacent to public rights-of-way, shall be continuously maintained in good condition and shall not be modified, removed, or replaced without prior review and approval by the Community Development Director.
13. All temporary construction staging shall be limited to designated areas on-site, subject to review and approval by the Community Development Department prior to issuance of building permits. Construction staging, including the storage of materials and equipment, shall not occur within the public right-of-way or within any easements unless otherwise approved by the City. All equipment and materials shall be secured, locked, and stored in an orderly manner when not in use.
14. Prior to occupancy, the applicant shall prepare and implement a Noise Management Plan, subject to review and approval by the Community Development Department. The plan shall be designed to minimize noise from vehicle alarms, horns, and related activities, include employee training, and identify a designated contact person, including name and contact information, responsible for receiving and responding to noise complaints associated with vehicles on the project site.

Building Division

15. Governing Code: The project shall be designed to meet the applicable California Building Standards Code that is in effect at the time of the building permit application per CBC 1.1.9.

16. Imprint the Conditions of Approval on the plans submitted for building permits.
17. Hours of Construction: Please note on the plan: Per the City of San Bruno Municipal Code Section 6.16.070, the operation of any equipment or performance of any outside construction related to a project shall not exceed the noise level and time indicated below:
 - Monday through Saturday:
 - 7:00 AM to 10:00 PM – 85 Decibels
 - 10:00 PM to 7:00 AM – 60 Decibels
 - Sunday:
 - 10:00 AM to 7:00 PM – 85 Decibels
 - 7:00 PM to 10:00 AM – 60 Decibels
18. Waste Management: The permittee shall exclusively use Recology San Bruno for the collection and disposal of all solid waste, including all construction and demolition debris generated by this project. per SBMC 7.04.100 and SBMC 7.04.140.
19. Deferred Submittals: Where construction documents indicate that portions of the work are to be a deferred submittal, the deferred submittal package for those items must be submitted to the Building Division for review and approval prior to the fabrication or installation of those components. per *CBC 107.3.4.1*.
20. Revisions to Approved Plans: Any and all revisions, addenda, or requests for information (RFIs) that result in a change to the approved set of documents must be submitted to the Building Division for review and approval prior to the construction of the revised work per *CBC 107.4*.
21. Approval of this Project does not relieve the Applicant from the applicable requirements of subsequent permits and approvals.
22. Certificate of Occupancy: From the date of approval, Applicant may utilize the outdoor areas of the Site and the existing dealership in the building commonly known as 345 El Camino Real in a manner consistent with these Conditions and Conditions associated with Use Permit UP01-55. The service expansion area in the building commonly known as 333 El Camino Real shall not be used or occupied, in whole or in part, until a Temporary or Final Certificate of Occupancy has been issued by the Building Official per *CBC 111.1*.

Public Works

23. The building permit plans shall include a site plan that shows all property line dimensions, setbacks, any easements, and all existing and proposed grading and drainage improvements. All newly paved and unpaved areas shall be designed to meet relevant state codes and City standards.
24. Storm water from existing and proposed roof downspouts and other on-site drainage, shall be collected and drained to vegetated areas on-site or through an under curb drain to the gutter per City standards

detail ST-03. Drainage flow over sidewalk is not allowed.

25. The building permit plans shall show on the plans existing and any proposed lateral services for domestic water (including meter size), in accordance with the applicable California Plumbing Code including clarification if both existing meters for 333 and 345 El Camino Real will remain in service, or one service will be terminated. If meters need to be upsized, the applicant shall apply for an upsized meter, which includes payment of water and wastewater capacity charges and service charges, such as, but not limited to, materials and installation fees. These charges are based on the City's current Master Fee Schedule.
26. The building permit plans shall show on the plans existing and proposed sanitary sewer laterals (including size) and any existing or new cleanouts, in accordance with the applicable California Plumbing Code.
27. The applicant shall obtain an Encroachment Permit from the Public Works Department prior to commencing any work within the City's public right-of-way including construction-related activities such as storage of building materials, placement of porta-potties, etc. S.B.M.C 8.16.010.

For additional information, application and general requirements refer to the City website at:
<https://www.sanbruno.ca.gov/383/Permits>

The Encroachment Permit shall be issued prior to beginning work in the Public Right of Way. Please allow one to two-weeks for City's initial review and processing of the Encroachment Permit Application.

28. The work shall conform to the current National Pollutant Discharge Elimination System (NPDES) requirements. S.B.M.C. 12.16.020. Please include the County Best Management Practices (BMPs) sheet within the plan set, which can be found at:
<https://www.flowstobay.org/wp-content/uploads/2020/04/Countywide-Program-BMP-Plan-Sheet-June-2014-Update.pdf>
29. The 811 'Call Before You Dig' notation shall be placed in a clear and visible location on each plan sheet. Any work that disturbs the ground; such as earthwork, demolition, excavation, grading, and landscape requires homeowners, contractors, sub-contractors, or any person responsible to individually call 811 for underground utility and/or service locations, and to pothole verify/expose utility and/or service prior.

Fire Department

30. General Conditions

- a. Follow all applicable codes, including but not limited to the current California Fire Code and local amendments, known as the San Bruno Fire Code, at the time of permit submittal.
- b. Provide an NFPA 13 fire sprinkler system installed throughout the building.
- c. Building fire sprinkler system Fire Department Connections (FDCs) shall be located on the address side of the building in an approved location. Separate double detector check valves (DDCVs) with

incorporated FDCs for the building shall be provided. Follow San Bruno standards for installation.

- d. Provide a fire alarm system throughout the building and in the parking/ repair garage.
- e. Fire alarm system to utilize horn strobe units in place of bells.
- f. The fire sprinkler system shall be monitored by an approved fire alarm system, which reports to a UL-listed central station.
- g. A master graphic annunciator panel shall be provided in the FACP room, showing the building in alarm and type of alarm.
- h. FACP Room to contain, or be immediately adjacent to, an exterior door.
- i. Fire extinguishers shall be mounted in cabinets and shall not be obstructed or obscured from view.
- j. Knox Boxes shall be provided at each main entrance. Two sets of keys to be provided for each Knox Box.
- k. Provide address numbers on exterior elevations as required by the Fire Marshal.

31. Prior to Building Permit Issuance

- a. Site Safety Plans for the construction process are to be approved by the Fire Marshal before Building Permit issuance. They must follow all components of Chapter 33 of the California Fire Code.
- b. SBFD only allows the following elements to be deferred (unless otherwise previously approved):
 - i. Fire Alarms/Emergency Voice Evacuation systems
 - ii. Fire Sprinklers/Suppression systems
 - iii. Emergency Responder Radio Coverage systems. Please state the types of systems being deferred (Ex: NFPA 13 (or 13R or 13D) Fire Sprinklers; NFPA 72 Manual (or Automatic) Fire Alarm system with Emergency Voice Evacuation; UL 300 or Clean Agent Fire Suppression system)

32. Construction Process

- a. Fire Department access shall be maintained throughout construction, with a minimum of 20 feet of width.
- b. Follow and comply with the CA Fire Code, Chapter 33, and NFPA 241.

33. Prior to Occupancy

- a. All Fire and Life Systems shall be inspected and approved by the Fire Department before any Certificate of Occupancy is granted.
- b. Work with the Fire Department to develop a Fire Pre-plan for the building.

Police Department

34. Address Numbers: The address number for the business needs to be displayed on the front of the business and should be at least 6" high on a contrasting background, easily visible when approaching the business.
35. Alarm System/ Video Surveillance System: The applicant will install a robbery/burglary alarm system that is monitored and recorded by an offsite alarm company. The police department shall be able to access the system in the event of a historical incident or an incident happening at that time. When placing the

cameras please be aware that 90-degree corners inhibit views so more would need to be in place. The system should also have surveillance on the rear side of the building as there is no visible access from the front of the building.

36. Exterior Landscaping: The bushes and shrubbery should be no taller than two feet tall and that the lowest branch of any tree be no shorter than six feet tall. This is to allow natural surveillance around the exterior of the building, and to deter criminal activity and loitering. All landscaping should be continuously maintained to meet this standard.

Security planting materials are encouraged along fences and property lines and under vulnerable windows. Landscaping shall not conceal doors or windows from view, obstruct visibility, or inhibit access to the roof.

37. Lighting: Although, per the plans, the outside lighting is not to change the applicant should continue to maintain the entire lot, which includes but not limited to the driveway, aisles ingress and egress areas and grounds contiguous to the building shall be provided with lighting of sufficient wattage to provide adequate illumination to make clearly visible the presence of any person on or about the premises during the hours of darkness.

The applicant shall make sure all exterior doors have their own light source which will adequately illuminate both entry and exit areas at all hours to: Make any person on the premises clearly visible and provide adequate illumination for people entering and exiting the building.

All interior corridors, hallways and open areas shall have adequate lighting to illuminate the inside of the building while in use.

38. Outside Signage: All entrances to the parking area shall be posted with appropriate signs per 22658(a) California Vehicle Code, to assist in removal of vehicles at the property owners or managers request.

All handicapped parking stalls shall be appropriately painted and marked as per the California Vehicle Code.

Designated fire lanes shall be properly painted with signage that reflects the red zone is a fire lane, for proper enforcement purposes.

End of Conditions



Signed & Sealed:
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Rev	Date	Comments
1	01/22/26	PLANNING RE-SUB
2	03/03/26	PLANNING RE-SUB
4	04/23/26	PLANNING RE-SUB



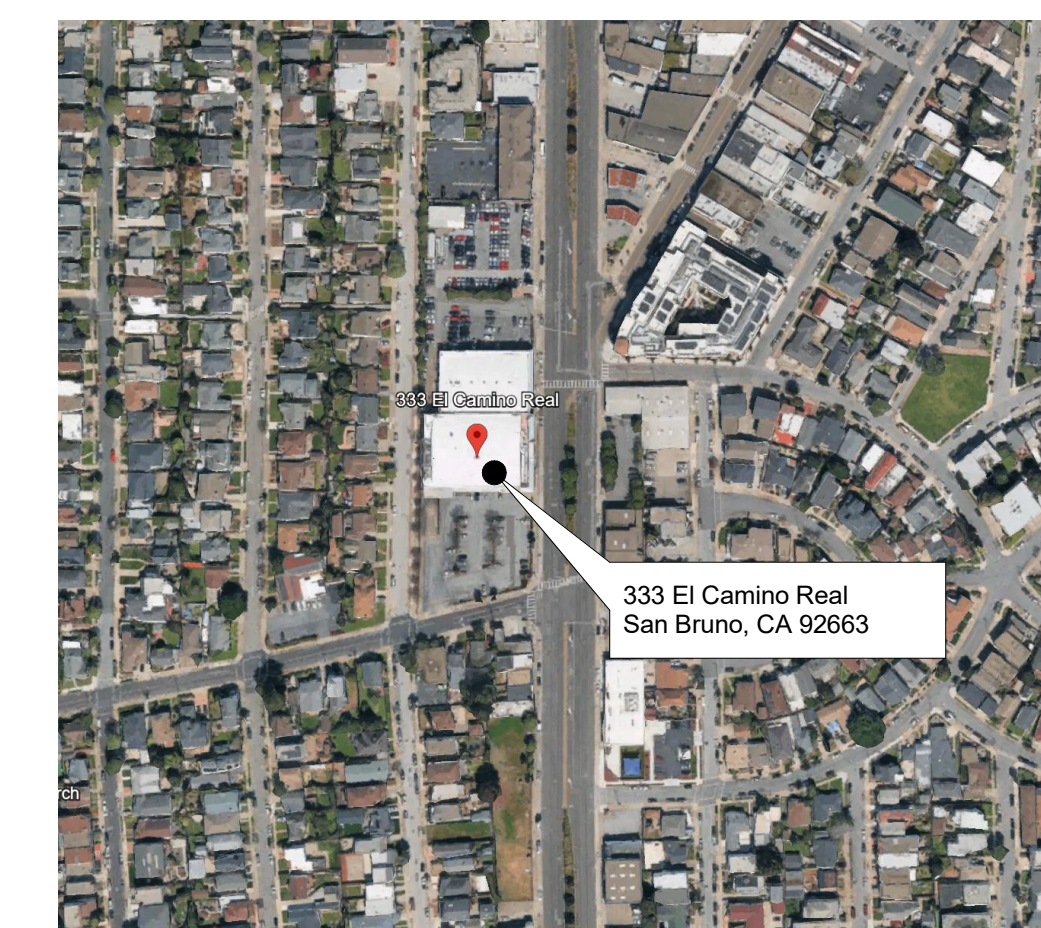
Victory Honda Dealership Expansion

San Bruno, CA

PLANNING SUBMITTAL DRAWING LIST

No.	Sheet Name
001	COVER
005	EXTERIOR PROPOSED AXONOMETRICS
006	EXTERIOR EXISTING AXONOMETRICS
100	EXISTING/DEMO SITE PLAN
101	PROPOSED SITE PLAN
102	COMBINED PROPOSED SITE PLAN
103	COMBINED PROPOSED PLAN
115	DEMO ELEVATIONS
116	PROPOSED ELEVATIONS
130	EXISTING / DEMO PLAN
131	PROPOSED FLOOR PLAN
132	EXISTING BUILDING CODE STUDY
133	PROPOSED CODE STUDY
134	COMBINED PROPOSED CODE STUDY PLANS
135	EXTERIOR RENDERINGS
C-1	CIVIL SITE SURVEY
L-1	LANDSCAPE INVENTORY PLAN

LOCATION MAP



PROJECT SCOPE NARRATIVE

LOCATION
THIS PROJECT CONSISTS OF THE EXPANSION OF THE EXISTING VICTORY HONDA AUTOMOBILE DEALERSHIP INTO THE ADJACENT, VACANT WALGREENS BUILDING LOCATED AT 333 EL CAMINO REAL, SAN BRUNO, CALIFORNIA 94066.

THE SCOPE OF WORK INCLUDES THE ADAPTIVE REUSE AND INTERIOR TENANT IMPROVEMENT OF THE EXISTING ONE-STORY COMMERCIAL BUILDING TO SUPPORT AUTOMOTIVE OPERATIONS ASSOCIATED WITH VICTORY HONDA. THE EXISTING BUILDING FOOTPRINT AND PRIMARY STRUCTURAL SYSTEM WILL REMAIN. NO CHANGE TO THE BUILDING TYPE OR SQUARE FOOTAGE.

DEMOLITION
INTERIOR DEMOLITION OF NON-STRUCTURAL PARTITIONS, CEILING FINISHES, AND FIXTURES ASSOCIATED WITH THE FORMER RETAIL USE. REFER TO SHEET 100 EXISTING/DEMO SITE PLAN FOR THE FOLLOWING ITEMS TO BE REMOVED PER NEW TENANT IMPROVEMENT WORK:
- REMOVE LOADING DOCK AREA
- REMOVE AND REVEAL OF EXISTING TRASH ENCLOSURE
- UPDATE STRIPING AT CURB
- REMOVE MANSARD AND UPDATE EXISTING ROOF OVERHANG

EXTERIOR
INSTALLATION OF NEW EXTERIOR FINISHES, DOORS, GLAZING, AND ARCHITECTURAL ELEMENTS CONSISTENT WITH DEALERSHIP OPERATIONAL REQUIREMENTS AND BRAND IMAGE. SELECTIVE EXTERIOR MODIFICATIONS INCLUDING TO SERVICE BAY DOOR OPENINGS, STOREFRONT REVISIONS, AND ASSOCIATED ARCHITECTURAL ELEMENTS AS SHOWN ON THE PLANS. NO INCREASE TO THE EXISTING BUILDING FOOTPRINT.

INTERIOR
CONSTRUCTION OF NEW NON-BEARING INTERIOR PARTITIONS AND LAYOUTS TO ACCOMMODATE AUTOMOTIVE SERVICE BAYS, TECHNICIAN WORK AREAS, PARTS AND SERVICE SUPPORT SPACES, EMPLOYEE SUPPORT AREAS. INSTALLATION OF INTERIOR FINISHES CONSISTENT WITH HONDA'S SERVICE DEPARTMENT IMAGE PROGRAM, INCLUDING DURABLE WALL FINISHES, SERVICE-GRADE FLOORING SYSTEMS, CEILING SYSTEMS APPROPRIATE FOR AUTOMOTIVE SERVICE ENVIRONMENTS, INTERIOR COLOR PALETTES, MATERIALS, AND FINISH SELECTIONS TO ALIGN WITH HONDA BRANDING AND CORPORATE IMAGE STANDARDS.

SERVICE BAY IMPROVEMENTS
INSTALLATION OF SERVICE BAY EQUIPMENT, INCLUDING LIFTS, TAIL PIPE EXHAUST SYSTEMS, AND ASSOCIATED INFRASTRUCTURE, AS SHOWN ON THE PLANS. INTEGRATION OF REQUIRED VENTILATION AND MAKE-UP AIR SYSTEMS TO SUPPORT SERVICE BAY OPERATIONS. FLOOR FINISHES AND PROTECTIVE COATINGS DESIGNED FOR AUTOMOTIVE SERVICE USE AND DURABILITY.

LIGHTING AND ELECTRICAL
INSTALLATION OF NEW INTERIOR LIGHTING SYSTEMS DESIGNED TO MEET HONDA ILLUMINATION STANDARDS FOR SERVICE BAYS AND WORK AREAS. ENERGY-EFFICIENT LIGHTING FIXTURES COMPLIANT WITH CALIFORNIA TITLE 24 REQUIREMENTS. ELECTRICAL POWER DISTRIBUTION AND RECEPTACLES PROVIDED TO SUPPORT SERVICE EQUIPMENT AND OPERATIONAL NEEDS.

PLUMBING AND SPECIALTY SYSTEMS
PLUMBING MODIFICATIONS TO SUPPORT SERVICE FUNCTIONS, INCLUDING NEW SAND OIL SEPARATOR, AND RESTROOM IMPROVEMENTS. COORDINATION OF SPECIALTY SERVICE SYSTEMS AS REQUIRED FOR AUTOMOTIVE OPERATIONS.

CODE AND AREAS
ALL NEW CONSTRUCTION WILL BE COMPLIANT WITH ALL CURRENT STATE AND LOCAL CODES AS RATIFIED BY THE CITY OF SAN BRUNO. **NO CHANGE TO THE BUILDING TYPE NOR THE BUILDING AREA IS BEING PROPOSED.**

AGGREGATE BUILDING AREA STATEMENT (SINGLE BUILDING FOR CODE PURPOSES)

BUILDING AREA DETERMINATION: SINGLE BUILDING (CBC CHAPTER 8)
THE EXISTING STRUCTURE AND THE PROPOSED ADDITION ARE CONSIDERED ONE BUILDING FOR PURPOSES OF BUILDING AREA, HEIGHT, AND ALLOWABLE AREA LIMITATIONS IN ACCORDANCE WITH CBC CHAPTER 8. THE TOTAL BUILDING AREA USED FOR CODE ANALYSIS IS THE AGGREGATE OF ALL FLOOR AREAS WITHIN THE EXISTING BUILDING AND THE NEW ADDITION, MEASURED IN ACCORDANCE WITH CBC DEFINITIONS.

THE PROJECT IS TYPE V-A CONSTRUCTION AND FULLY SPRINKLERED (NFPA 13) WITH MIXED OCCUPANCIES B, S-1, AND S-2. ALLOWABLE BUILDING AREA HAS BEEN EVALUATED USING CBC TABLE 506.2 WITH APPLICABLE FRONTAGE AND SPRINKLER INCREASES. COMPLIANCE IS DEMONSTRATED USING THE MIXED-OCCUPANCY ALLOWABLE AREA METHOD, WHERE THE SUM OF THE RATIOS OF ACTUAL AREA TO ALLOWABLE AREA DOES NOT EXCEED 1.0.

THE TOTAL AGGREGATE BUILDING AREA IS WITHIN THE ALLOWABLE LIMITS FOR A SINGLE BUILDING. THEREFORE, THE EXISTING BUILDING AND ADDITION ARE PERMITTED TO BE TREATED AS ONE BUILDING FOR CODE PURPOSES.

Client:
Victory Automotive Group

DEMOLITION PERMIT SUBMITTAL

Project:
VICTORY HONDA DEALERSHIP EXPANSION

333 El Camino Real San Bruno, CA 94066

Project Number: 25002
Drawn By: LV & KP
Checked By: BS
Approved By: MYSM

Sheet Title:

COVER

Sheet Number:

001

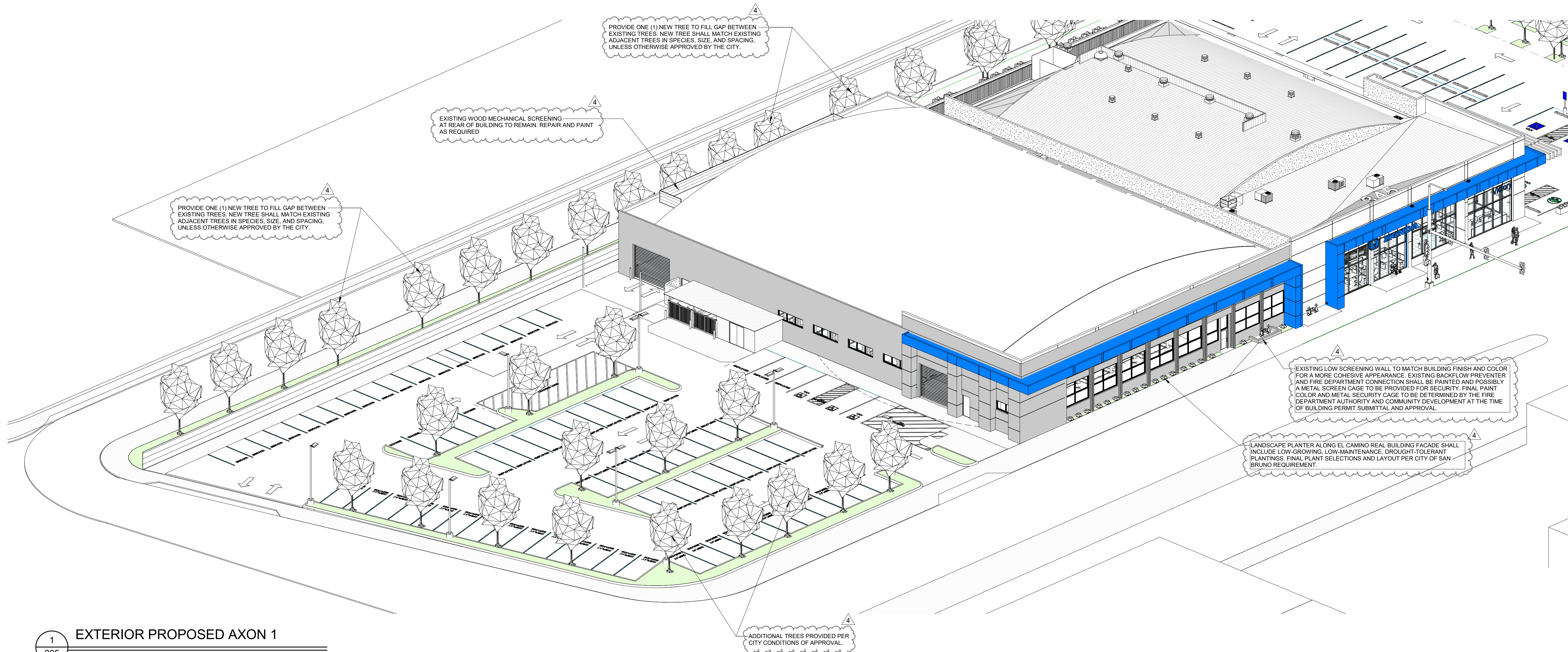


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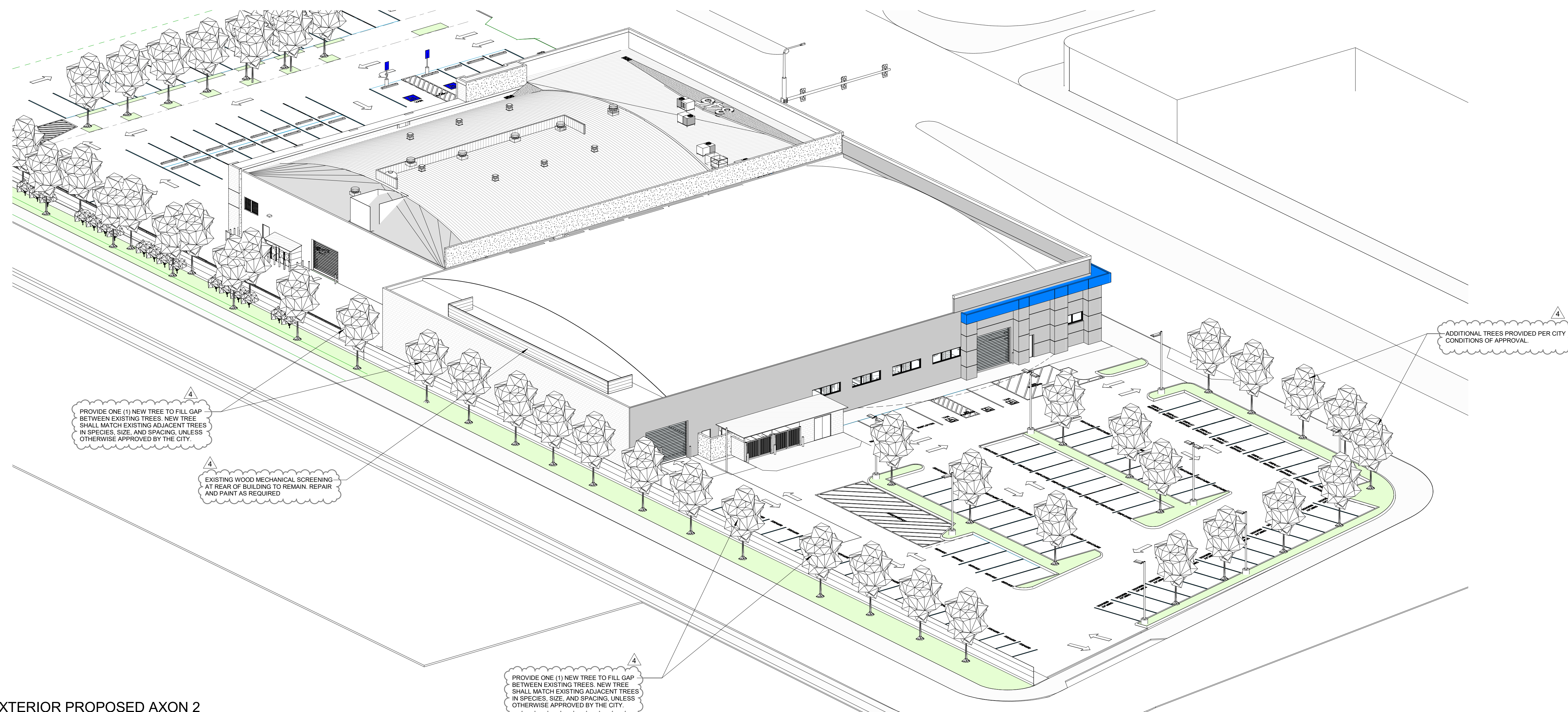
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Rev	Date	Comments
1	01/22/26	PLANNING RE-SUB
4	04/23/26	PLANNING RE-SUB



1 EXTERIOR PROPOSED AXON 1

005



2 EXTERIOR PROPOSED AXON 2

005

Client:
Victory Automotive Group

DEMOLITION PERMIT SUBMITTAL

Project:
VICTORY HONDA DEALERSHIP EXPANSION

333 El Camino Real San Bruno, CA 94066

Project Number: 25002
Drawn By: Author
Checked By: Checker
Approved By: Approver

Sheet Title:

EXTERIOR PROPOSED AXONOMETRICS
Sheet Number:

005



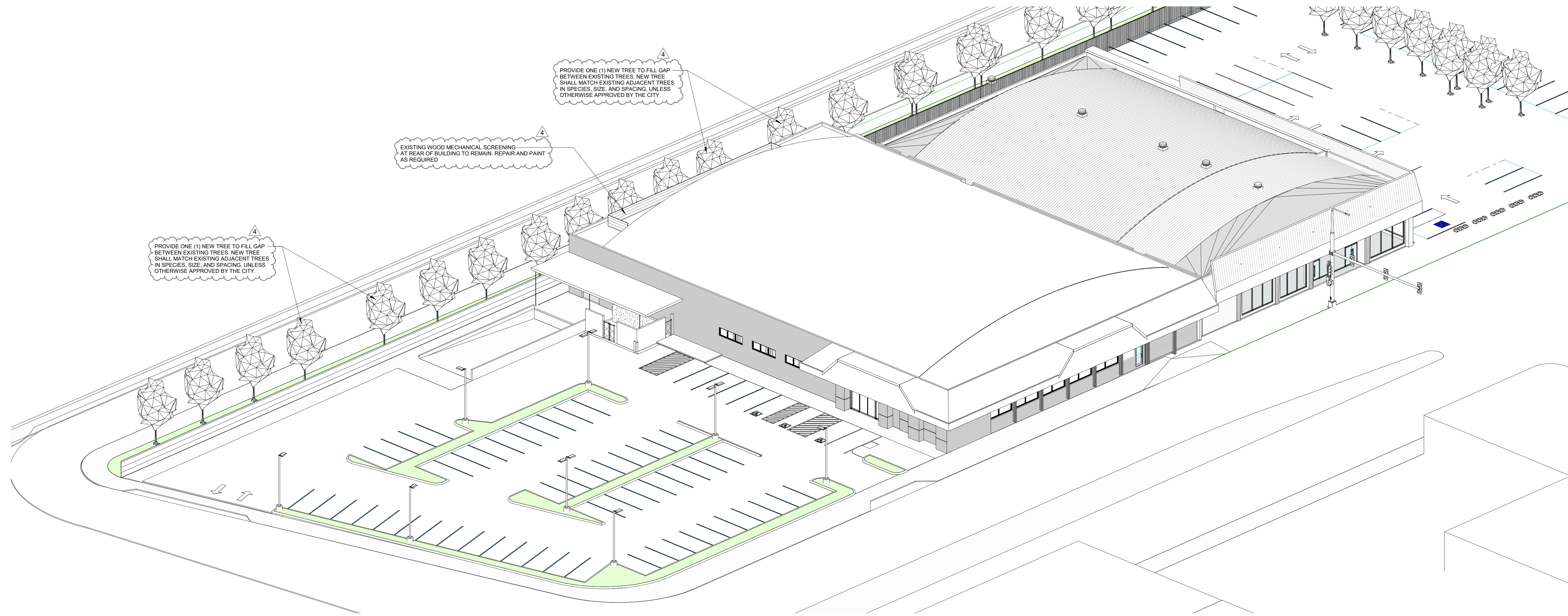
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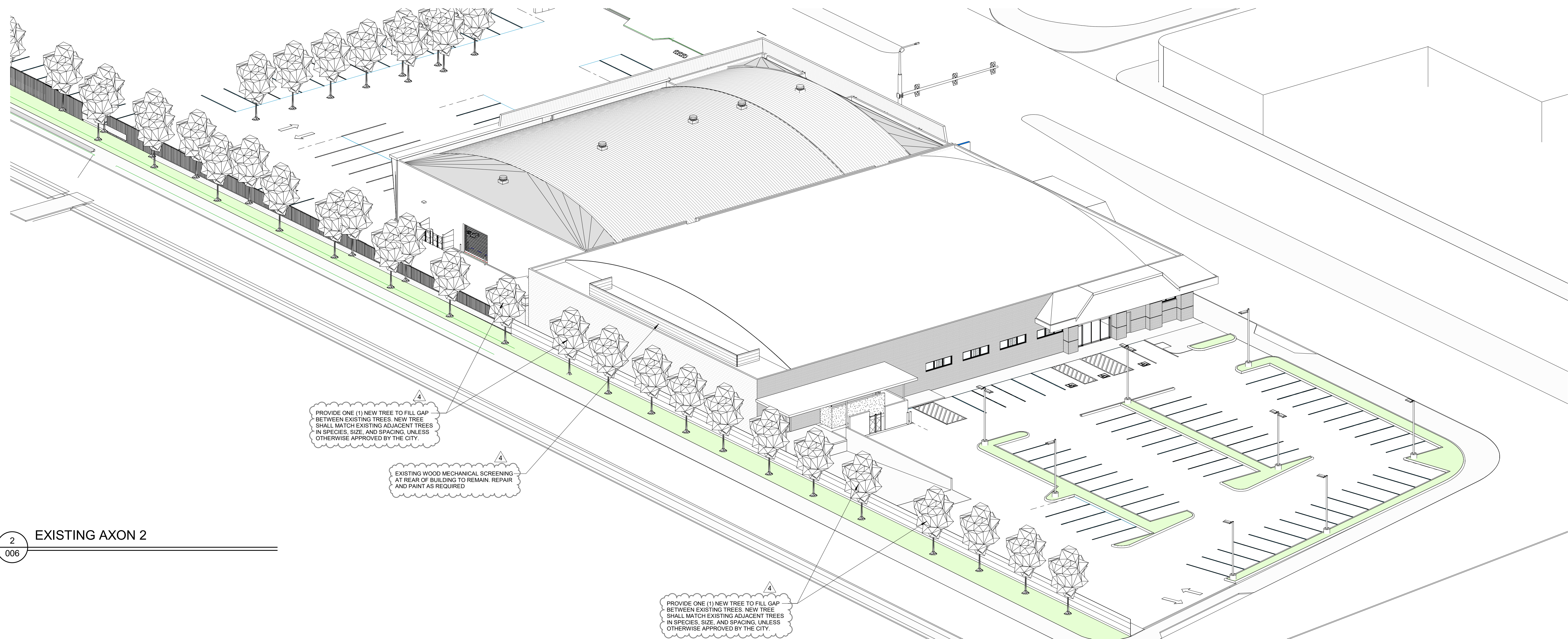
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2	03/03/26	PLANNING RE-SUB
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1 EXISTING AXON 1
006



2 EXISTING AXON 2
006

Client:
Victory Automotive Group

DEMOLITION PERMIT
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Project:
VICTORY HONDA DEALERSHIP EXPANSION

333 El Camino Real San Bruno, CA 94066

Project Number: 25002
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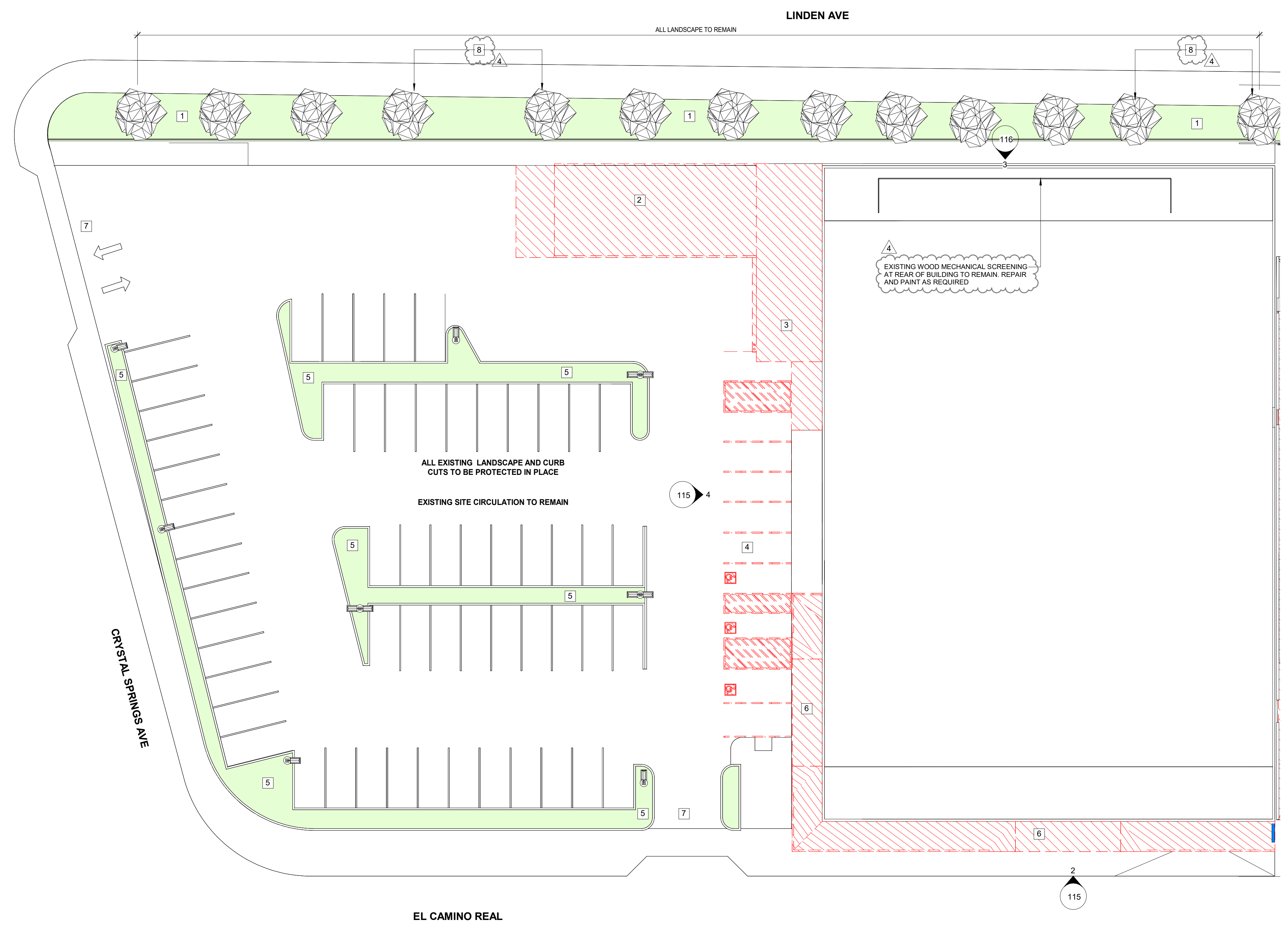
EXTERIOR EXISTING AXONOMETRICS
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- DEMO SITE PLAN NOTES**
- 1 EXISTING LANDSCAPE ON LINDEN TO REMAIN
 - 2 REMOVE LOADING DOCK
 - 3 REMOVE AND DEVELOP EXISTING TRASH ENCLOSURE
 - 4 UPDATE STRIPING AT CURB
 - 5 ALL EXISTING LANDSCAPE AND CURBS TO REMAIN PROTECTED IN PLACE
 - 6 REMOVE MANSARD AND UPDATE EXISTING OVERHANG
 - 7 EXISTING CURB CUTS ONTO CRYSTAL SPRINGS AND EL CAMINO REAL TO REMAIN
 - 8 PROVIDE ONE (1) NEW TREE TO FILL GAP BETWEEN EXISTING TREES. NEW TREE SHALL MATCH EXISTING ADJACENT TREES IN SPECIES, SIZE, AND SPACING, UNLESS OTHERWISE APPROVED BY THE CITY.

DEMO PARTITION LEGEND

	EXISTING PARTITION
	DEMOLISHED PARTITION

1 EXISTING / DEMO SITE PLAN
100 1/16" = 1'-0"

Client:
Victory Automotive Group

DEMOLITION PERMIT SUBMITTAL

Project:
VICTORY HONDA DEALERSHIP EXPANSION

333 El Camino Real San Bruno, CA 94066

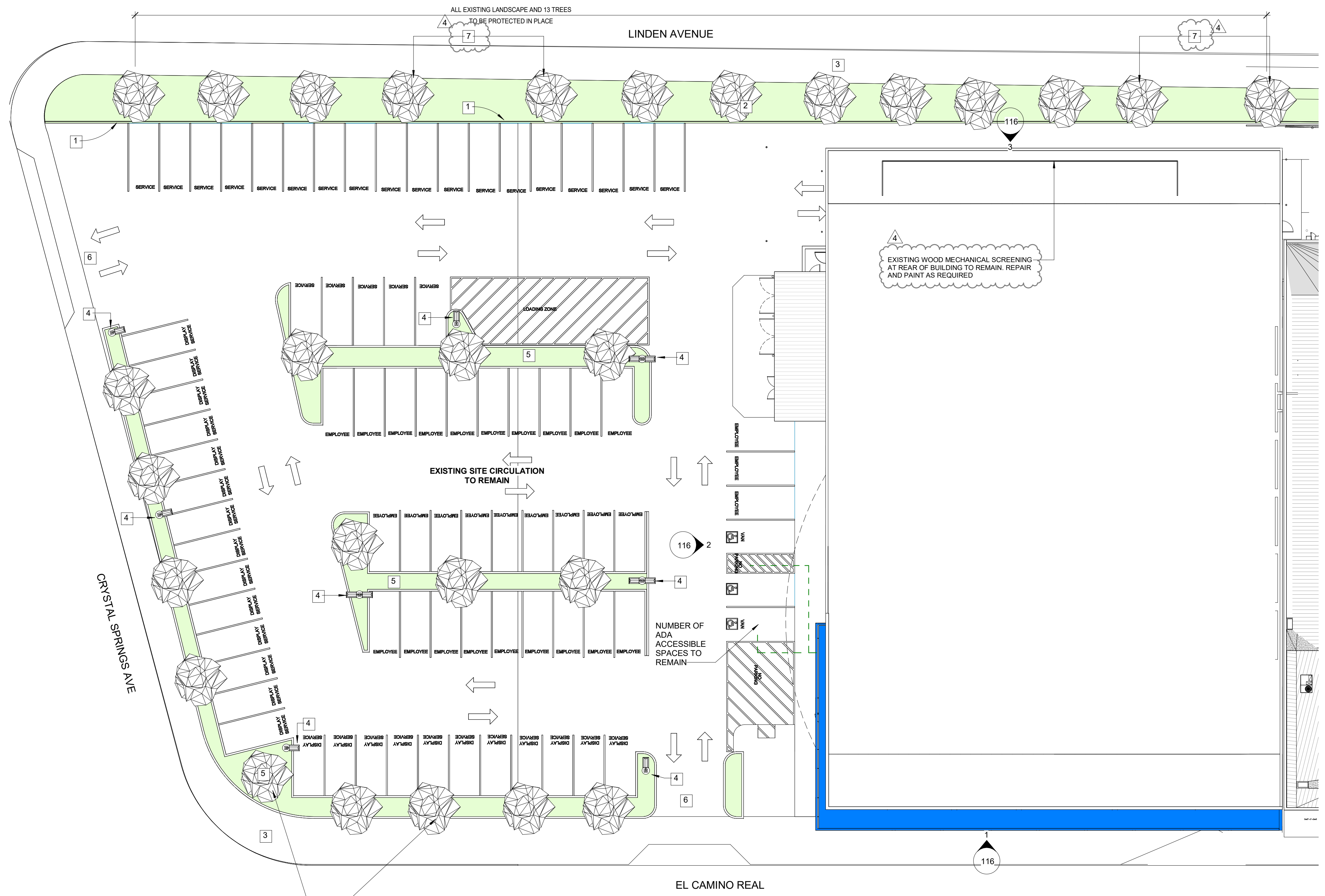
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EXISTING/DEMO SITE PLAN

Sheet Number:
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1 PROPOSED SITE PLAN
101
1/16" = 1'-0"

- PROPOSED SITE PLAN NOTES**
- 1 EXISTING FENCE LINE TO REMAIN. NEW VINYL FENCING BY: FREEDOM OUTDOOR LIVING. DESIGN: FREEDOM EMBLEM. COLOR: WHITE TO MATCH EXISTING SAN BRUNO HONDA SHOW ROOM AREA.
 - 2 EXISTING LANDSCAPE TO REMAIN
 - 3 EXISTING SIDEWALK TO REMAIN
 - 4 EXISTING SITE LIGHTS TO REMAIN PROTECTED IN PLACE
 - 5 ALL EXISTING LANDSCAPE AND CURBS TO REMAIN PROTECTED IN PLACE
 - 6 EXISTING CURB CUTS ONTO CRYSTAL SPRINGS AND EL CAMINO REAL TO REMAIN
 - 7 PROVIDE ONE (1) NEW TREE TO FILL GAP BETWEEN EXISTING TREES. NEW TREE SHALL MATCH EXISTING ADJACENT TREES IN SPECIES, SIZE, AND SPACING, UNLESS OTHERWISE APPROVED BY THE CITY.

SERVICE EXPANSION PARKING DATA

PARKING REQUIRED:	
PROPOSED BUILDING AREA B =	2,465 SQ.FT.
PROPOSED BUILDING AREA S1, S2 =	20,446 SQ.FT.
REQUIRED BY BUILDING AREA	
SERVICE : 1/2,000 SQ.FT. =	10.2 STALLS
BUSINESS : 1/2,000 SQ.FT. =	1.2 STALLS
<small>(18A.80.030 ZONING DISTRICT PARKING REQUIREMENTS)</small>	
TOTAL PARKING REQUIRED	13 STALLS
ADA	1 STALLS
PARKING PROVIDED:	
EMPLOYEE	34 STALLS
OF ADA	3 STALLS
DISPLAY/SERVICE	43 STALLS
SHORT TERM BICYCLE PARKING = 1/10,000 SQ.FT. =	3 SPACES
LONG TERM BICYCLE PARKING = 1/20,000 SQ.FT. =	2 LOCKERS
REQUIRED EVCS CHARGING STATIONS (none):	0 (0 PROVIDED)
<small>(5.106.5.3.1. NUMBER OF REQUIRED EV SPACES)</small>	
<small>(11B-812 1-4 EV STALLS REQUIRED 1 TO BE VAN ACCESSIBLE)</small>	
REQUIRED CLEAN AIR VEHICLE/CAR POOL (10-25):	1(1 PROVIDED)
<small>(TABLE 18.76.06(1) CLEAN AIR PARKING SPACES FOR NONRESIDENTIAL USES)</small>	
REQUIRED ACCESSIBLE PARKING (10-25):	1 (3 PROVIDED)
<small>(1 ACCESSIBLE VAN SPACE)</small>	

Rev	Date	Comments
1	01/22/26	PLANNING RE-SUB
2	03/03/26	PLANNING RE-SUB
4	04/23/26	PLANNING RE-SUB

Client:
Victory Automotive Group

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Project:
VICTORY HONDA DEALERSHIP EXPANSION

333 El Camino Real San Bruno, CA 94066

Project Number: 25002
Drawn By: Author
Checked By: Checker
Approved By: Approver

Sheet Title:
PROPOSED SITE PLAN

Sheet Number:
101

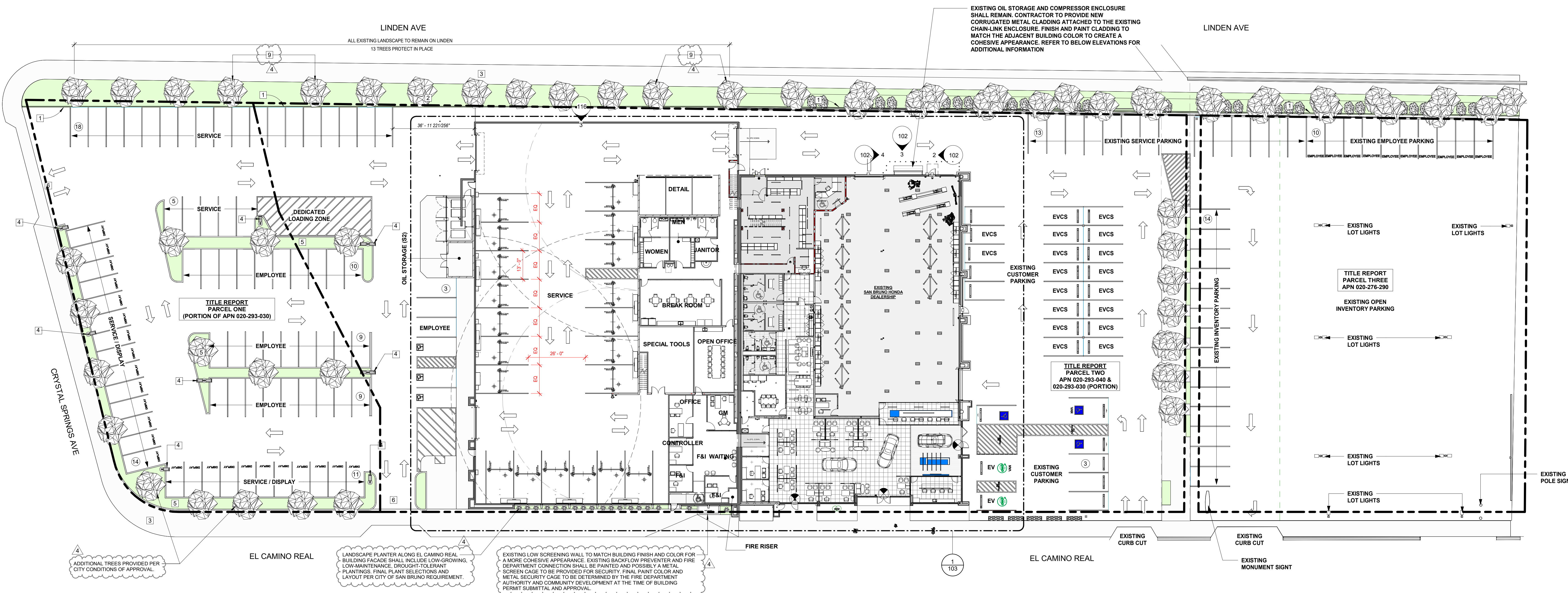


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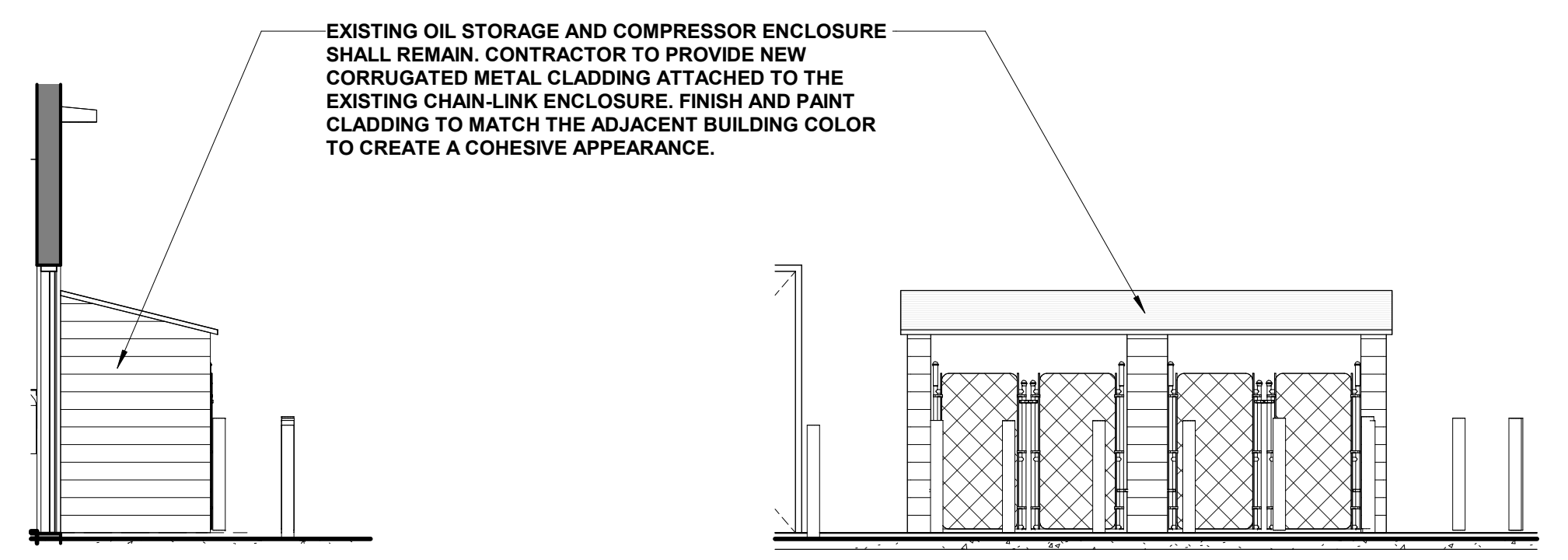
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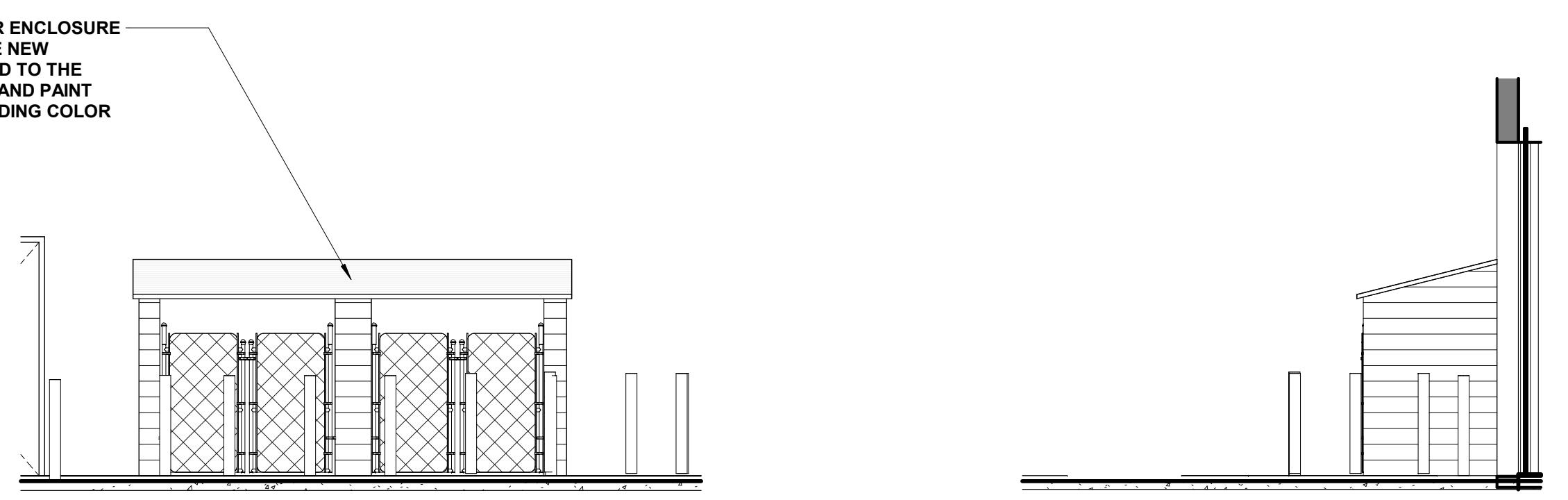
Rev	Date	Comments
1	01/22/26	PLANNING RE-SUB
2	03/03/26	PLANNING RE-SUB
4	04/23/26	PLANNING RE-SUB



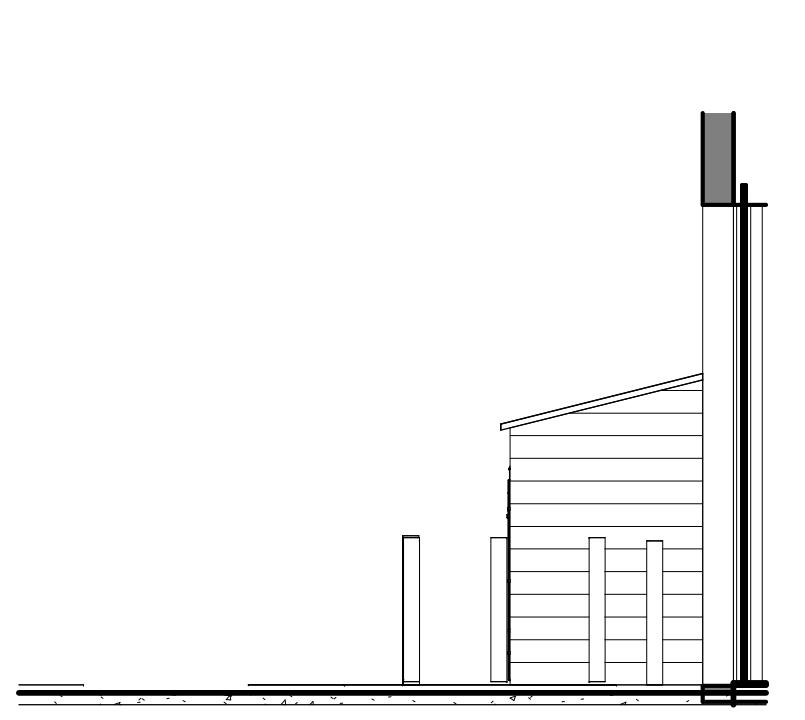
1 COMBINED SITE PLAN GROUND FLOOR
1" = 20'-0"



2 EXISTING ENCLOSURE - EAST_CUP
1/4" = 1'-0"



3 EXISTING ENCLOSURE - NORTH_CUP
1/4" = 1'-0"



4 EXISTING ENCLOSURE - WEST_CUP
1/4" = 1'-0"

AGGREGATE BUILDING AREA STATEMENT (SINGLE BUILDING FOR CODE PURPOSES)

BUILDING AREA DETERMINATION: SINGLE BUILDING (CBC CHAPTER 5)
THE EXISTING STRUCTURE AND THE PROPOSED ADDITION ARE CONSIDERED ONE BUILDING FOR PURPOSES OF BUILDING AREA HEIGHT, AND ALLOWABLE AREA LIMITATIONS IN ACCORDANCE WITH CBC CHAPTER 5. THE TOTAL BUILDING AREA USED FOR CODE ANALYSIS IS THE AGGREGATE OF ALL FLOOR AREAS WITHIN THE EXISTING BUILDING AND THE NEW ADDITION, MEASURED IN ACCORDANCE WITH CBC DEFINITIONS.

THE PROJECT IS TYPE V-A CONSTRUCTION AND FULLY SPRINKLERED (NFP4 13) WITH MIXED OCCUPANCIES B, S-1, AND S-2. ALLOWABLE BUILDING AREA HAS BEEN EVALUATED USING CBC TABLE 506.2 WITH APPLICABLE FRONTAGE AND SPRINKLER INCREASES. COMPLIANCE IS DEMONSTRATED USING THE MIXED OCCUPANCY ALLOWABLE AREA METHOD, WHERE THE SUM OF THE RATIOS OF ACTUAL AREA TO ALLOWABLE AREA DOES NOT EXCEED 1.0.

THE TOTAL AGGREGATE BUILDING AREA IS WITHIN THE ALLOWABLE LIMITS FOR A SINGLE BUILDING. THEREFORE, THE EXISTING BUILDING AND ADDITION ARE PERMITTED TO BE TREATED AS ONE BUILDING FOR CODE PURPOSES.

TABLE 11B-208.2
PARKING SPACES

TOTAL NUMBER OF PARKING SPACES PROVIDED IN PARKING FACILITY	MINIMUM NUMBER OF REQUIRED ACCESSIBLE PARKING SPACES
1 to 25	1
26 to 50	2
51 to 75	3
76 to 100	4
101 to 150	5
151 to 200	6
201 to 300	7
301 to 400	8
401 to 500	9
501 to 1000	2 percent of total
1001 and over	20, plus 1 for each 100, or fraction thereof, over 1000

ALLOWABLE AREA NARRATIVE (AGGREGATE SINGLE BUILDING - MIXED OCCUPANCY)

AGGREGATE AS A SINGLE BUILDING - ALLOWABLE AREA COMPLIANCE (CBC 2025)
THE EXISTING BUILDING AREAS AND PROPOSED AREAS SHOWN ARE TREATED AS ONE BUILDING FOR ALLOWABLE AREA PURPOSES. THE BUILDING IS TYPE V-A AND SPRINKLERED (NFP4 13) WITH MIXED OCCUPANCIES B, S-1, AND S-2. ALLOWABLE AREAS ARE TAKEN FROM CBC TABLE 506.2 FOR TYPE V-A AND MODIFIED BY THE FRONTAGE INCREASE UTILIZED IN THE PROJECT'S COMBINED AREA SCHEDULE. THE SCHEDULE APPLIES A 75% FRONTAGE INCREASE (IF = 0.75), RESULTING IN MODIFIED ALLOWABLE AREAS OF 161,000 SF (B), 122,500 SF (S-1), AND 182,000 SF (S-2). BECAUSE THE BUILDING CONTAINS MULTIPLE OCCUPANCIES, COMPLIANCE IS DEMONSTRATED USING THE MIXED-OCCUPANCY AREA RATIO METHOD CONSISTENT WITH THE COMBINED AREA SCHEDULE, WHERE: $\sum(A_i/AA_i) \leq 1.0$

BASED ON THE AREAS SHOWN, THE SUM OF AREA RATIOS = 0.26 ≤ 1.00, THEREFORE THE BUILDING COMPLIES WITH ALLOWABLE AREA LIMITATIONS AS A SINGLE BUILDING.

MIXED OCCUPANCY (AREA RATIO METHOD) - ALLOWABLE AREAS:

B: AT = 92,000 SF; FRONTAGE INCREASE (75%) = 69,000 SF → AA = 161,000 SF
S-1: AT = 70,000 SF; FRONTAGE INCREASE (75%) = 52,500 SF → AA = 122,500 SF
S-2: AT = 104,000 SF; FRONTAGE INCREASE (75%) = 78,000 SF → AA = 182,000 SF

AGGREGATE ACTUAL AREAS BY OCCUPANCY (SUMMED FROM SCHEDULE)

B AREAS SHOWN: 5,259 + 993 + 553 + 794 + 213 = 7,812 SF
S-1 AREAS SHOWN: 6,607 + 15,190 = 21,797 SF
S-2 AREAS SHOWN: 1,541 + 689 + 89 + 173 + 4,228 + 6,720 SF

Final Area Ratio Table (Completed)	Occupancy	Modified Allowable Area, A _{ai} (sf)	Actual Area, A _i (sf)	Ratio A _i /A _{ai}
B	161,000	7,812	0.0485	
S-1	122,500	21,797	0.1779	
S-2	182,000	6,720	0.0369	
TOTAL		36,329	0.2633	

0.2633 ≤ 1.0 = COMPLIES

CONSERVATIVE "SINGLE MOST RESTRICTIVE OCCUPANCY"

GOVERNING (MOST RESTRICTIVE) MODIFIED ALLOWABLE AREA = 122,500 SF (S-1)
TOTAL AGGREGATE ACTUAL AREA = 36,329 SF
36,329 ≤ 122,500 = COMPLIES

EXISTING AND PROPOSED COMBINED PARKING DATA

PARKING REQUIRED:
COMBINED BUILDING AREA (B) = (E) 5,466 + (N) 2,465 = 7,931 SQ.FT.
COMBINED BUILDING AREA (S1 & S2) = (E) 9,215 + (N) 20,446 = 29,661 SQ.FT.

REQUIRED BY BUILDING AREA
SERVICE (S1 & S2): 1/2,000 SQ.FT. = 14.8 STALLS
BUSINESS (B): 1/2,000 SQ.FT. = 3.96 STALLS
TOTAL REQUIRED PARKING: = 19 STALLS (COMBINED)
(15A.80.030 ZONING DISTRICT PARKING REQUIREMENTS)

STANDARD PARKING: = 18 STALLS
ACCESSIBLE PARKING: = 1 STALL
TOTAL REQUIRED PARKING: = 19 STALLS (COMBINED)

PARKING PROVIDED:
EMPLOYEE PARKING: = 41 STALLS
ACCESSIBLE PARKING: = 6 STALLS
SERVICE/DISPLAY PARKING: = 61 STALLS
EVCS STANDARD: = 19 STALLS
EVCS ACCESSIBLE: = 1 STALL
EVCS ACCESSIBLE (VAN): = 1 STALL
CUSTOMER PARKING: = 5 STALLS
INVENTORY: = 14 + OPEN STALLS
TOTAL PROVIDED PARKING = 148 STALLS (COMBINED)

SHORT TERM BICYCLE PARKING = 1/10,000 SQ.FT. = 4 SPACES
LONG TERM BICYCLE PARKING = 1/20,000 SQ.FT. = 2 LOCKERS

REQUIRED EVCS CHARGING STATIONS (10%): 15 (18 PROVIDED)
(5/106.5.3.1 NUMBER OF REQUIRED EV SPACES)
(11B-812 1-4 EV STALLS REQUIRED) TO BE VAN ACCESSIBLE)

REQUIRED CLEAN AIR VEHICLE/CAR POOL (10-25): 1(1 PROVIDED)
(TABLE 18.76.050-1 CLEAN AIR PARKING SPACES FOR NONRESIDENTIAL USES)

REQUIRED ACCESSIBLE PARKING (10-25): 1 (6 PROVIDED)
(1 ACCESSIBLE VAN SPACE)

SERVICE EXPANSION PROPOSED PARKING DATA

PARKING REQUIRED:
PROPOSED BUILDING AREA (B) = 2,465 SQ.FT.
PROPOSED BUILDING AREA (S1 & S2) = 20,446 SQ.FT.

REQUIRED BY BUILDING AREA
SERVICE (S1 & S2): 1/2,000 SQ.FT. = 10.2 STALLS
BUSINESS (B): 1/2,000 SQ.FT. = 1.2 STALLS
TOTAL REQUIRED PARKING: = 12 STALLS
(15A.80.030 ZONING DISTRICT PARKING REQUIREMENTS)

STANDARD PARKING: = 11 STALLS
ACCESSIBLE PARKING: = 1 STALL
TOTAL REQUIRED PARKING: = 12 STALLS

PARKING PROVIDED:
EMPLOYEE PARKING: = 31 STALLS
ACCESSIBLE PARKING: = 3 STALLS
SERVICE/DISPLAY: = 48 STALLS
TOTAL PROVIDED PARKING = 82 STALLS

SHORT TERM BICYCLE PARKING = 1/10,000 SQ.FT. = 3 SPACES
LONG TERM BICYCLE PARKING = 1/20,000 SQ.FT. = 2 LOCKERS

REQUIRED EVCS CHARGING STATIONS (none): 0 (0 PROVIDED)
(5/106.5.3.1 NUMBER OF REQUIRED EV SPACES)
(11B-812 1-4 EV STALLS REQUIRED) TO BE VAN ACCESSIBLE)

REQUIRED CLEAN AIR VEHICLE/CAR POOL (10-25): 1(1 PROVIDED)
(TABLE 18.76.050-1 CLEAN AIR PARKING SPACES FOR NONRESIDENTIAL USES)

REQUIRED ACCESSIBLE PARKING (10-25): 1 (3 PROVIDED)
(1 ACCESSIBLE VAN SPACE)

COMBINED SITE PLAN NOTES

- EXISTING FENCE LINE TO REMAIN. NEW VINYL FENCING BY FREEDOM OUTDOOR LIVING DESIGN: FREEDOM EMBLEM COLOR: WHITE TO MATCH EXISTING SAN BRUNO HONDA SHOW ROOM AREA.
- EXISTING LANDSCAPE TO REMAIN
- EXISTING SIDEWALK TO REMAIN
- EXISTING SITE LIGHTS TO REMAIN PROTECTED IN PLACE
- ALL EXISTING LANDSCAPE AND CURBS TO REMAIN PROTECTED IN PLACE
- EXISTING CURB CUTS ONTO CRYSTAL SPRINGS AND EL CAMINO REAL TO REMAIN
- MEMORY LANE PROTECT IN PLACE
- ALL CUSTOMER PARKING TO REMAIN ON DEALERSHIP SIDE
- PROVIDE ONE (1) NEW TREE TO FILL GAP BETWEEN EXISTING TREES. NEW TREE SHALL MATCH EXISTING ADJACENT TREES IN SPECIES, SIZE, AND SPACING, UNLESS OTHERWISE APPROVED BY THE CITY.

Client:
Victory Automotive Group

DEMOLITION PERMIT SUBMITTAL

Project:
VICTORY HONDA DEALERSHIP EXPANSION

333 El Camino Real San Bruno, CA 94066

Project Number: 25002
Drawn By: Author
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COMBINED PROPOSED SITE PLAN

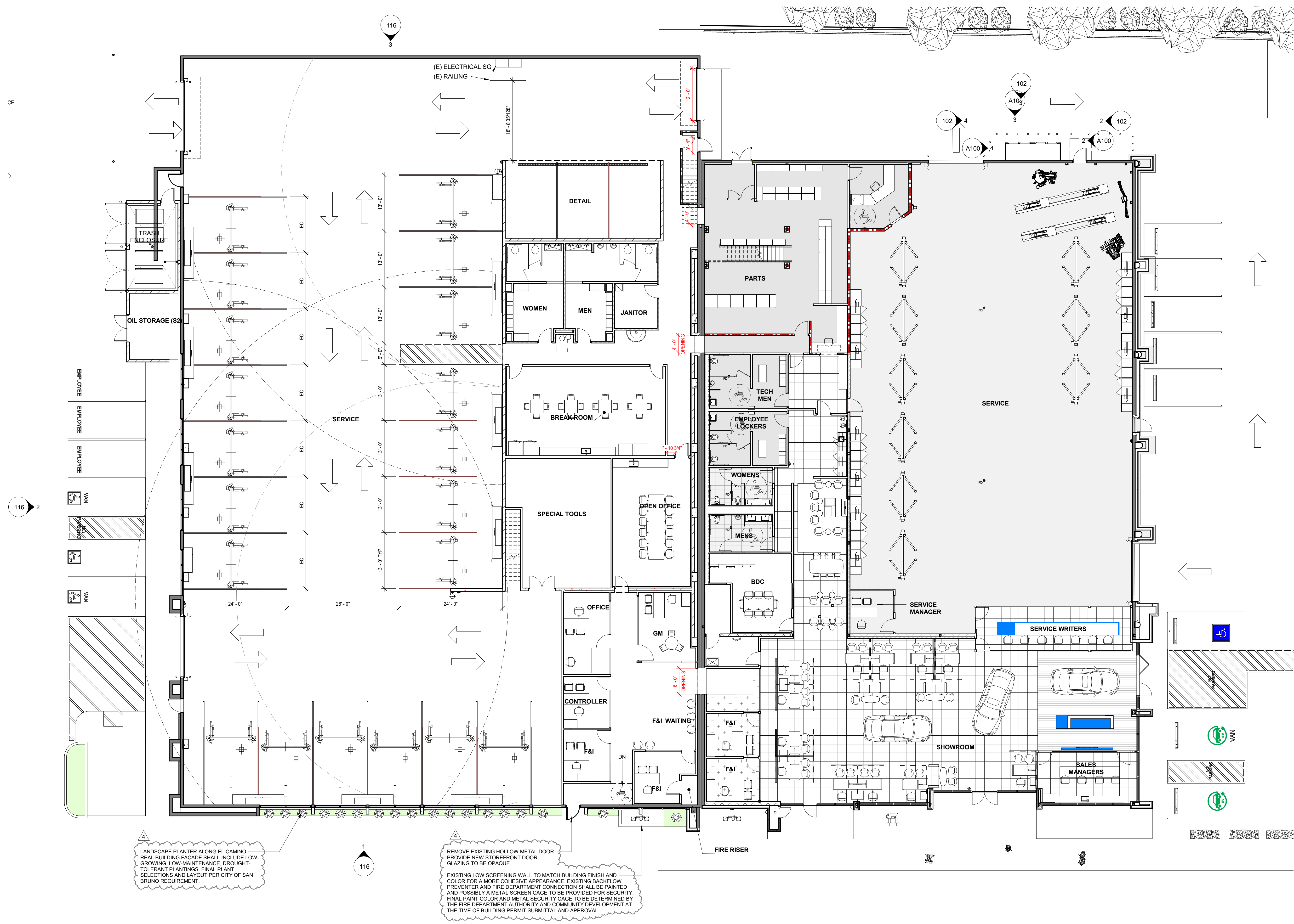
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4	04/23/26	PLANNING RE-SUB



LANDSCAPE PLANTER ALONG EL CAMINO REAL BUILDING FAÇADE SHALL INCLUDE LOW-GROWING, LOW-MAINTENANCE, DROUGHT-TOLERANT PLANTINGS. FINAL PLANT SELECTIONS AND LAYOUT PER CITY OF SAN BRUNO REQUIREMENT.

REMOVE EXISTING HOLLOW METAL DOOR. PROVIDE NEW STOREFRONT DOOR. GLAZING TO BE OPAQUE.

EXISTING LOW SCREENING WALL TO MATCH BUILDING FINISH AND COLOR FOR A MORE COHESIVE APPEARANCE. EXISTING BACKFLOW PREVENTER AND FIRE DEPARTMENT CONNECTION SHALL BE PAINTED AND POSSIBLY A METAL SCREEN CASE TO BE PROVIDED FOR SECURITY. FINAL PAINT COLOR AND METAL SECURITY CASE TO BE DETERMINED BY THE FIRE DEPARTMENT AUTHORITY AND COMMUNITY DEVELOPMENT AT THE TIME OF BUILDING PERMIT SUBMITTAL AND APPROVAL.

1 COMBINED FIRST FLOOR
3/32" = 1'-0"

Client:
Victory Automotive Group

DEMOLITION PERMIT SUBMITTAL

Project:
VICTORY HONDA DEALERSHIP EXPANSION

333 El Camino Real San Bruno, CA 94066

Project Number: 25002
Drawn By: Author
Checked By: Checker
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Sheet Title:
COMBINED PROPOSED PLAN

Sheet Number:
103

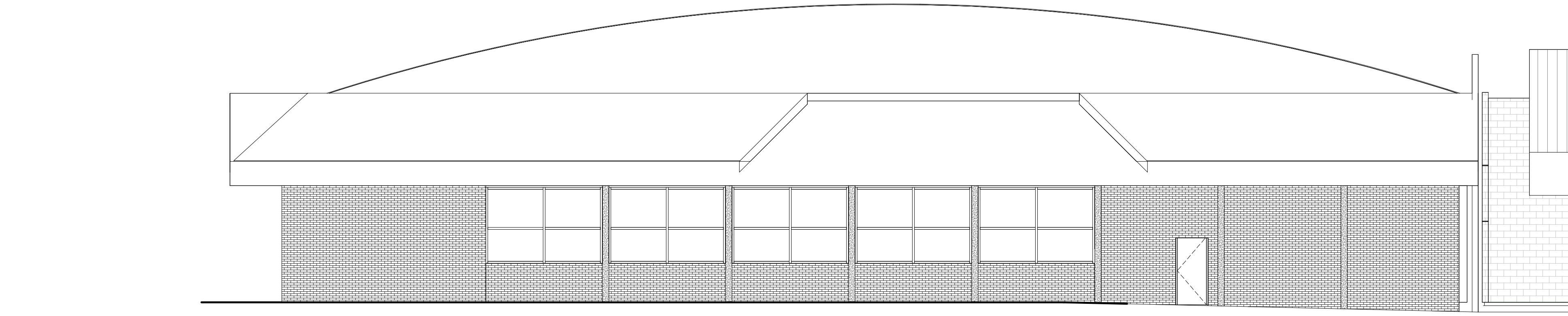


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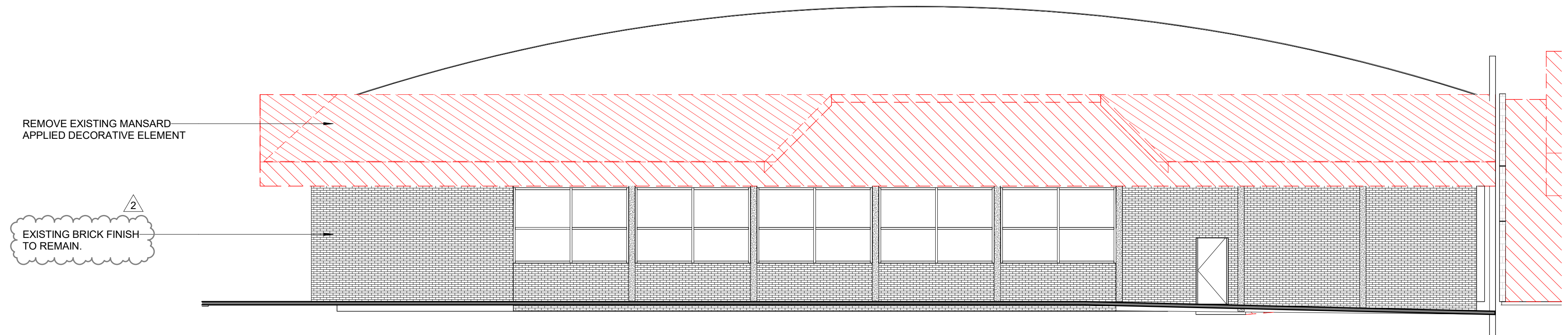
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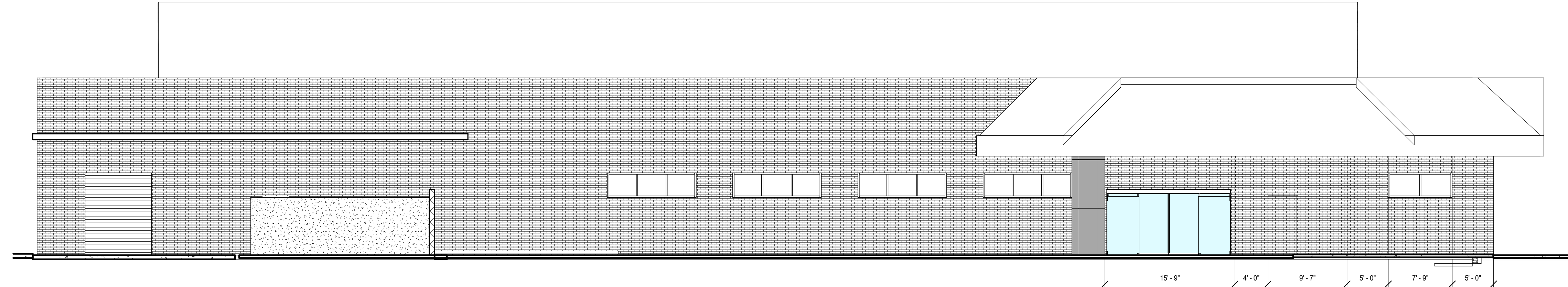
Rev	Date	Comments
1	01/22/26	PLANNING RE-SUB
4	04/22/26	PLANNING RE-SUB



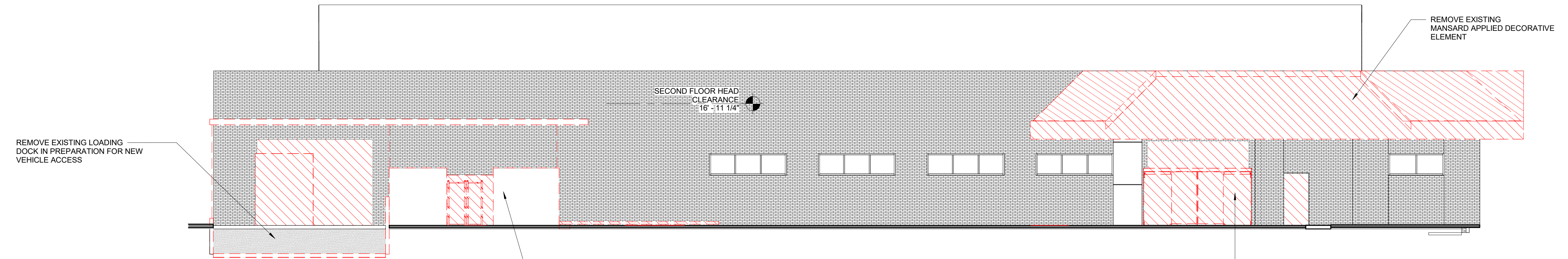
1
115
EXISTING SOUTHERN ELEVATION
1/8" = 1'-0"



2
115
SOUTHERN DEMO ELEVATION
1/8" = 1'-0"



3
115
EXISTING WESTERN ELEVATION
1/8" = 1'-0"



4
115
WESTERN DEMO ELEVATION
1/8" = 1'-0"

Client:
Victory Automotive Group

Project:
VICTORY HONDA DEALERSHIP EXPANSION
333 El Camino Real San Bruno, CA 94066

Project Number: 25002
Drawn By: Author
Checked By: Checker
Approved By: Approver

Sheet Title:
DEMO ELEVATIONS

Sheet Number:
115

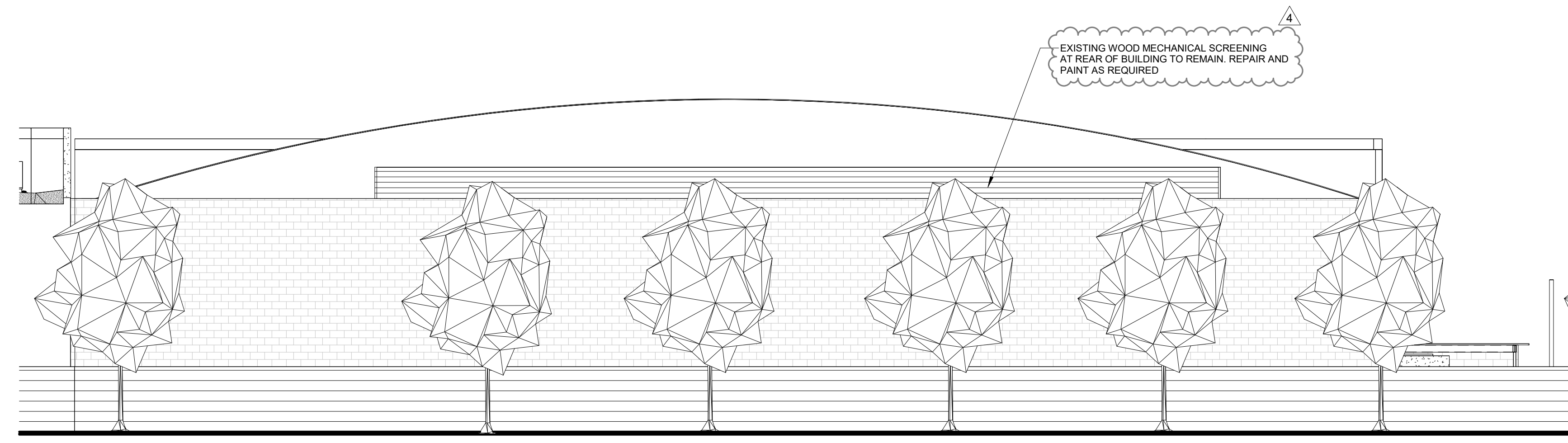


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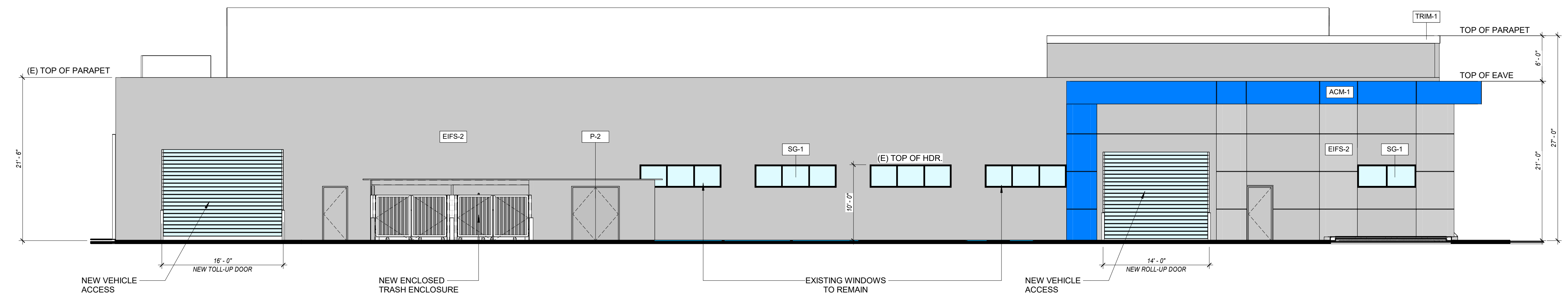
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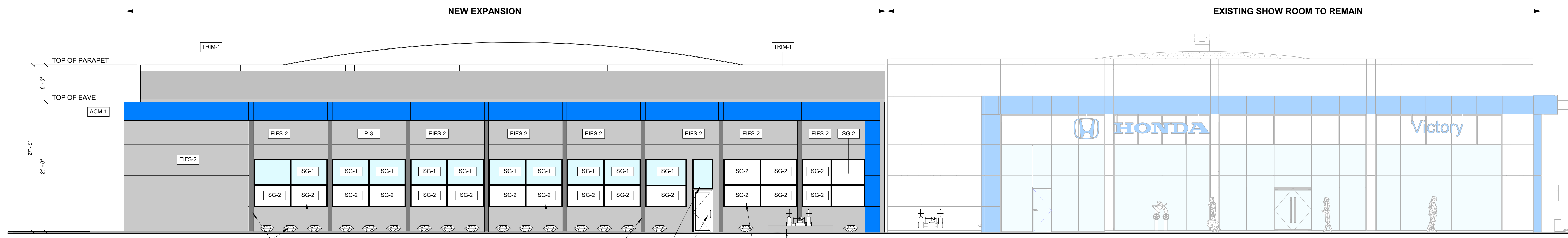
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4	04/23/26	PLANNING RE-SUB



3 EXISTING REAR BUILDING ELEVATION
116 1/8" = 1'-0"



2 PARKING LOT ELEVATION
116 1/8" = 1'-0"



LANDSCAPE PLANTER ALONG EL CAMINO REAL BUILDING FACADE SHALL INCLUDE LOW-GROWING, LOW-MAINTENANCE, DROUGHT-TOLERANT PLANTINGS. FINAL PLANT SELECTIONS AND LAYOUT PER CITY OF SAN BRUNO REQUIREMENT.

EXISTING EXTERIOR CONCRETE COLUMNS TO REMAIN

PROVIDE NEW STOREFRONT TRANSOM WINDOW ABOVE DOOR REMOVE EXISTING HOLLOW METAL DOOR. PROVIDE NEW STOREFRONT DOOR. GLAZING TO BE OPAQUE.

EXISTING LOW SCREENING WALL TO MATCH BUILDING FINISH AND COLOR FOR A MORE COHESIVE APPEARANCE. EXISTING BACKFLOW PREVENTER AND FIRE DEPARTMENT CONNECTION SHALL BE PAINTED AND POSSIBLY A METAL SCREEN CAGE TO BE PROVIDED FOR SECURITY. FINAL PAINT COLOR AND METAL SECURITY CAGE TO BE DETERMINED BY THE FIRE DEPARTMENT AUTHORITY AND COMMUNITY DEVELOPMENT AT THE TIME OF BUILDING PERMIT SUBMITTAL AND APPROVAL.

NEW SPANDREL WINDOWS TO MATCH EXISTING GLAZING TO BE OPAQUE.

1 EL CAMINO REAL ELEVATION
116 1/8" = 1'-0"

EXTERIOR FINISH MATERIAL LEGEND								
	CODE	MATERIAL	MANUFACTURER	PRODUCT	COLOR	TYPE	REMARKS	CONTACT
PAINT	P-1	EXTERIOR PAINT	BENJAMIN MOORE	PRODUCT: AURA EXTERIOR ACRYLIC LATEX PAINT	COLOR: OC-61 WHITE DIAMOND	FINISH: EXTERIOR FLAT & SEMI-GLOSS FOR DOORS		CONTACT: DOROTHY HAZINSKI AT BENJAMIN MOORE - (330) 353-3850
	P-2	EXTERIOR PAINT	BENJAMIN MOORE	PRODUCT: AURA EXTERIOR ACRYLIC LATEX PAINT	COLOR: HC-169 COVENTRY GRAY	FINISH: EXTERIOR FLAT & SEMI-GLOSS FOR DOORS	EXTERIOR WALLS, & PEMB PANELS, EXT DOORS	CONTACT: DOROTHY HAZINSKI AT BENJAMIN MOORE - (330) 353-3850
	P-3	EXTERIOR PAINT	BENJAMIN MOORE	PRODUCT: AURA EXTERIOR ACRYLIC LATEX PAINT	COLOR: TO MATCH SF-1 EQUITONE NATURA N281	FINISH: EXTERIOR FLAT & SEMI-GLOSS FOR DOORS	EXTERIOR COLUMNS	
EIFS, COPINGS & COMPOSITES	EIFS-1	EXTERIOR INSULATED FINISH SYSTEM	DRYVIT SYSTEMS, INC.	OUTSULATION PLUS MID EIFS, FINISH: SANDBLAST	COLOR: CUSTOM SUPER WHITE OVER FINESSE COLORANT: PROVIDE FOR HIGH PERFORMANCE COLORANT - DRYVIT "STATO TONE" COLOR TO MATCH P-1	FINISH: HDP FINESSE.		COMPANY: DRYVIT SYSTEMS INC. NAME: BOB DAZEL P: 734-276-0404 M: 734-700-0765 E: BOB.DAZEL@DRYVIT.COM W: WWW.DRYVIT.COM
	EIFS-2	EXTERIOR INSULATED FINISH SYSTEM	DRYVIT SYSTEMS, INC.	OUTSULATION PLUS MID EIFS, FINISH: SANDBLAST	COLOR: CUSTOM SUPER GRAY OVER FINESSE COLORANT: PROVIDE FOR HIGH PERFORMANCE COLORANT - DRYVIT "STATO TONE" COLOR TO MATCH P-2	FINISH: HDP FINESSE.		
	SF-1 (REF)	FIBER CEMENT PANELS	EQUITONE	NATURA LARGE FORMAT PANELS	COLOR: N281		LISTED FOR REFERENCE ONLY, FOR COLOR MATCHING P-3	
	TRIM-1	COPING METAL	ALPOLIC	ALPOLIC BREAK METAL	COLOR: TO MATCH ACM 2 - HWH WHITE			
COMPOSITE METAL PANELS	ACM-1	COMPOSITE METAL PANEL	ALPOLIC	PRODUCT: ALPOLIC FR	COLOR: HNB BLUE 4-HNB-50 LRV 16.78	3-COAT KYNAR 500 SYSTEM	EXTERIOR FACADE ACCENTS ALTERNATE CMP-1	DAVID J. KEARNEY, ALPOLIC - (757) 286-1005 ALISA BOLLINGER, ARCONIC ARCHITECTURAL PRODUCTS (478) 330-3600
	ACM-2	COMPOSITE METAL PANEL	ALPOLIC	-	COLOR: HWH WHITE 4-HWH-50 LRV 80.8	3-COAT KYNAR 500 SYSTEM	TOP BAND OF EXTERIOR WALL, VERTICAL "PLASTERS" ALTERNATE CMP-2	DAVID J. KEARNEY, ALPOLIC - (757) 286-1005 ALISA BOLLINGER, ARCONIC ARCHITECTURAL PRODUCTS (478) 330-3600
GLASS & STOREFRONT	SG-1	SPANDREL GLASS	-	-	CLEAR	-	EXTERIOR GLAZING, SEE FRAME ELEVATIONS	
	SG-2	SPANDREL GLASS	-	-	OPAQUE	-	EXTERIOR GLAZING, SEE FRAME ELEVATIONS	

Client:
Victory Automotive Group

DEMOLITION PERMIT SUBMITTAL

Project:
VICTORY HONDA DEALERSHIP EXPANSION

333 El Camino Real San Bruno, CA 94066

Project Number: 25002
Drawn By: Author
Checked By: Checker
Approved By: Approver

Sheet Title:
PROPOSED ELEVATIONS

Sheet Number:
116



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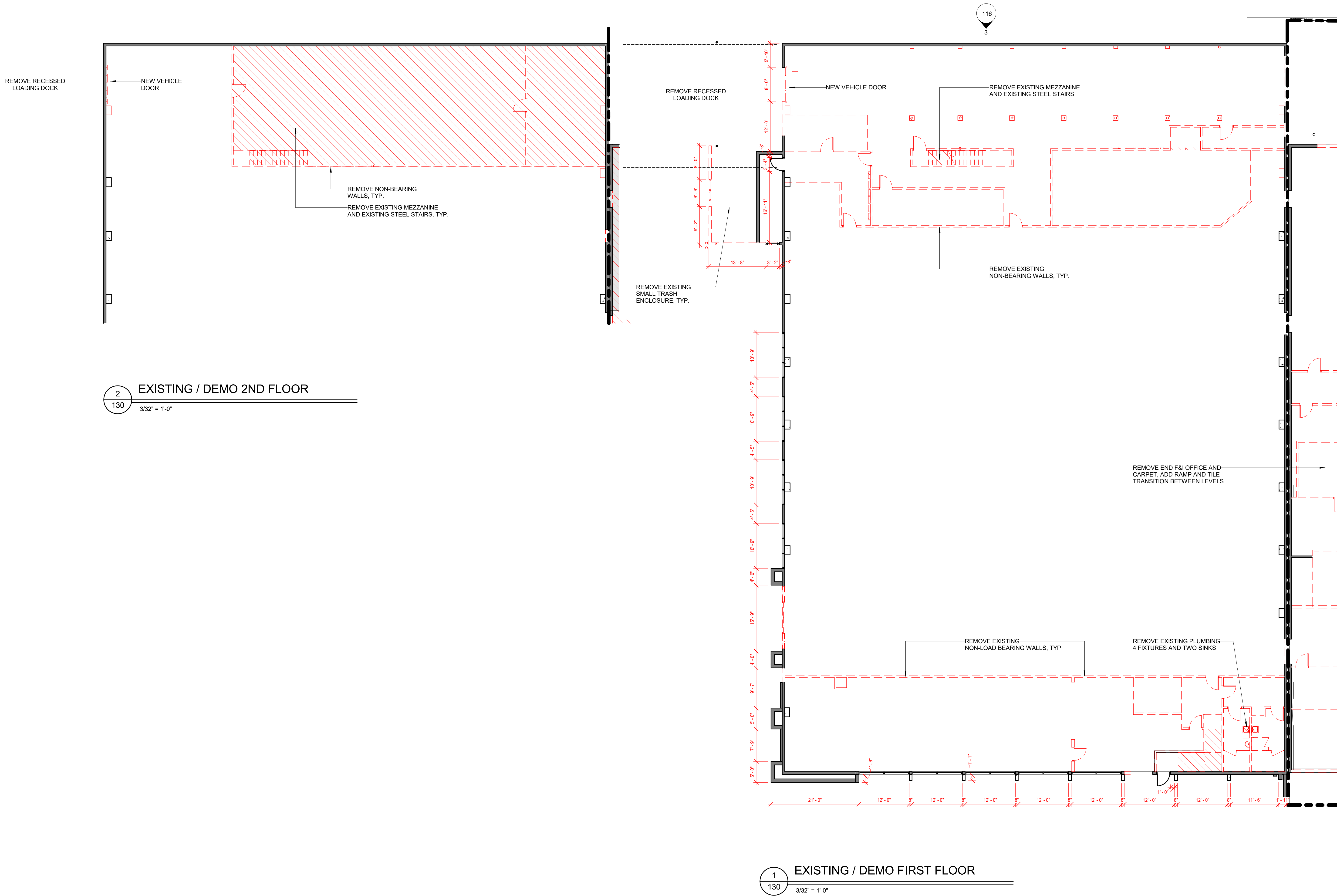
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1	01/22/26	PLANNING RE-SUB

DEMO PARTITION LEGEND	
	EXISTING PARTITION
	DEMOLISHED PARTITION



2 EXISTING / DEMO 2ND FLOOR
3/32" = 1'-0"

1 EXISTING / DEMO FIRST FLOOR
3/32" = 1'-0"

Client:
Victory Automotive Group

DEMOLITION PERMIT SUBMITTAL

Project:
VICTORY HONDA DEALERSHIP EXPANSION

333 El Camimo Real San Bruno, CA 94066

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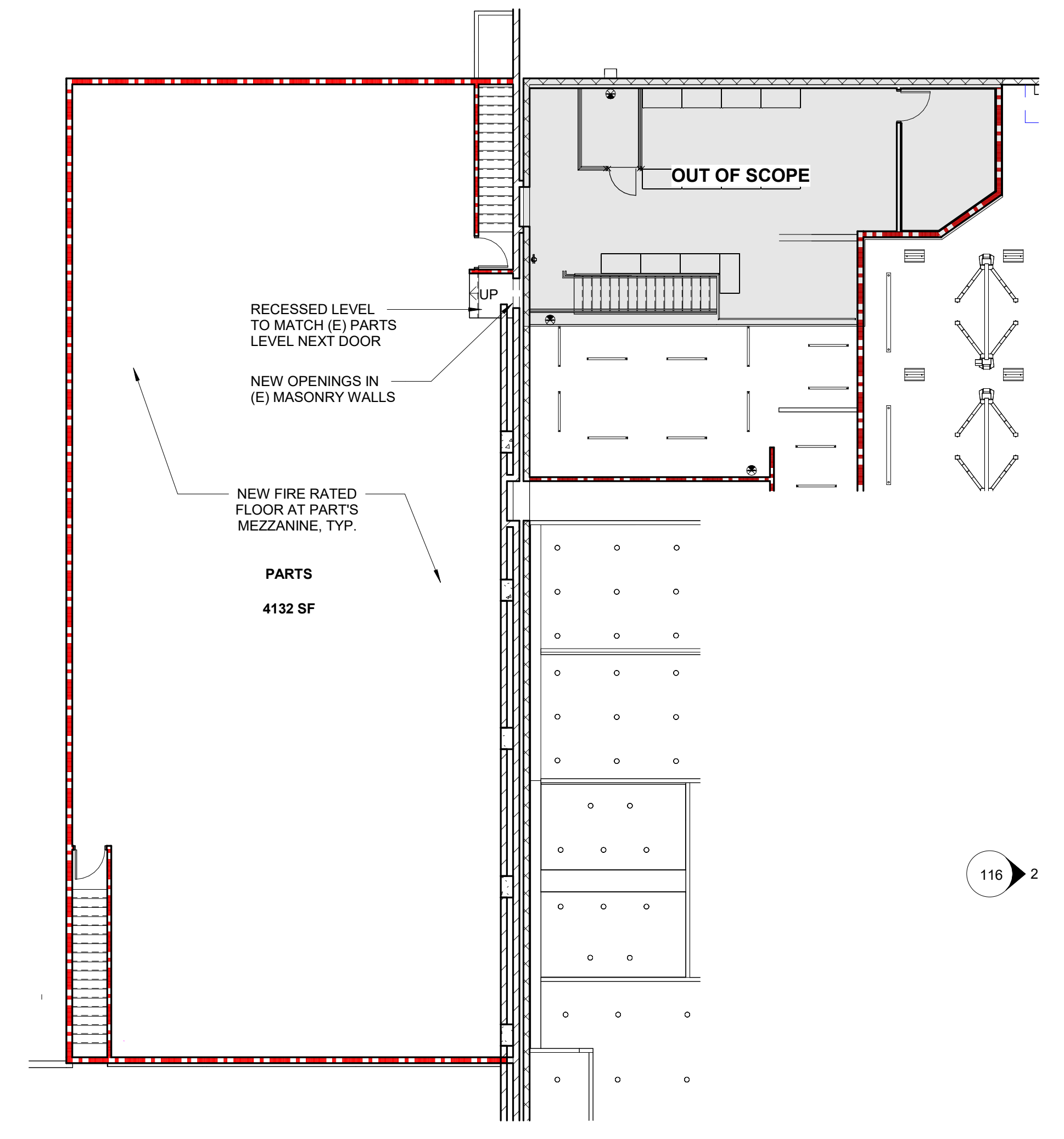
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EXISTING / DEMO PLAN

Sheet Number:
130

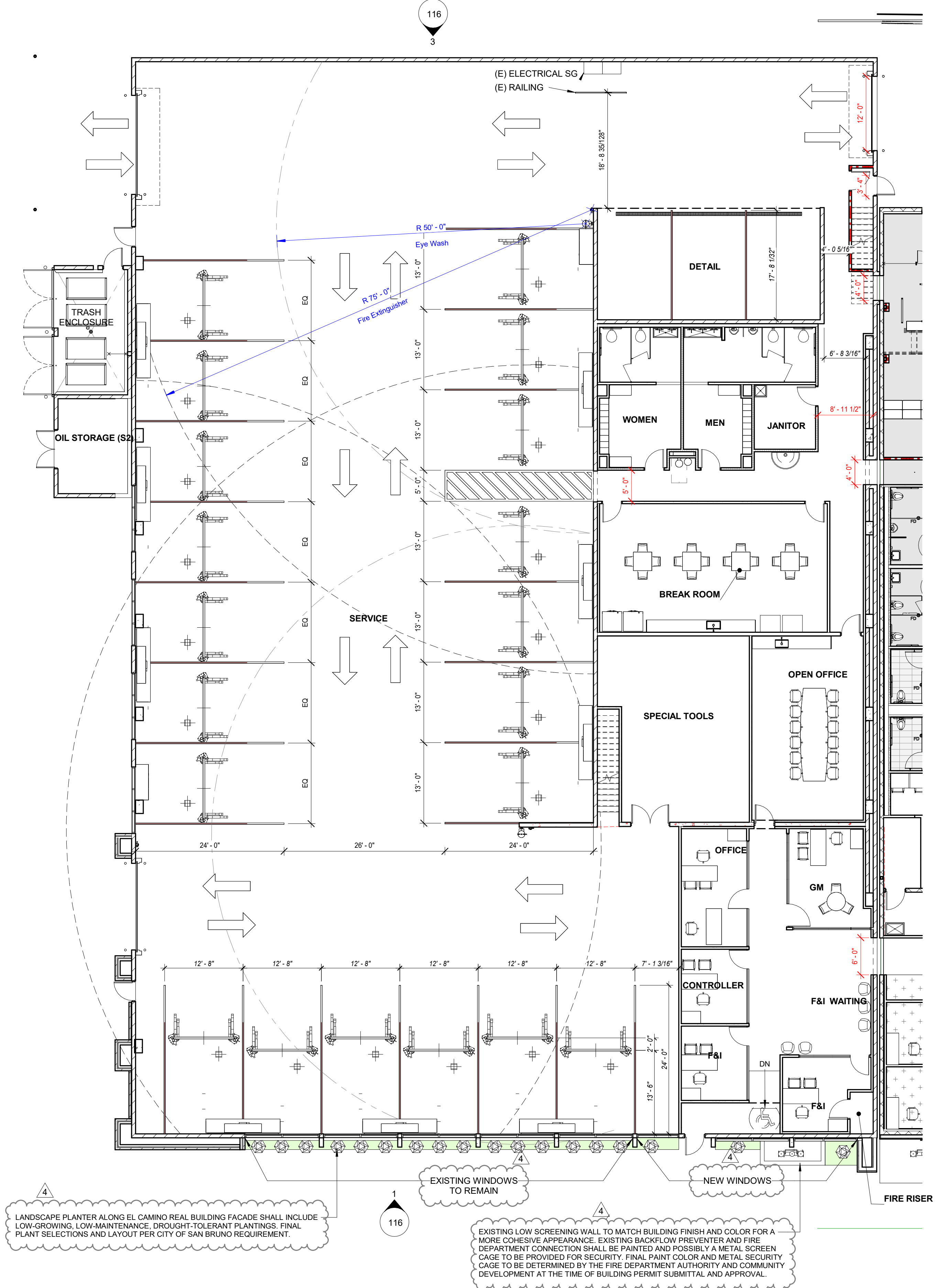


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Rev	Date	Comments
1	01/22/26	PLANNING RE-SUB
4	04/23/26	PLANNING RE-SUB



2
131
3/32" = 1'-0"
PROPOSED SECOND FLOOR PLAN



1
131
3/32" = 1'-0"
PROPOSED FIRST FLOOR PLAN

Client:
Victory Automotive Group

DEMOLITION PERMIT SUBMITTAL

Project:
VICTORY HONDA DEALERSHIP EXPANSION

333 El Camino Real San Bruno, CA 94066

Project Number: 25002
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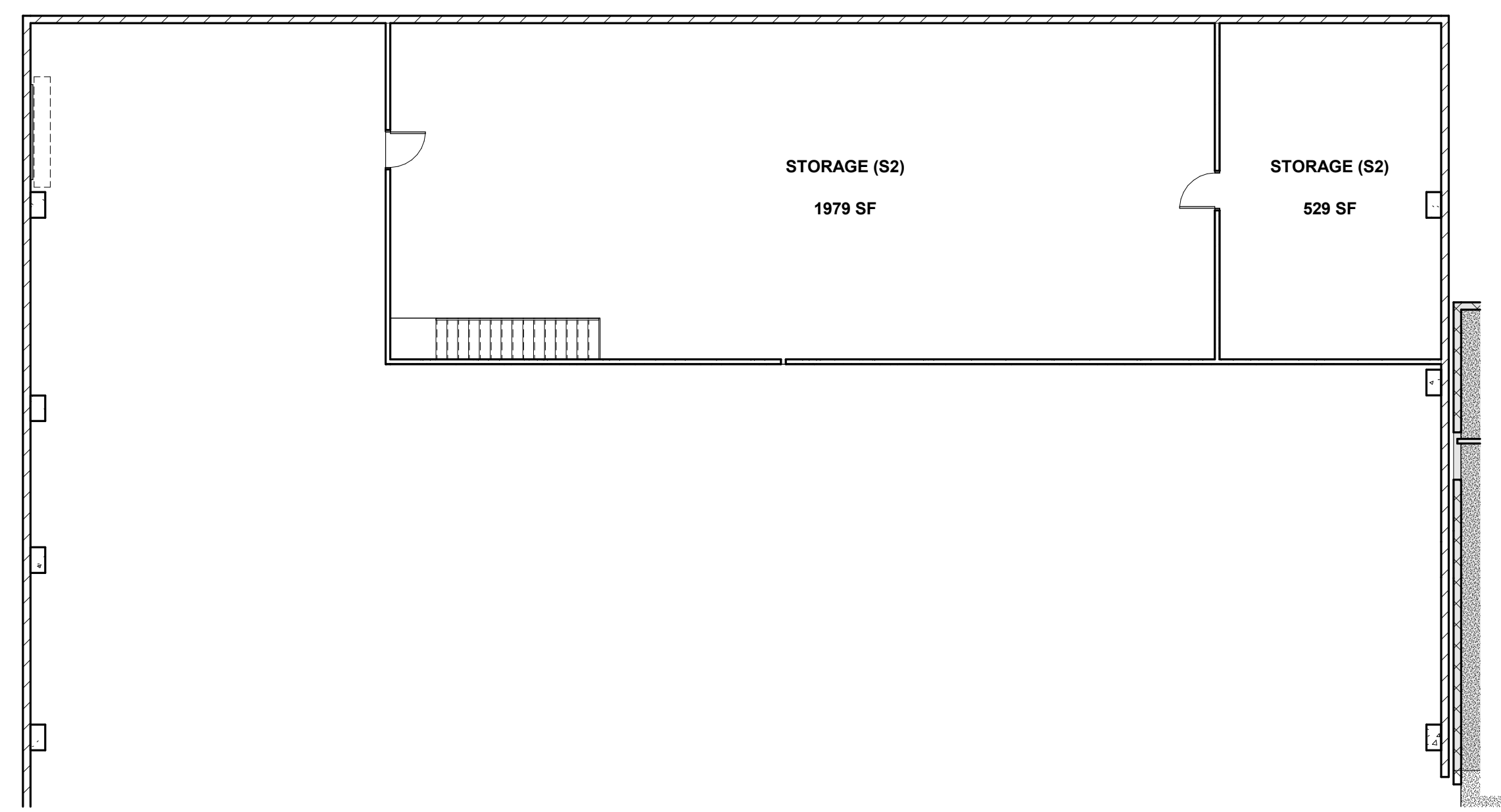
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PROPOSED FLOOR PLAN

Sheet Number:
131

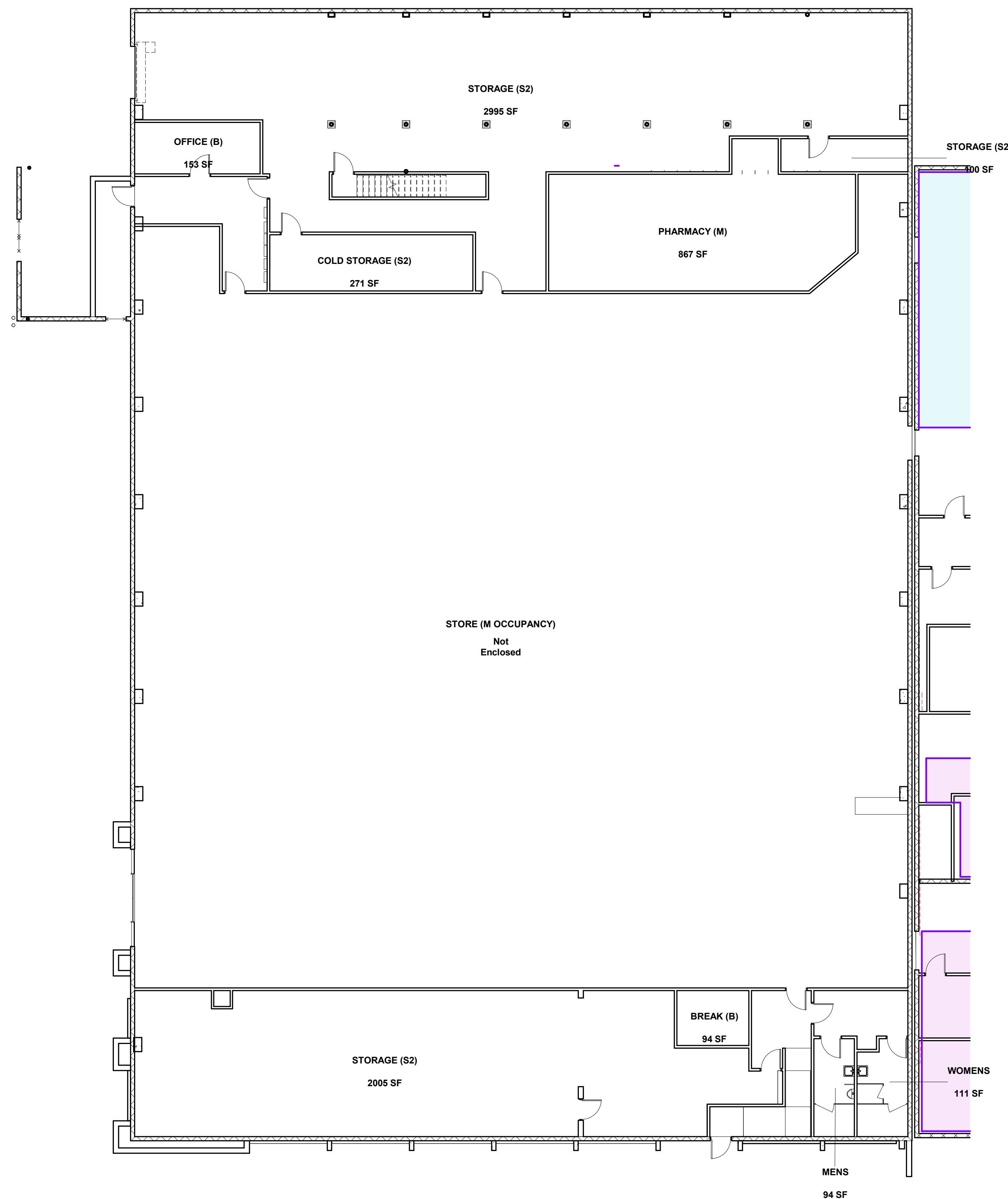


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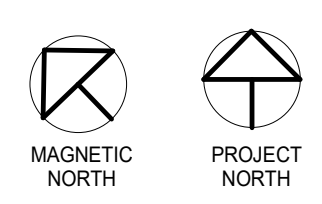
Rev	Date	Comments
1	01/22/26	PLANNING RE-SUB



2
132
EXISTING SECOND FLOOR AREA PLAN
3/32" = 1'-0"



1
132
EXISTING FIRST FLOOR AREA PLAN
3/32" = 1'-0"



Client:
Victory Automotive Group

DEMOLITION PERMIT SUBMITTAL

Project:
VICTORY HONDA DEALERSHIP EXPANSION

333 El Camino Real San Bruno, CA 94066

Project Number: 25002
Drawn By: Author
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Sheet Title:
EXISTING BUILDING CODE STUDY

Sheet Number:
132

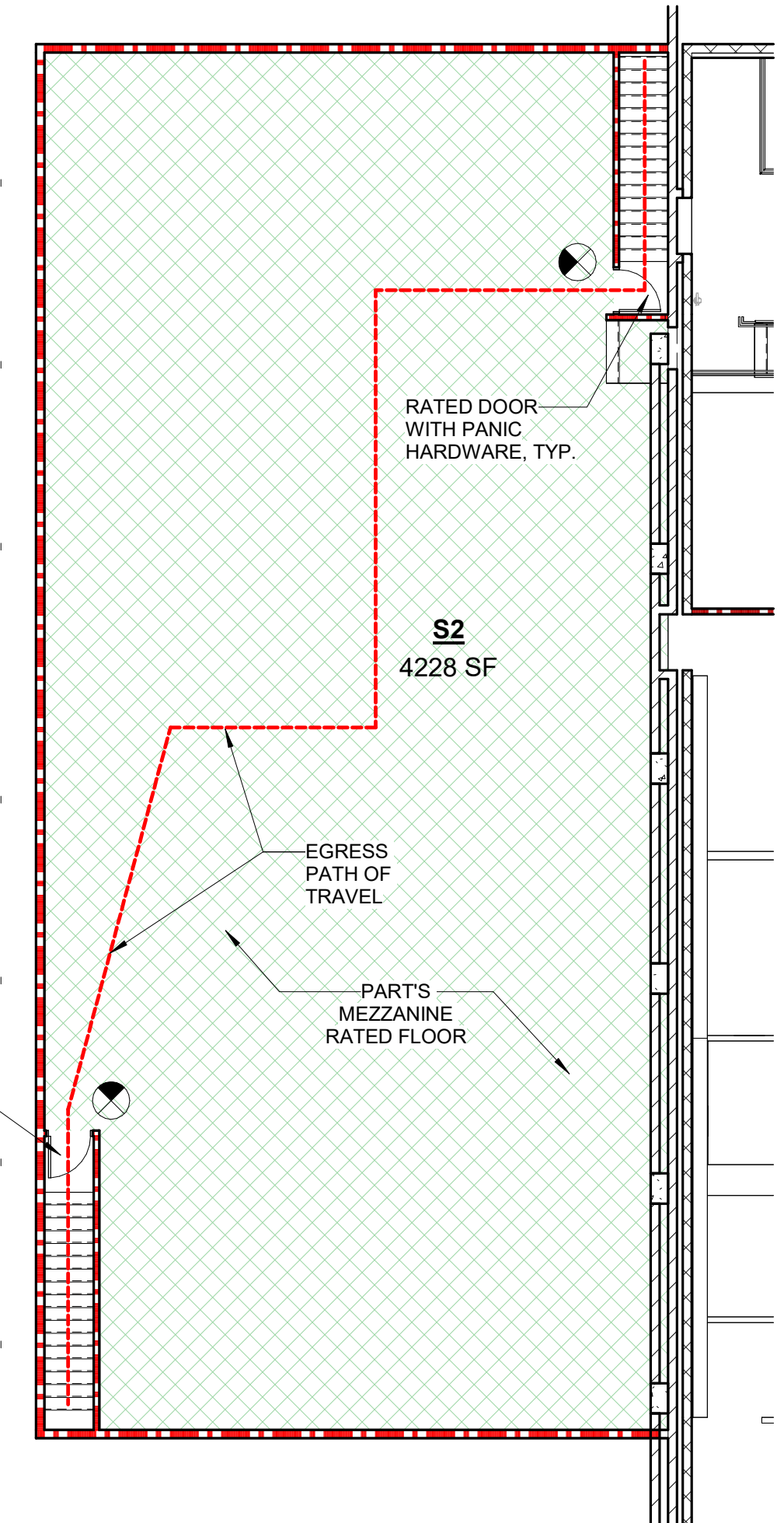


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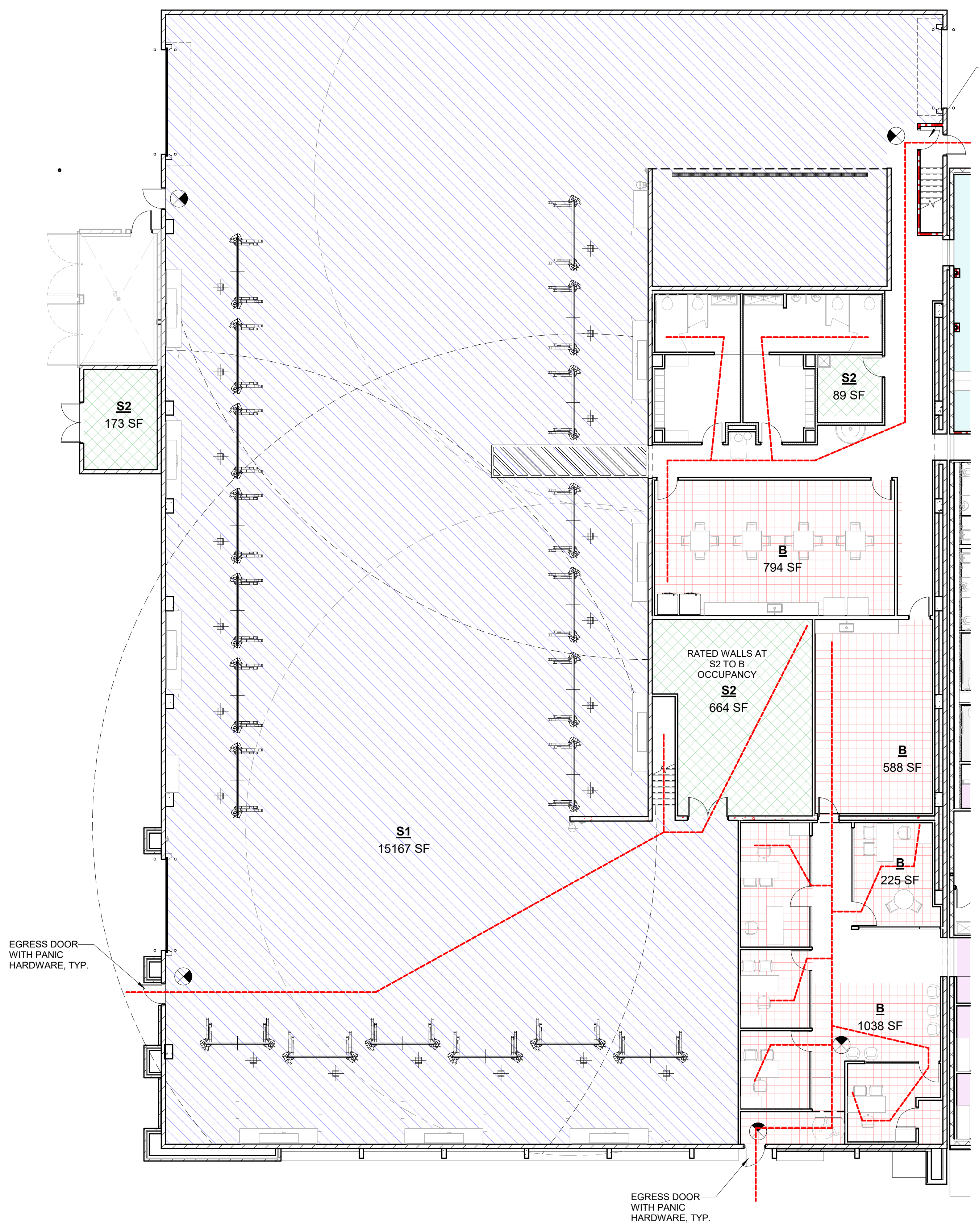
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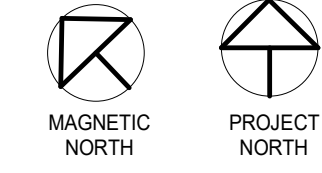
Rev	Date	Comments
1	01/22/26	PLANNING RE-SUB



2
133
PROPOSED SECOND FLOOR CODE PLAN
3/32" = 1'-0"



1
133
PROPOSED FIRST FLOOR CODE PLAN
3/32" = 1'-0"



BUILDING SQUARE FOOTAGE		
EXISTING AREA	21,433 SF	
REMOVED AREA	414 SF	
PROPOSED AREA ADDITION	5,804 SF	
TOTAL	26,623 SF	
PUBLIC	1,118 SF	SF INCLUDES RESTROOMS
STAFF	1,961 SF	
SERVICE (S1)	20,273 SF	
SERVICE (S2)	3,271 SF	
TOTAL	26,623 SF	

NEW AREA CODE SCHEDULE									
Floor	Area Name	Occupancy	Allowable Area	Frontage Increase (75%)	Modified Allowable Area	Area Shown	Area Ratio	Occupant Load	Total Occupants
First	Office	B	92000 SF	69000 SF	161000 SF	1038 SF	0.01	150	6.9
First	Office	B	92000 SF	69000 SF	161000 SF	588 SF	0.00	150	3.9
First	Breakroom	B	92000 SF	69000 SF	161000 SF	794 SF	0.00	150	5.3
First	Office	B	92000 SF	69000 SF	161000 SF	225 SF	0.00	150	1.5
First	Shop	S1	70000 SF	52500 SF	122500 SF	15167 SF	0.12	300	50.6
First	Parts	S2	104000 SF	78000 SF	182000 SF	664 SF	0.00	500	1.3
First	STORAGE	S2	104000 SF	78000 SF	182000 SF	89 SF	0.00	500	0.2
First	STORAGE	S2	104000 SF	78000 SF	182000 SF	173 SF	0.00	500	0.3
Second	Parts	S2	104000 SF	78000 SF	182000 SF	4228 SF	0.02	500	8.5
						22966 SF	0.17		78.5

APPLICABLE CODES	
SAN BRUNO, CALIFORNIA with Current Amendments	
2025	CALIFORNIA BUILDING CODE
2025	CALIFORNIA MECHANICAL CODE
2025	CALIFORNIA PLUMBING CODE
2025	CALIFORNIA ENERGY CONSERVATION CODE
2025	CALIFORNIA FIRE CODE
2025	CALIFORNIA FUEL GAS CODE
2025	NATIONAL ELECTRIC CODE
STATE ACCESSIBILITY REGULATIONS:	

2025 CBC SUMMARY	
ALLOWABLE BUILDING HEIGHT (TABLE 504.3 OCC B)	75'
BUILDING HEIGHT SHOWN	28'
ALLOWABLE STORIES (TABLE 504.4 OCC B)	4
NO. STORIES SHOWN	1
OCCUPANCY CLASSIFICATION	B, S1 AND S2
CONSTRUCTION TYPE	V-A
SPRINKLERED	YES
MEZZANINE	NO
ROOF COVERING FIRE CLASSIFICATION	EXISTING CLASS A
MINIMUM INTERIOR FINISH CLASS (TABLE 803.1.1)	
Exit Enclosures and Exit Passageways	Corridors
Rooms and Enclosed Spaces	
DISTANCE LIMITS:	
Common Path (Table 1006.2.1)	100'
Dead End (Section 1020.4)	50'
Exit Travel Distance (Table 1017.2)	300'
OCCUPANCY SEPARATIONS: (Table 508.4)	
B to S-1 = 0 hrs	
B to S-2 = 1 hrs	
S-2 to S-1 = 1 hrs	

PLUMBING COUNT PER 2025 CPC TABLE 422.1			
BUSINESS - (77.9 OCCUPANTS) 28 TOTAL 50/50 GENDER SPLIT = 39 MEN / 39 WOMEN			
WATER CLOSETS (WC)			
1 PER 25 OCCUPANTS FOR THE FIRST 50			
1 PER 50 OCCUPANTS THEREAFTER			
LAVATORIES			
1 PER 40 OCCUPANTS FOR THE FIRST 80			
1 PER 80 OCCUPANTS THEREAFTER			
URINALS (MEN'S ROOM)			
PER CPC UP TO 67% OF MEN'S WCS MAY BE SUBSTITUTED WITH URINALS			
WITH ONLY 1 WC REQUIRED, SUBSTITUTION IS NOT PRACTICAL HERE.			
DRINKING FOUNTAIN			
1 PER 100 OCCUPANTS			
FIXTURE COUNT SUMMARY (REQUIRED):			
FIXTURE TYPE	MEN	WOMEN	TOTAL
WATER CLOSETS	1	1	2
LAVATORIES	1	1	2
URINALS	1	0	1
DRINKING FOUNTAIN			1
FIXTURE COUNT SUMMARY (PROVIDED):			
FIXTURE TYPE	MEN	WOMEN	TOTAL
WATER CLOSETS	2	2	4
LAVATORIES	3	2	5
URINALS	2	0	2
DRINKING FOUNTAIN			2 (HIGH/LOW)
WASH FOUNTAIN SINK			1
PER CBC 118 - DRINKING FOUNTAINS TO BE HIGH/LOW			
1 HIGH FOR STANDING USER			
1 LOW FOR WHEELCHAIR USER			

Client:
Victory Automotive Group

DEMOLITION PERMIT SUBMITTAL

Project:
VICTORY HONDA DEALERSHIP EXPANSION

333 El Camino Real San Bruno, CA 94066

Project Number: 25002
Drawn By: Author
Checked By: Checker
Approved By: Approver

Sheet Title:
PROPOSED CODE STUDY

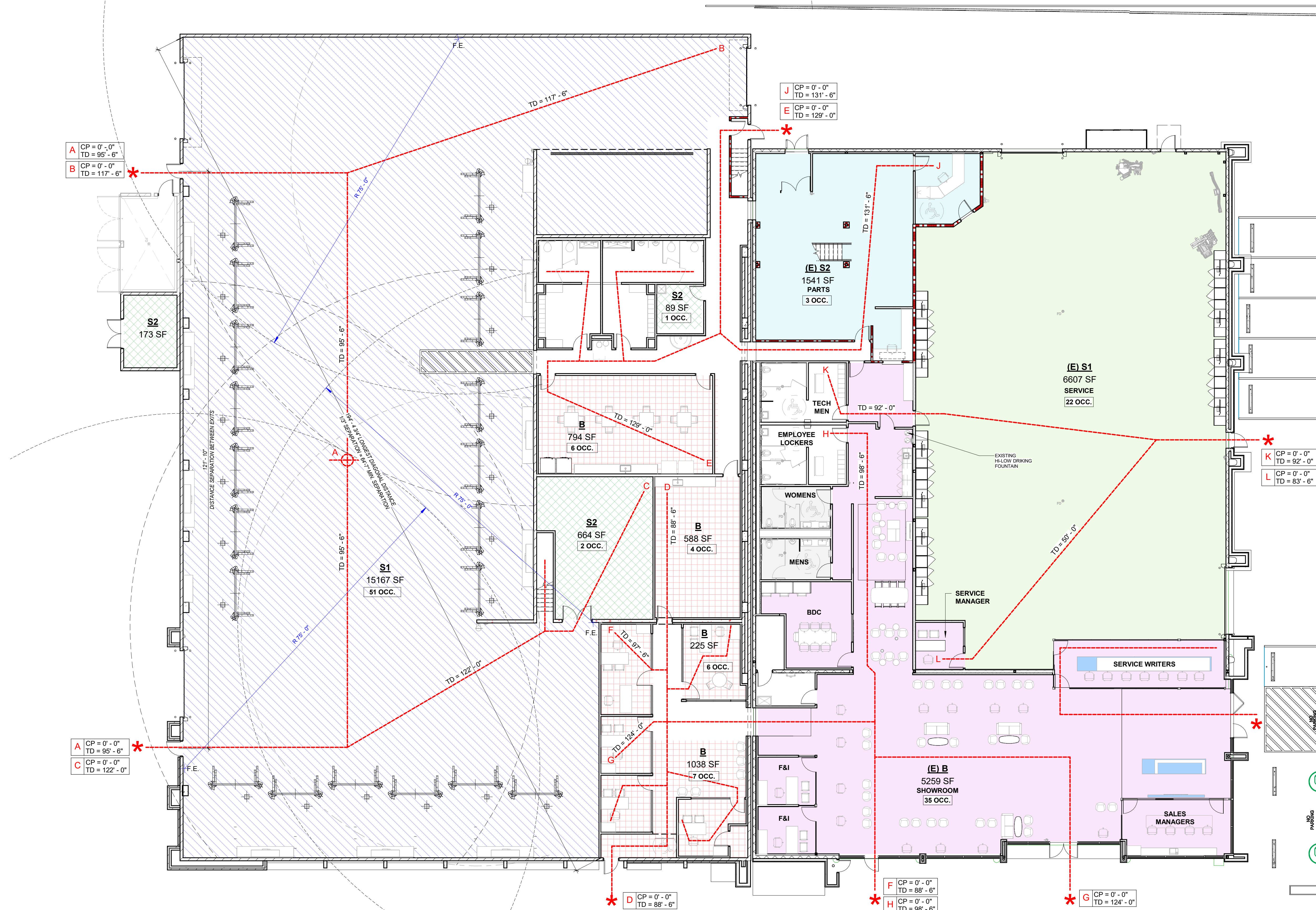
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Rev	Date	Comments
1	01/22/26	PLANNING RE-SUB
2	03/03/26	PLANNING RE-SUB



COMBINED AREA SCHEDULE

Floor	Area Name	Occupancy	Allowable Area	Frontage Increase (75%)	Modified Allowable Area	Area Shown	Area Ratio	Occupant Load	Total Occupants
First	Existing Showroom	(E) B	92000 SF	69000 SF	161000 SF	5259 SF	0.03	150	35.1
First	Existing Service	(E) S1	70000 SF	52500 SF	122500 SF	6607 SF	0.05	300	22.0
First	Breakroom	B	92000 SF	69000 SF	161000 SF	1541 SF	0.01	500	3.1
First	Office	B	92000 SF	69000 SF	161000 SF	1038 SF	0.01	150	6.9
First	Office	B	92000 SF	69000 SF	161000 SF	588 SF	0.00	150	3.9
First	Breakroom	B	92000 SF	69000 SF	161000 SF	794 SF	0.00	150	5.3
First	Office	B	92000 SF	69000 SF	161000 SF	225 SF	0.00	150	1.5
First	Shop	S1	70000 SF	52500 SF	122500 SF	15167 SF	0.12	300	50.6
First	Parts	S2	104000 SF	78000 SF	182000 SF	664 SF	0.00	500	1.3
First	STORAGE	S2	104000 SF	78000 SF	182000 SF	89 SF	0.00	500	0.2
First	STORAGE	S2	104000 SF	78000 SF	182000 SF	173 SF	0.00	500	0.3
Second	Parts	S2	104000 SF	78000 SF	182000 SF	4228 SF	0.02	500	8.5
						36373 SF	0.26		138.7

APPLICABLE CODES

SAN BRUNO, CALIFORNIA
with Current Amendments

2025 CALIFORNIA BUILDING CODE
2025 CALIFORNIA MECHANICAL CODE
2025 CALIFORNIA PLUMBING CODE
2025 CALIFORNIA ENERGY CONSERVATION CODE
2025 CALIFORNIA FIRE CODE
2025 CALIFORNIA FUEL GAS CODE
2025 NATIONAL ELECTRIC CODE

STATE ACCESSIBILITY REGULATIONS:

2025 CBC SUMMARY

ALLOWABLE BUILDING HEIGHT (TABLE 504.3 OCC B)	75'
BUILDING HEIGHT SHOWN	28'
ALLOWABLE STORES (TABLE 504.4 OCC B)	4
NO. STORES SHOWN	1
OCCUPANCY CLASSIFICATION	B, S1 AND S2
CONSTRUCTION TYPE	V-A
SPRINKLERED	YES
MEZZANINE	NO
ROOF COVERING FIRE CLASSIFICATION	EXISTING CLASS A
MINIMUM INTERIOR FINISH CLASS (table 803.11)	
Exit Enclosures and Exit Passageways	Corridors
Rooms and Enclosed Spaces	
DISTANCE LIMITS:	
Common Path (Table 1006.2.1)	100'
Dead End (Section 1020.4)	50'
Exit Travel Distance (Table 1017.2)	300'
OCCUPANCY SEPARATIONS: (Table 508.4)	
B to S-1 = 0 hrs	
B to S-2 = 1 hrs	
S-2 to S-1 = 1 hrs	

1 COMBINED PROPOSED FIRST FLOOR CODE STUDY

134 3/32" = 1'-0"

AGGREGATE BUILDING AREA STATEMENT (SINGLE BUILDING FOR CODE PURPOSES)

BUILDING AREA DETERMINATION: SINGLE BUILDING CBC CHAPTER 5: THE EXISTING STRUCTURE AND THE PROPOSED ADDITION ARE CONSIDERED ONE BUILDING FOR PURPOSES OF BUILDING AREA, HEIGHT, AND ALLOWABLE AREA LIMITATIONS IN ACCORDANCE WITH CBC CHAPTER 5. THE TOTAL BUILDING AREA USED FOR CODE ANALYSIS IS THE AGGREGATE OF ALL FLOOR AREAS WITHIN THE EXISTING BUILDING AND THE NEW ADDITION, MEASURED IN ACCORDANCE WITH CBC DEFINITIONS.

THE PROJECT IS TYPE V-A CONSTRUCTION AND FULLY SPRINKLERED (NFPA 13) WITH MIXED OCCUPANCIES B, S-1, AND S-2. ALLOWABLE BUILDING AREA HAS BEEN EVALUATED USING CBC TABLE 504.2 WITH APPLICABLE FRONTAGE AND SPRINKLER INCREASES. COMPLIANCE IS DEMONSTRATED USING THE MIXED-OCCUPANCY ALLOWABLE AREA METHOD, WHERE THE SUM OF THE RATIOS OF ACTUAL AREA TO ALLOWABLE AREA DOES NOT EXCEED 1.0.

THE TOTAL AGGREGATE BUILDING AREA IS WITHIN THE ALLOWABLE LIMITS FOR A SINGLE BUILDING. THEREFORE, THE EXISTING BUILDING AND ADDITION ARE PERMITTED TO BE TREATED AS ONE BUILDING FOR CODE PURPOSES.

TRAVEL DISTANCE PER CBC TABLE 1017.2 (EXIT ACCESS TRAVEL DISTANCE), WITH AN AUTOMATIC SPRINKLER EXISTING PER NFPA 13, ALLOWS THE INCREASED DISTANCES FOR A FULLY SPRINKLERED BUILDING (NFPA 13) WITH THE OCCUPANCIES:

GROUP B (BUSINESS): 300 FEET
GROUP S-1 (MODERATE-HAZARD STORAGE): 250 FEET
GROUP S-2 (LOW-HAZARD STORAGE): 300 FEET

MAXIMUM EXIT ACCESS TRAVEL DISTANCE

S-1 IS THE MOST RESTRICTIVE AT 250 FT.
MAXIMUM ALLOWABLE TRAVEL DISTANCE = 250 FEET

CBC SECTION 1007.1.1 - TWO EXITS OR EXIT ACCESS DOORWAYS REQUIRED FOR A FULLY SPRINKLERED BUILDING (NFPA 13)

WHEN TWO EXITS OR EXIT ACCESS DOORWAYS ARE REQUIRED, MINIMUM SEPARATION DISTANCE = 50% OF THE OVERALL DIAGONAL DIMENSION

ALLOWABLE AREA NARRATIVE (AGGREGATE SINGLE BUILDING - MIXED OCCUPANCY)

AGGREGATE AS A SINGLE BUILDING - ALLOWABLE AREA COMPLIANCE (CBC 2025)
THE EXISTING BUILDING AREAS AND PROPOSED AREAS SHOWN ARE TREATED AS ONE BUILDING FOR ALLOWABLE AREA PURPOSES. THE BUILDING IS TYPE V-A AND SPRINKLERED (NFPA 13), WITH MIXED OCCUPANCIES B, S-1, AND S-2. ALLOWABLE AREAS ARE TAKEN FROM CBC TABLE 504.2 FOR TYPE V-A AND MODIFIED BY THE FRONTAGE INCREASE (IF = 0.75), RESULTING IN MODIFIED ALLOWABLE AREAS OF 161,000 SF (B), 122,500 SF (S-1), AND 182,000 SF (S-2). BECAUSE THE BUILDING CONTAINS MULTIPLE OCCUPANCIES, COMPLIANCE IS DEMONSTRATED USING THE MIXED-OCCUPANCY AREA RATIO METHOD CONSISTENT WITH THE COMBINED AREA SCHEDULE, WHERE Σ(AI/AAL) ≤ 1.0.

BASED ON THE AREAS SHOWN, THE SUM OF AREA RATIOS = 0.26 ≤ 1.00, THEREFORE THE BUILDING COMPLIES WITH ALLOWABLE AREA LIMITATIONS AS A SINGLE BUILDING.

MIXED OCCUPANCY (AREA RATIO METHOD) - ALLOWABLE AREAS:

B: AT = 92,000 SF; FRONTAGE INCREASE (75%) = 69,000 SF → AAI = 161,000 SF
S-1: AT = 70,000 SF; FRONTAGE INCREASE (75%) = 52,500 SF → AAI = 122,500 SF
S-2: AT = 104,000 SF; FRONTAGE INCREASE (75%) = 78,000 SF → AAI = 182,000 SF

AGGREGATE ACTUAL AREAS BY OCCUPANCY (SUMMED FROM SCHEDULE)

B AREAS SHOWN: 5,259 + 893 + 553 + 794 + 210 = 7,612 SF
S-1 AREAS SHOWN: 6,607 + 15,160 + 21,797 SF
S-2 AREAS SHOWN: 1,541 + 889 + 89 + 173 + 4,228 = 6,720 SF

Final Area Ratio Table (Completed)	Occupancy	Modified Allowable Area, Aai (sf)	Actual Area, Ai (sf)	Ratio Ai/Aai
B	B	161,000	7,612	0.048
S-1	S-1	122,500	21,797	0.179
S-2	S-2	182,000	6,720	0.037
TOTAL			36,329	0.263

0.263 ≤ 1.0 = COMPLIES

CONSERVATIVE "SINGLE MOST RESTRICTIVE OCCUPANCY"

GOVERNING (MOST RESTRICTIVE) MODIFIED ALLOWABLE AREA = 122,500 SF (S-1)
TOTAL AGGREGATE ACTUAL AREA = 36,329 SF
36,329 ≤ 122,500 = COMPLIES

PLUMBING COUNT PER 2025 CPC TABLE 422.1

BUSINESS - (138) OCCUPANTS) 150 TOTAL 50/50 GENDER SPLIT = 70 MEN/ 70 WOMEN

WATER CLOSETS (WC)
1 PER 25 OCCUPANTS FOR THE FIRST 50
1 PER 50 OCCUPANTS THEREAFTER

LAVATORIES
1 PER 40 OCCUPANTS FOR THE FIRST 80
1 PER 80 OCCUPANTS THEREAFTER

URINALS (MEN'S ROOM)
PER CPC UP TO 80% SF MEN'S WCs MAY BE SUBSTITUTED WITH URINALS WITH ONLY 1 WC REQUIRED. SUBSTITUTION IS NOT PRACTICAL HERE.

DRINKING FOUNTAIN
1 PER 100 OCCUPANTS

FIXTURE COUNT SUMMARY (REQUIRED)

FIXTURE TYPE	MEN	WOMEN	TOTAL
WATER CLOSETS	2	2	4
LAVATORIES	2	0	2
URINALS	1	0	1
DRINKING FOUNTAIN	1	0	1

FIXTURE COUNT SUMMARY (PROVIDED)

FIXTURE TYPE	MEN	WOMEN	TOTAL
WATER CLOSETS	7	4	11
LAVATORIES	4	0	4
URINALS	4	0	4
DRINKING FOUNTAIN	1	0	1
WASH FOUNTAIN SINK	1	0	1

PER CPC 118 - DRINKING FOUNTAINS TO BE HIGH-LOW
1 HIGH FOR STANDING USER
1 LOW FOR WHEELCHAIR USER

Client:
Victory Automotive Group

DEMOLITION PERMIT SUBMITTAL

Project:
VICTORY HONDA DEALERSHIP EXPANSION

333 El Camino Real San Bruno, CA 94066

Project Number: 25002
Drawn By: Author
Checked By: Checker
Approved By: Approver

Sheet Title:

COMBINED PROPOSED CODE STUDY PLANS
Sheet Number:



Signed & Sealed:

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Rev	Date	Comments
4	04/23/26	PLANNING RE-SUB

Client:
Victory Automotive Group

DEMOLITION PERMIT
SUBMITTAL

Project:
VICTORY HONDA DEALERSHIP EXPANSION

333 El Camino Real San Bruno, CA 94066

Project Number: 25002
Drawn By: Author
Checked By: Checker
Approved By: Approver

Sheet Title:
EXTERIOR RENDERINGS

Sheet Number:
135

REFERENCED TITLE INSURANCE POLICY

TITLE COMPANY: FIRST AMERICAN TITLE INSURANCE COMPANY
TITLE REPORT NO.: NCS-1235366A-SM
ESCROW OFFICER: SHELLY SIEGMAN
TITLE REPORT DATE: MARCH 19, 2025
PROPERTY ADDRESS(ES): 333 AND 345 EL CAMINO REAL, SAN BRUNO, CA
TITLE VESTED IN: CAPPO PROPERTIES, LLC, A MICHIGAN LIMITED LIABILITY COMPANY
NATURE OF TITLE: A FEE AS TO PARCELS ONE, TWO, THREE; AND AN EASEMENT AS TO PARCEL FOUR.
ASSESSOR'S PARCEL NO.: 020-293-040 (AFFECTS PARCELS TWO)
020-276-290 (AFFECTS PARCEL THREE)
020-293-030 (AFFECTS PARCELS ONE & TWO)

PROPERTY DESCRIPTION

PARCEL ONE:
BEING A PORTION OF THE LANDS DESCRIBED IN THAT CERTAIN DEED, AS RESULTANT PARCEL "L", RECORDED MARCH 1, 2025 AS DOCUMENT NO. 2025-011887, OFFICIAL RECORDS OF SAN MATEO COUNTY, ALSO BEING A PORTION OF "UNCLE TOM'S PARK SUBDIVISION NO. 2", FILED FOR RECORD ON MARCH 20, 1940 IN VOLUME 22 OF MAPS AT PAGE 41, RECORDS OF SAID COUNTY, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE MOST NORTHERLY CORNER OF PARCEL TWO, AS SAID PARCEL IS DESCRIBED IN THAT CERTAIN GRANT DEED, RECORDED NOVEMBER 28, 2012 AS DOCUMENT NO. 2012-176986, OFFICIAL RECORDS OF SAID COUNTY; SAID CORNER ALSO BEING A POINT ON THE SOUTHWESTERLY LINE OF EL CAMINO REAL (STATE ROUTE 82), BEING 120.00 FEET IN WIDTH; THENCE FROM SAID POINT OF COMMENCEMENT ALONG SAID SOUTHWESTERLY LINE, SOUTH 29°26'30" EAST, 366.66 TO THE POINT OF BEGINNING OF THIS LEGAL DESCRIPTION; THENCE LEAVING SAID SOUTHWESTERLY LINE, SOUTH 60°33'30" WEST, 47.42 FEET TO A POINT ON THE NORTHWESTERLY LINE OF THAT CERTAIN 20-FOOT-WIDE STORM WATER DRAINAGE EASEMENT, AS SAID EASEMENT IS SHOWN SAID MAP (22 M 41);

THENCE ALONG SAID NORTHWESTERLY LINE, SOUTH 33°18'00" WEST, 100.59 FEET; THENCE CONTINUING ALONG SAID NORTHWESTERLY LINE, SOUTH 47°07'45" WEST, 50.94 FEET TO THE NORTHEASTERLY LINE OF THE LAND DESCRIBED IN THE DEED FROM M.L. FRUNLING, A SINGLE WOMAN, TO THE CITY OF SAN BRUNO, RECORDED SEPTEMBER 27, 1946, IN BOOK 1293 OF OFFICIAL RECORDS AT PAGE 385, RECORDS OF SAID COUNTY; THENCE ALONG SAID NORTHEASTERLY LINE, SOUTH 28°40'30" EAST, 103.21 FEET TO A POINT ON THE NORTHWESTERLY LINE OF CRYSTAL SPRINGS ROAD, BEING 50.00 FEET IN WIDTH, SAID POINT ALSO BEING THE BEGINNING OF A NON-TANGENT CURVE, CONCAVE TO THE NORTHWEST, HAVING A RADIUS OF 10.00 FEET, WITH A RADIAL LINE THAT BEARS SOUTH 28°40'30" EAST; THENCE NORTHEASTERLY ALONG SAID NORTHWESTERLY LINE AND SAID CURVE, THROUGH A CENTRAL ANGLE OF 14°33'13", FOR AN ARC LENGTH OF 2.54 FEET; THENCE NORTH 46°46'00" EAST, 167.22 FEET TO THE BEGINNING OF A TANGENT CURVE TO THE LEFT, HAVING A RADIUS OF 30.00 FEET; THENCE NORTHERLY ALONG SAID CURVE, THROUGH A CENTRAL ANGLE OF 78°12'30", FOR AN ARC LENGTH OF 39.90 FEET TO A POINT ON SAID SOUTHWESTERLY LINE OF EL CAMINO REAL; THENCE ALONG SAID SOUTHWESTERLY LINE, NORTH 29°26'30" WEST, 91.82 FEET TO THE POINT OF BEGINNING.

PARCEL TWO:
BEING A PORTION OF THE LANDS DESCRIBED IN THAT CERTAIN DEED, AS RESULTANT PARCEL "L", RECORDED MARCH 11, 2025 AS DOCUMENT NO. 2025-011887, OFFICIAL RECORDS OF SAN MATEO COUNTY, AS WELL AS ALL OF PARCELS ONE AND TWO, AS SAID PARCELS ARE DESCRIBED IN THAT CERTAIN GRANT DEED, RECORDED NOVEMBER 28, 2012 AS DOCUMENT NO. 2012-176986, OFFICIAL RECORDS OF SAID COUNTY, AND ALSO BEING A PORTION OF "UNCLE TOM'S PARK SUBDIVISION NO. 2", FILED FOR RECORD ON MARCH 20, 1940 IN VOLUME 22 OF MAPS AT PAGE 41, RECORDS OF SAID COUNTY, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE MOST NORTHERLY CORNER OF SAID PARCEL TWO (O.R. 2012-176986), SAID CORNER ALSO BEING A POINT ON THE SOUTHWESTERLY LINE OF EL CAMINO REAL (STATE ROUTE 82), BEING 120.00 FEET IN WIDTH; THENCE LEAVING SAID CORNER AND ALONG SAID SOUTHWESTERLY LINE, SOUTH 29°26'30" EAST, 366.66; THENCE LEAVING SAID SOUTHWESTERLY LINE, SOUTH 60°33'30" WEST, 47.42 FEET TO A POINT ON THE NORTHWESTERLY LINE OF THAT CERTAIN 20-FOOT-WIDE STORM WATER DRAINAGE EASEMENT, AS SAID EASEMENT IS SHOWN SAID MAP (22 M 41) THENCE ALONG SAID NORTHWESTERLY LINE, SOUTH 33°18'00" WEST, 100.59 FEET; THENCE CONTINUING ALONG SAID NORTHWESTERLY LINE, SOUTH 47°07'45" WEST, 50.94 FEET TO THE NORTHEASTERLY LINE OF THE LAND DESCRIBED IN THE DEED FROM M.L. FRUNLING, A SINGLE WOMAN, TO THE CITY OF SAN BRUNO, RECORDED SEPTEMBER 27, 1946, IN BOOK 1293 OF OFFICIAL RECORDS AT PAGE 385, RECORDS OF SAID COUNTY; THENCE ALONG SAID NORTHEASTERLY LINE, NORTH 28°40'30" WEST, 424.60 FEET TO THE MOST WESTERLY CORNER OF SAID PARCEL TWO (O.R. 2012-176986); THENCE LEAVING SAID CORNER AND ALONG THE NORTHWESTERLY LINE OF SAID PARCEL TWO, NORTH 60°33'30"EAST, 180.70 FEET TO THE POINT OF BEGINNING.

PARCEL THREE:
LOTS 6, 7, 8, 14, 15 AND 16 AS SHOWN ON THAT CERTAIN MAP ENTITLED "UNCLE TOM'S PARK SUBDIVISION NO. 2, SAN BRUNO, CALIFORNIA", FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN MATEO COUNTY, STATE OF CALIFORNIA ON MARCH 20, 1940 IN BOOK 22 OF MAPS AT PAGE 41.

EXCEPTING FROM SAID LOTS 6, 7 AND 8, THE SOUTHWESTERLY 10 FEET THEREOF AS DESCRIBED IN THE DEED TO THE CITY OF SAN BRUNO, DATED SEPTEMBER 3, 1946 AND RECORDED SEPTEMBER 27, 1946 IN BOOK 1293 OF OFFICIAL RECORDS, AT PAGE 385, RECORDS OF SAN MATEO COUNTY, CALIFORNIA.

PARCEL FOUR:
AN EASEMENT IN, THROUGH, OVER AND UPON A STRIP OF LAND 5 FEET WIDE AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

THE NORTHWESTERLY 5 FEET OF A 10 FOOT WIDE STRIP OF LAND LYING ADJACENT TO AND NORTHEASTERLY OF THE NORTHEASTERLY LINE OF LINDEN AVENUE, AS SAID LINDEN AVENUE IS DESIGNATED ON THE MAP ENTITLED "UNCLE TOM'S PARK SUBDIVISION NO. 2, SAN BRUNO, CALIFORNIA", FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN MATEO COUNTY, STATE OF CALIFORNIA ON MARCH 20, 1940 IN BOOK 22 OF MAPS, AT PAGE 41, BOUNDED ON THE NORTHWEST BY THE NORTHWESTERLY LINE OF LOT 6 AND THE SOUTHWEST BY A LINE 225 FEET DISTANT SOUTHWESTERLY FROM AND PARALLEL TO THE NORTHWESTERLY LINE OF LOT 9.

EXCEPTING THEREFROM SO MUCH AS LIES WITHIN THE AREA DESIGNATED WALK ON SAID MAP.

SAID EASEMENT IS FOR THE PURPOSES SET FORTH IN AND WAS CREATED BY DEED RECORDED APRIL 23, 1951 IN BOOK 2058 OF OFFICIAL RECORDS AT PAGE 86 (FILE NO. 31764-J), RECORDS OF SAN MATEO COUNTY, CALIFORNIA.
APN: 020-293-040, 020-293-030 AND 020-276-290

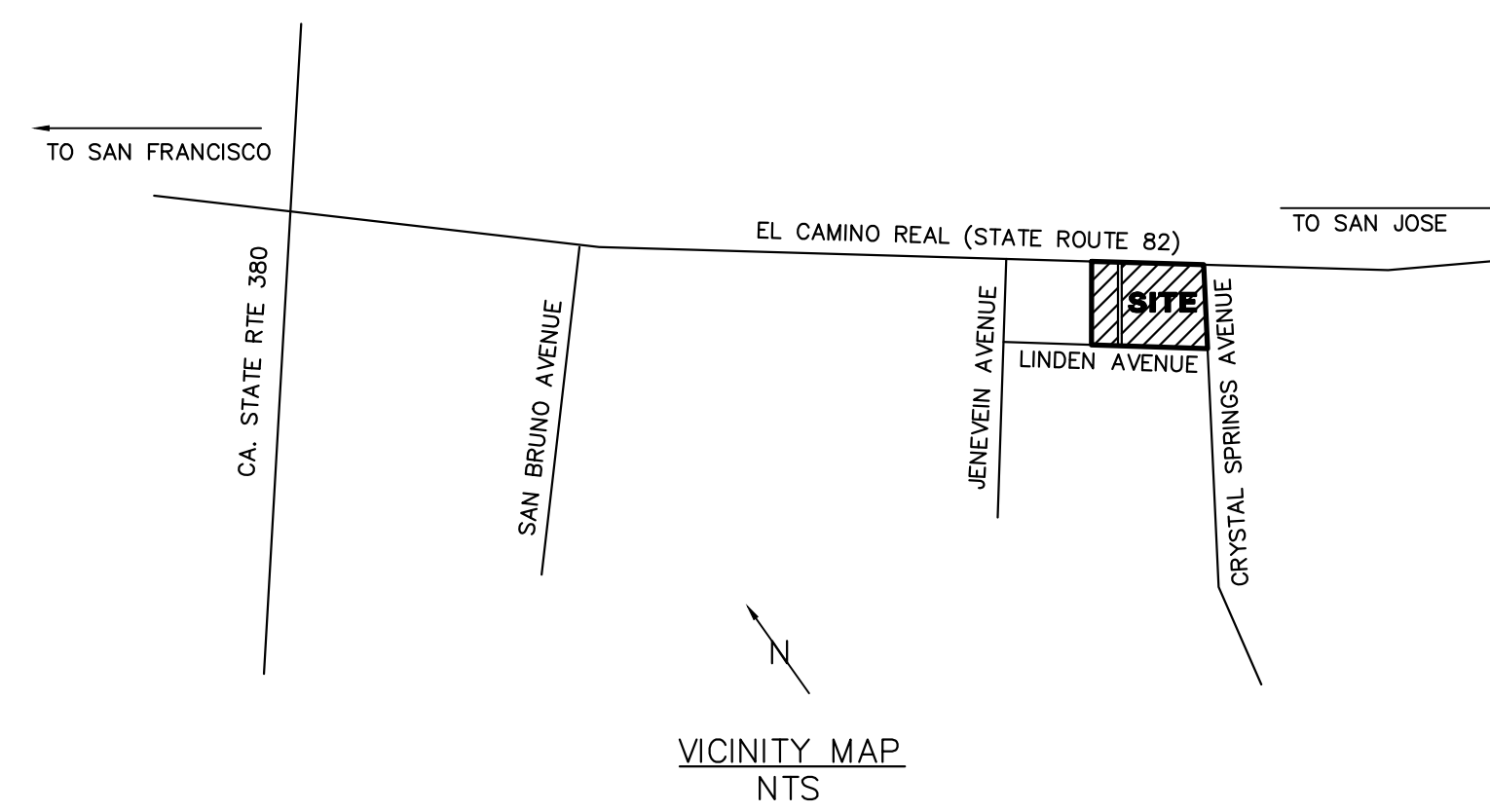
TABLE A ITEMS

- 1. PROPERTY CORNERS WERE SET JANUARY 14, 2026. A RECORD OF SURVEY IS BEING FILED WITH THE COUNTY OF SAN MATEO.
2. 333 & 345 EL CAMINO REAL, SAN BRUNO, CA
3. FLOOD ZONE X - AREAS OF MINIMAL FLOOD HAZARD PER FLOOD INSURANCE RATE MAP (FIRM) NO. 06081C0131F, COMMUNITY NO. 060326, PANEL 0131, SUFFIX F, WITH AN EFFECTIVE DATE OF APRIL 5, 2019.
&
FLOOD ZONE D - AREA OF UNDETERMINED FLOOD HAZARD PER FLOOD INSURANCE RATE MAP (FIRM) NO. 06081C0131F, COMMUNITY NO. 060326, PANEL 0131, SUFFIX F, WITH AN EFFECTIVE DATE OF APRIL 5, 2019.
4. PARCEL ONE: 21,075 SQ.FT.±
PARCEL TWO: 71,757 SQ.FT.±
PARCEL THREE: 26,646 SQ.FT.±
6(a). 333 EL CAMINO REAL
ZONING DESIGNATION: TOD2 - HIGH DENSITY MIXED-USE DISTRICT
345 EL CAMINO REAL
ZONING DESIGNATION: TOD2 - HIGH DENSITY MIXED-USE
ZONING INFORMATION WAS TAKEN FROM ZONING REPORT PREPARED BY PARTNER, PROJECT NUMBER 24-457584.4, DATED DECEMBER 4, 2024 (REVISED DECEMBER 9, 2024).
333 EL CAMINO REAL
MIN. FRONT YARD SETBACK: 5 FEET, 10 FEET AVERAGE
MIN. STREET SIDE YARD SETBACK: 5 FEET
MIN. INTERIOR SIDE YARD SETBACK: NONE REQUIRED
MIN. REAR YARD SETBACK: NONE, ADJACENT TO RESIDENTIAL
R-1/R-2: 10 FEET
FACING CORRIDOR STREET: 15 FEET ABOVE 4TH STORY
MINIMUM STEPBACK: ADJACENT TO RESIDENTIAL R-1/R-2: 15 FEET ABOVE 3RD STORY
MIN: NON REQUIRED
MAX: 70 FEET
BUILDING HEIGHT: MIN: NON REQUIRED
MAX: 70 FEET
BUILDING HEIGHT IN STORIES: MIN: NONE
MAX: 5 STORIES
PARKING FOR GENERAL RETAIL: 1 SPACE PER 300 SQUARE FEET OF FLOOR AREA
ZONING INFORMATION WAS TAKEN FROM ZONING REPORT PREPARED BY PARTNER, PROJECT NUMBER 24-457584.2, DATED AUGUST 9, 2024 (REVISED NOVEMBER 8, 2024).
345 EL CAMINO REAL
MIN. FRONT YARD SETBACK: 5 FEET, 10 FEET AVERAGE
MIN. STREET SIDE YARD SETBACK: 5 FEET
MIN. SIDE/REAR YARD SETBACK: NONE, ADJACENT TO RESIDENTIAL R-1/R-2: 10 FEET
FACING CORRIDOR STREET: 15 FEET ABOVE 4TH STORY
ADJACENT TO RESIDENTIAL R-1/R-2: 15 FEET ABOVE 3RD STORY
5 STORIES/ 70 FEET
MINIMUM STEPBACK: ADJACENT TO RESIDENTIAL R-1/R-2: 15 FEET ABOVE 3RD STORY
MIN. BUILDING HEIGHT: 5 STORIES/ 70 FEET
ZONING INFORMATION WAS TAKEN FROM ZONING REPORT PREPARED BY PARTNER, PROJECT NUMBER 24-457584.4, DATED DECEMBER 4, 2024 (REVISED DECEMBER 9, 2024).
EXTERIOR DIMENSIONS OF THE BUILDING WERE TAKEN ALONG THE EXTERIOR FOOTPRINT OF THE BUILDING ENVELOPE AT GROUND LEVEL AND ARE SHOWN TO THE NEAREST 0.1 FOOT.
BUILDING SQUARE FOOTAGE WAS CALCULATED BASED ON THE EXTERIOR FOOTPRINT OF THE BUILDING ENVELOPE AT GROUND LEVEL.
MEASURED HEIGHT OF ALL BUILDINGS ABOVE GRADE ARE SHOWN ON SHEET 2.
IMPROVEMENTS AND FEATURES OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK ARE SHOWN ON THE SURVEY.
333 EL CAMINO REAL - PARKING COUNT: STANDARD: 65 STALLS
ACCESSIBLE: 3 STALLS
EV CHARGING: 1 STALLS
TOTAL: 69 STALLS
345 EL CAMINO REAL - PARKING COUNT: STANDARD: 29 STALLS*
THE PARKING COUNT FOR THIS SITE IS VERY APPROXIMATE AND SHOULD NOT BE RELIED UPON FOR ZONING REQUIREMENTS. ON THE DAY OF THE FIELD SURVEY THERE WAS EXTENSIVE SITE CONSTRUCTION TAKING PLACE THAT BOTH CAUSED PARKING SPACES TO BE COVERED OR PARTIALLY REMOVED. THERE ARE ALSO QUITE A FEW AREAS WHERE THE PARKING STRIPING IS VERY LIGHT.
10. NO DIVISION OR PARTY WALLS WERE DESIGNATED BY THE CLIENT PRIOR TO THE FIELD SURVEY.
13. NAMES OF ADJOINING OWNERS ACCORDING TO CURRENT TAX RECORDS ARE SHOWN ON MAP ON SHEET 2.
14. SHEET MAP ON SHEET 2 FOR NEAREST DISTANCE TO INTERSECTING STREET.
16. THERE WAS OBSERVED EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS ON THE DAY OF THE FIELD SURVEY.
17. THERE WAS NO OBSERVED EVIDENCE OF PROPOSED CHANGES TO RIGHT OF WAY LINES ON DATE OF THE FIELD SURVEY.
18. EASEMENTS DISCLOSED IN DOCUMENTS PROVIDED TO THE SURVEYOR THAT AFFECT THE SUBJECT SITES ARE SHOWN ON THE SURVEY.
19. PROFESSIONAL LIABILITY INSURANCE POLICY OBTAINED BY THE SURVEYOR IN THE MINIMUM AMOUNT OF \$1,000,000.00 TO BE IN EFFECT THROUGHOUT THE CONTRACT TERM. CERTIFICATE OF INSURANCE TO BE FURNISHED UPON REQUEST.

EXCEPTIONS TO COVERAGE

- 1. GENERAL AND SPECIAL TAXES AND ASSESSMENTS FOR THE FISCAL YEAR 2025-2026, A LIEN NOT YET DUE OR PAYABLE.
NOT A SURVEY ITEM.
2. THE LIEN OF SUPPLEMENTAL TAXES, IF ANY, ASSESSED PURSUANT TO CHAPTER 3.5 COMMENCING WITH SECTION 75 OF THE CALIFORNIA REVENUE AND TAXATION CODE, NONE YET DUE AND PAYABLE AS OF DATE OF POLICY.
NOT A SURVEY ITEM.
3. AN EASEMENT SHOWN OR DEDICATED ON THE MAP OF UNCLE TOM'S PARK SUBDIVISION NO. 2 RECORDED MARCH 20, 1940 AND ON FILE IN BOOK 22, PAGE(S) 41, OF OFFICIAL MAPS.
FOR: BUILDING SETBACK AND INCIDENTAL PURPOSES.
THE LOCATION OF THE EASEMENT CANNOT BE DETERMINED FROM RECORD INFORMATION.
THE 10' PUBLIC WALK SHOWN ON 22 M 41 APPEARS TO HAVE BEEN DEDICATED TO, AND ACCEPTED BY, THE CITY OF SAN BRUNO IN FEE. SEE SHEET 2 FOR LOCATION OF SAID WALK.
4. AN EASEMENT FOR PUBLIC PEDESTRIAN WALK AND INCIDENTAL PURPOSES, RECORDED NOVEMBER 28, 1950 AS INSTRUMENT NO. 2103-J IN BOOK/REEL 1982, PAGE/IMAGE 685 OF OFFICIAL RECORDS.
IN FAVOR OF: CITY OF SAN BRUNO, A MUNICIPAL CORPORATION
AFFECTS: AS DESCRIBED THEREIN
PLOTTED, SHOWN ON SHEET 2.
5. AN EASEMENT FOR FENCING AND INCIDENTAL PURPOSES, RECORDED APRIL 23, 1951 AS INSTRUMENT NO. 31764-J IN BOOK 2058, PAGE 86 OF OFFICIAL RECORDS.
IN FAVOR OF: SAFEWAY STORES, INCORPORATED, A MARYLAND CORPORATION
AFFECTS: AS DESCRIBED THEREIN AND THE TERMS AND CONDITIONS CONTAINED THEREIN
PLOTTED, SHOWN ON SHEET 2.
6. A WAIVER OF ANY CLAIMS FOR DAMAGES BY REASON OF THE LOCATION, CONSTRUCTION, LANDSCAPING OR MAINTENANCE OF THE CONTIGUOUS FREEWAY, HIGHWAY OR ROADWAY, AS CONTAINED IN THE DOCUMENT RECORDED NOVEMBER 3, 1961 AS INSTRUMENT NO. 11306-U IN BOOK 4086, PAGE 377 OF OFFICIAL RECORDS.
NOT A SURVEY ITEM.
7. THE TERMS AND PROVISIONS CONTAINED IN THE DOCUMENT ENTITLED "RESOLUTION NO. 1963-72" RECORDED OCTOBER 03, 1963 AS INSTRUMENT NO. 45405W IN BOOK 4560, PAGE 519 OF OFFICIAL RECORDS.
SEE ABOVE DOCUMENT FOR PARTICULARS.
8. THE TERMS AND PROVISIONS CONTAINED IN THE DOCUMENT ENTITLED "MAINTENANCE OF LANDSCAPING AGREEMENT" RECORDED APRIL 14, 1982 AS INSTRUMENT NO. 8202939 OF OFFICIAL RECORDS.
NOT A SURVEY ITEM.
9. THE TERMS AND PROVISIONS CONTAINED IN THE DOCUMENT ENTITLED "RESOLUTION NO. 1982-75, RESOLUTION AUTHORIZING "HOLD HARMLESS" AGREEMENT RELATED TO CITY WALKWAY" RECORDED SEPTEMBER 17, 1982 AS INSTRUMENT NO. 82079960 OF OFFICIAL RECORDS.
SEE ABOVE DOCUMENT FOR PARTICULARS.
10. A DEED OF TRUST TO SECURE AN ORIGINAL INDEBTEDNESS OF \$5,950,000.00 RECORDED DECEMBER 21, 2012 AS INSTRUMENT NO. 2012-193805 OF OFFICIAL RECORDS.
DATED: DECEMBER 20, 2012
TRUSTOR: CAPPO PROPERTIES, LLC, A MICHIGAN LIMITED LIABILITY COMPANY
TRUSTEE: FIDELITY NATIONAL TITLE COMPANY
BENEFICIARY: AMERICAN HONDA FINANCE CORPORATION, A CALIFORNIA CORPORATION
SECOND AMENDMENT TO DEED OF TRUST, DATED JANUARY 9, 2024 AND RECORDED JANUARY 10, 2025 AS INSTRUMENT NO. 2025-001288 OF OFFICIAL RECORDS.
NOT A SURVEY ITEM.
11. A DOCUMENT ENTITLED "ASSIGNMENT OF LEASES AND RENTS" RECORDED DECEMBER 21, 2012 AS INSTRUMENT NO. 2012-193806 OF OFFICIAL RECORDS, AS ADDITIONAL SECURITY FOR THE PAYMENT OF THE INDEBTEDNESS SECURED BY THE DEED OF TRUST RECORDED DECEMBER 21, 2012 AS INSTRUMENT NO. 2012-193805 OF OFFICIAL RECORDS.
A MODIFICATION OF THE ASSIGNMENT OF LEASES AND RENTS, DATED JANUARY 9, 2024 AND RECORDED JANUARY 10, 2025 AS INSTRUMENT NO. 2025-001289 OF OFFICIAL RECORDS.
NOT A SURVEY ITEM.
12. TERMS AND PROVISIONS OF AN UNRECORDED LEASE DATED NOVEMBER 15, 2012, BY AND BETWEEN CAPPO PROPERTIES, LLC AS LESSOR AND CAPPO MANAGEMENT XXI, INC., D/B/A VICTORY HONDA OF SAN BRUNO AS LESSEE, AS DISCLOSED BY A SUBORDINATION, NON-DISTURBANCE AND ATTORNEYS AGREEMENT RECORDED DECEMBER 21, 2012 AS INSTRUMENT NO. 2012-193807 OF OFFICIAL RECORDS.
A DOCUMENT RECORDED DECEMBER 21, 2012 AS INSTRUMENT NO. 2012-193807 OF OFFICIAL RECORDS PROVIDES THAT THE ABOVE DOCUMENT WAS SUBORDINATED TO THE DOCUMENT RECORDED DECEMBER 21, 2012 AS INSTRUMENT NO. 2012-193805 OF OFFICIAL RECORDS.
A MODIFICATION OF SUBORDINATION, NON-DISTURBANCE AND ATTORNEYS AGREEMENT RECORDED JANUARY 10, 2025 AS INSTRUMENT NO. 2025-001290 OF OFFICIAL RECORDS PROVIDES THAT THE ABOVE DOCUMENT WAS SUBORDINATED TO THE DEED OF TRUST WHICH RECORDED JANUARY 10, 2025 AS INSTRUMENT NO. 2025-001288 OF OFFICIAL RECORDS.
NOT A SURVEY ITEM.
13. TERMS AND PROVISIONS OF AN UNRECORDED LEASE DATED JULY 29, 1992, BY AND BETWEEN EILEEN STEVENS, INDIVIDUALLY AND EILEEN STEVENS, AS TRUSTEE FOR THE ROY STEVENS TRUST AS LESSOR AND WALGREEN CO., AN ILLINOIS CORPORATION AS LESSEE, AS DISCLOSED BY A MEMORANDUM OF LEASE RECORDED DECEMBER 24, 1992 AS INSTRUMENT NO. 92213538 OF OFFICIAL RECORDS.
NOT A SURVEY ITEM.
14. WATER RIGHTS, CLAIMS OR TITLE TO WATER, WHETHER OR NOT SHOWN BY THE PUBLIC RECORDS.
NOT A SURVEY ITEM.
15. ANY FACTS, RIGHTS, INTERESTS OR CLAIMS THAT MAY EXIST OR ARISE BY REASON OF THE FOLLOWING MATTERS DISCLOSED BY AN ALTA/NSPS SURVEY MADE BY BKF ON DECEMBER 12, 2024 AND LAST REVISED _____ 2025, DESIGNATED 220249: TBD
SEE SURVEY ON SHEET 2.

BOLD LETTERING RESPONSE IN THE EXCEPTIONS ARE THE SURVEYOR'S COMMENT.



SURVEY NOTES

- 1. ALL DISTANCES AND DIMENSIONS ARE IN FEET AND DECIMALS THEREOF.
2. DATE OF THE FIELD SURVEY: JANUARY 14, 2025.
3. THE LOCATION, SIZES AND TYPES OF UTILITIES SHOWN ON THIS SURVEY ARE DERIVED FROM SURFACE OBSERVATION ONLY.
4. THE BOUNDARY LINE DIMENSIONS AS SHOWN ON THE SURVEY MAP FORM A MATHEMATICALLY CLOSED FIGURE WITH +/- 0.1 FOOT.
5. THE LOCATION OF EACH EASEMENT, RIGHT-OF-WAY, SERVITUDE OR OTHER MATTER AFFECTING THE SUBJECT PROPERTIES AND LISTED IN THE TITLE POLICY ISSUED BY FIRST AMERICAN TITLE INSURANCE COMPANY, ORDER NUMBER NCS-1232366A-SM AND DATED MARCH 19, 2025 HAS BEEN SHOWN ON THIS SURVEY, TOGETHER WITH APPROPRIATE RECORDING REFERENCES, TO THE EXTENT SUCH MATTERS CAN BE LOCATED. THE PROPERTIES SHOWN ON THIS SURVEY ARE THE PROPERTIES DESCRIBED IN THE ABOVE REFERENCED TITLE POLICY.

PRELIMINARY
NOT FOR CONSTRUCTION
DATE: 01/21/2026

BKF ENGINEERS
1000 FIRST STREET
SUITE 600
SAN JOSE, CA 95112
(408) 467-9100
WWW.BKF.COM



333 & 345 EL CAMINO REAL
APN 020-293-040, 020-276-290, & 020-293-030
CITY OF SAN BRUNO, COUNTY OF SAN MATEO

ALTA / NSPS LAND TITLE SURVEY

SURVEYOR'S CERTIFICATE

To: FIRST AMERICAN TITLE INSURANCE COMPANY;
AMERICAN HONDA FINANCE CORPORATION;
STEVENS & LEE, A PENNSYLVANIA PROFESSIONAL CORPORATION;
CAPPO PROPERTIES, LLC;
CAPPO REAL ESTATE HOLDINGS, LLC; AND
VICTORY AUTOMOTIVE GROUP, LLC

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 1, 2, 3, 4, 6(a), 6(b), 7(c), 7(d)(1), 8, 9, 11(a), 13, 16, 17, 18, & 19 (\$1,000,000 threshold). The fieldwork was completed on JANUARY 14, 2026.

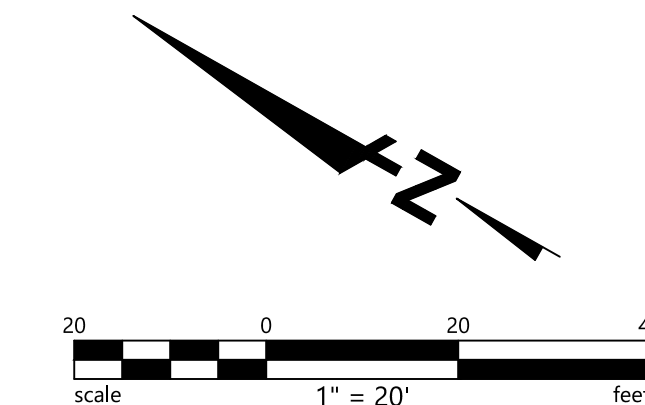
CHRISTOPHER CASSERA
P.L.S. No. 9781
ccassera@bkf.com



Drawing Number:
JANUARY 21, 2026
Date

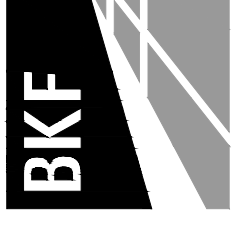
Table with columns for Revisions, No., Date, Scale, Design, Drawn, Approved, and Job No.

220249
1 OF 2



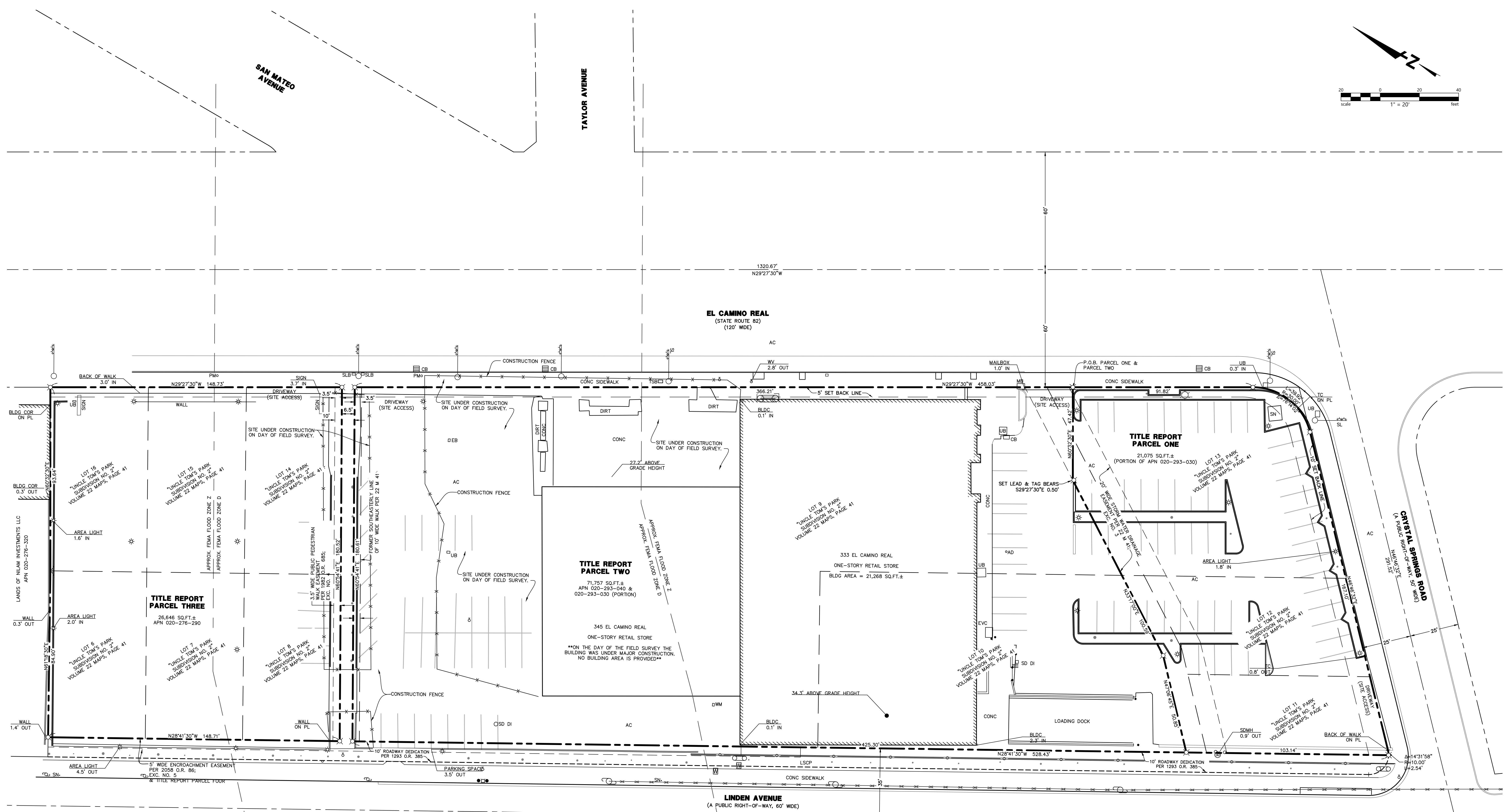
PRELIMINARY
NOT FOR CONSTRUCTION
DATE: 01/21/2026

BKF ENGINEERS
1001 FIRST STREET
SUITE 600
SAN JOSE, CA 95112
(408) 467-9100
www.bkf.com



333 & 345 EL CAMINO REAL
APN 020-293-040, 020-276-290, & 020-293-030
CITY OF SAN BRUNO, COUNTY OF SAN MATEO

ALTA / NSPS LAND TITLE SURVEY



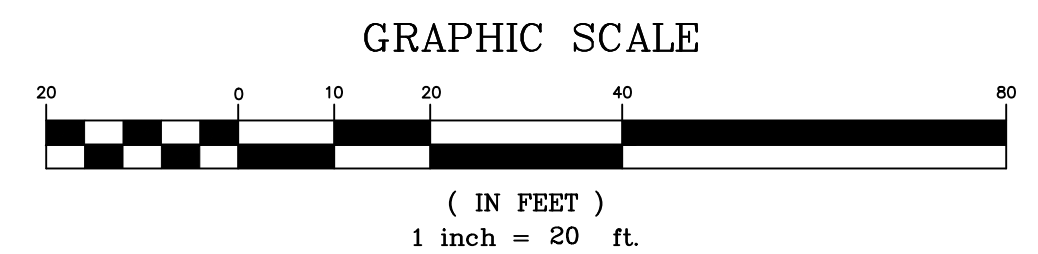
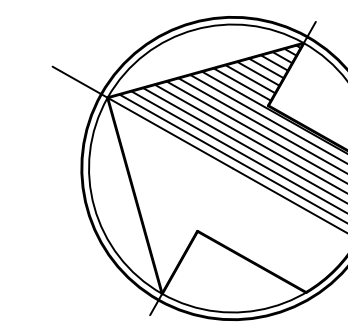
- LEGEND**
- AC ASPHALTIC CONCRETE
 - AD AREA DRAIN
 - AL AREA LIGHT
 - AV ANTISIPHON VALVE
 - ASV ASSESSOR'S PARCEL NUMBER PER ROLL YEAR 2023-24
 - APN ASSESSOR'S PARCEL NUMBER PER ROLL YEAR 2023-24
 - CB CATCH BASIN
 - CONC CONCRETE
 - EB ELECTRIC BOX
 - EVC ELECTRIC VEHICLE CHARGER
 - FN FIRE HYDRANT
 - JP JOINT POLE
 - LSCP LANDSCAPING
 - MB MAIL BOX
 - O.R. OFFICIAL RECORDS OF SAN MATEO COUNTY
 - P.O.B. POINT OF BEGINNING
 - P.O.C. POINT OF COMMENCEMENT
 - (R) RADIAL BEARING
 - SDD STORM DRAIN, DRAINAGE INLET
 - SDM STORM DRAIN, MANHOLE
 - SDMH STORM DRAIN, MANHOLE
 - SL STREET LIGHT SIGNAL
 - SN SIGN
 - SSCO SANITARY SEWER CLEANOUT
 - SSM SANITARY SEWER MANHOLE
 - UB UTILITY BOX
 - WB WATER BOX
 - WV WATER VALVE
 - SET LEAD & TAG, I.S. 9791
 - EXISTING BOUNDARY LINE
 - EXISTING EASEMENT
 - ADJOINING LOT LINE
 - CENTERLINE

BASIS OF BEARINGS
THE BEARINGS NORTH 29°26'30" EAST OF THE SOUTHWESTERLY LINE OF EL CAMINO REAL (STATE ROUTE 82), AS SAID BEARING IS SHOWN ON THAT CERTAIN FINAL MAP ENTITLED "UNCLE TOM'S PARK SUBDIVISION NO. 2", FILED FOR RECORD ON MARCH 20, 1940 IN BOOK 22 OF MAPS AT PAGE 41, RECORDS OF SAN MATEO COUNTY.

No.	Revisions

Date: 01/21/2026
Scale: 1" = 20'
Design: ---
Drawn: JPB
Approved: GASC
Job No: 162-20220249

Drawing Number:
220249
2 OF 2



General Notes:

1) All features shown hereon represent surface conditions of the project area compiled from a field survey performed in October of 2025. Underground utilities shown hereon are based upon observed point markings as performed by an unknown third party, and were not independently verified. Surveyor made no further attempt to determine the existence or extent of underground utilities or features not surface visible.
2) Monuments to facilitate boundary retracement of the underlying subdivision were not recovered, and likely destroyed. Boundary information shown hereon is based upon available record data, curb splits, and lines of occupation, and represent Surveyor's best judgement of the property line location.

Basis Of Bearings:

Bearings shown hereon are based on found monuments designated X-116 & X-119 as shown on California Dept. of Transportation Monument Map Nos. S79002 through S79004. The bearing between found monuments was taken as North 31°23'09" West. Rotate bearings shown 0°01'00" clockwise to obtain bearings consistent with 22 Maps 41 (this difference is not a discrepancy, merely a consistent rotation).

City Benchmark Note:

Elevations shown hereon are based upon City of San Bruno Control Point HVCN SB-8, a disc set in the top of curb at the east side of San Mateo Ave. at the intersection with Jenevein Ave. Elevation taken as 32.16, NAVD88 datum.

SURVEY CONTROL POINTS				
PT. NO.	NORTHING	EASTING	ELEVATION	DESCRIPTION
10	5234.91	4526.59	33.92	SCRIBED CROSS
2006	5242.99	4796.55	39.63	SCRIBED CROSS
2008	5072.18	4601.19	40.94	SCRIBED CROSS
2009	5130.03	4783.47	41.96	SCRIBED CROSS

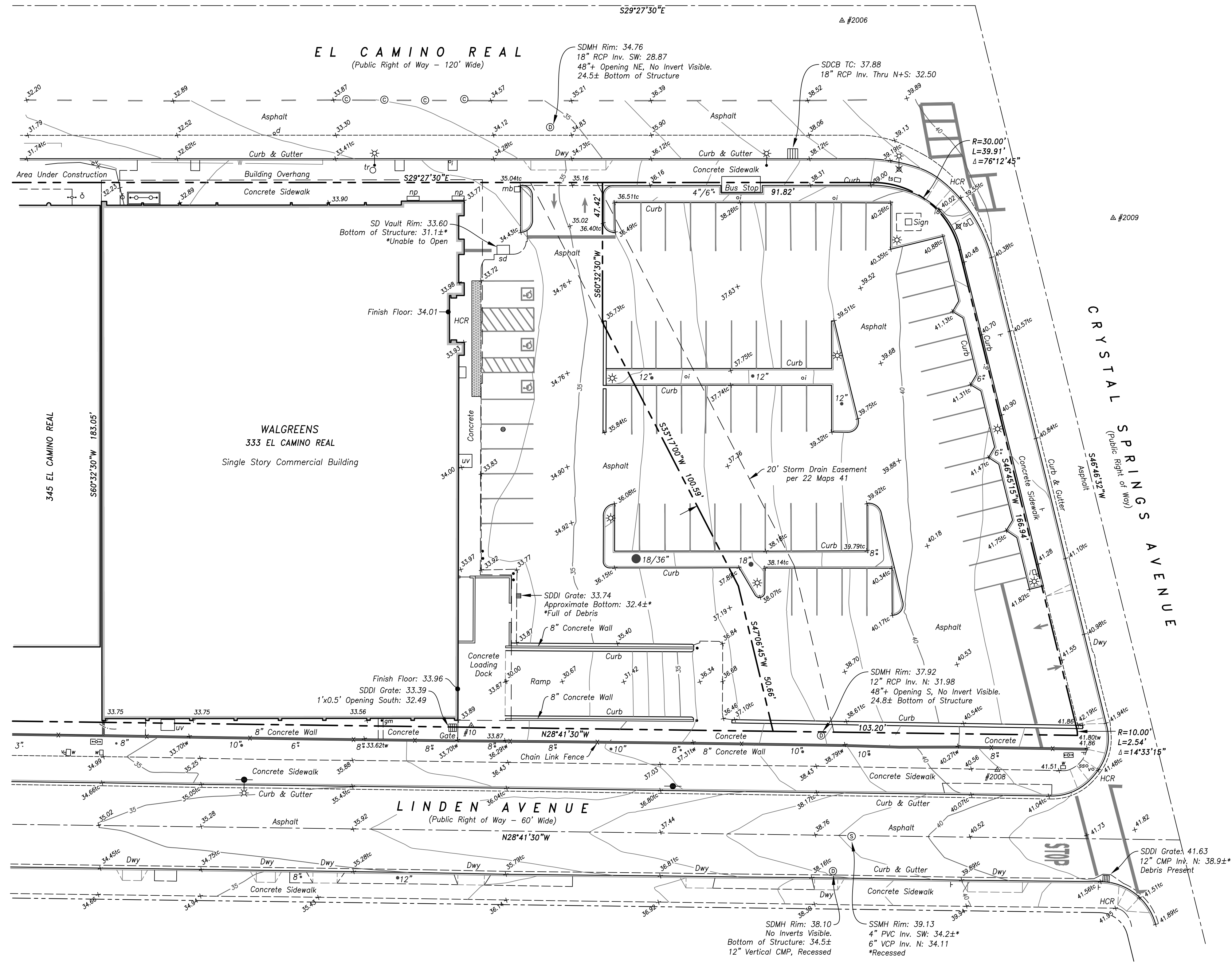
Legend

- Building Footprint
- - - Building Overhang
- - - Boundary
- - - Centerline
- - - Concrete
- - - Concrete Grade Break
- - - Curb & Gutter
- - - Fenceline
- - - Underground Utility - Water
- - - Wall
- - - Backflow Preventer
- - - Communications Manhole
- - - Control Point - See Table
- - - Detector
- Detector Check Valve
- ⊕ Drain Inlet
- ⊞ Electrical Panel
- ⊞ Electrical Outlet
- ⊞ Fire Hydrant
- ⊞ Gas Meter
- ⊞ Guy Wire
- ⊞ Hose Bib
- ⊞ Irrigation Valve
- ⊞ Mail Box
- ⊞ Newspaper Pedestal
- ⊞ Sanitary Sewer Cleanout
- ⊞ Sanitary Sewer Manhole
- ⊞ Sign
- ⊞ Site Light
- ⊞ Storm Drain Manhole
- ⊞ Spot Elevation
- ⊞ Survey Monument
- ⊞ Streetlight
- ⊞ Traffic Signal/Electroliter
- ⊞ Trash Can
- ⊞ Tree Trunk Diameter
- ⊞ Utility Pole
- ⊞ Utility Pole w/Electroliter
- ⊞ Utility Vault - Type Unknown
- ⊞ Water Box
- ⊞ Water Valve

Surveyor's Statement

This map correctly represents a survey made by me or under my direction.

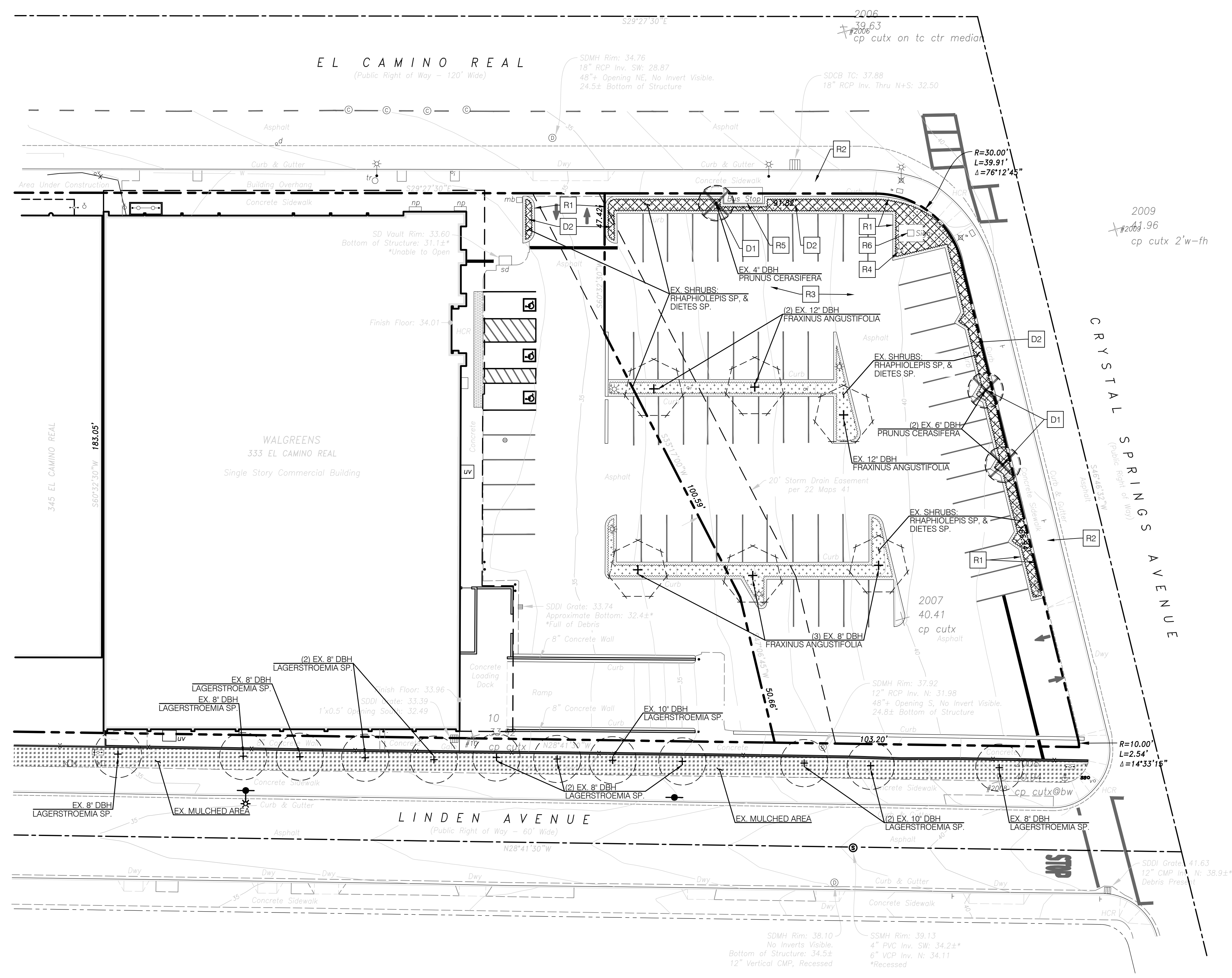
Charles Weakley
Charles Weakley, LS 6421



DATE	DESCRIPTION	BY
10-10-25 <td></td> <td></td>		
SCALE	1" = 20'	
DRAWN	SR	
CHECKED	CW	
JOB NO.	521051.4	
SHEET NO.	1	
OF	1	

MOUNTAIN PACIFIC SURVEYS
1735 Enterprise Dr. Suite 109
Fairfield, CA 94533
PH (707) 435-6234
FAX (707) 435-1969

BOUNDARY & TOPOGRAPHIC SURVEY
333 EL CAMINO REAL
CITY OF SAN BRUNO - SAN MATEO COUNTY - CALIFORNIA



LANDSCAPE PROTECTION LEGEND P#

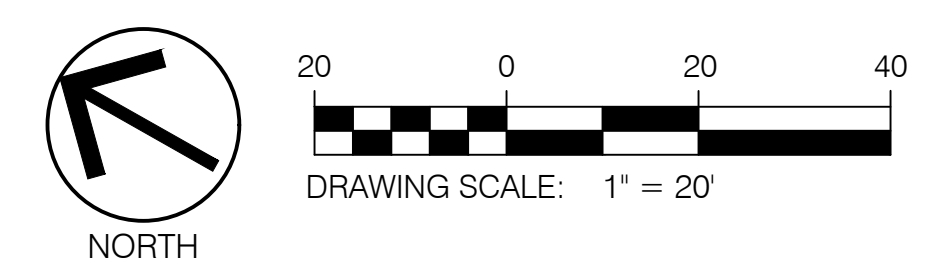
- SYMBOL KEY COMMENTS
- P1 EXISTING TREE - PROTECT IN PLACE
 - P2 EXISTING SHRUBS / GROUNDCOVER - PROTECT IN PLACE

LANDSCAPE DEMOLITION & REMOVAL LEGEND D#

- D1 EXISTING TREE - TO BE REMOVED. STUMP GRIND TO A MINIMUM DEPTH OF 12" BELOW ADJACENT FINISH GRADE AND REMOVE SURFACE ROOTS. BACKFILL TO ADJACENT FINISH GRADE.
- D2 EXISTING SHRUBS / GROUNDCOVER - TO BE REMOVED / CLEAR AND GRUB

SITE ELEMENTS LEGEND R#

- R1 EXISTING CONCRETE CURB - PROTECT IN PLACE
- R2 EXISTING PEDESTRIAN CONCRETE PAVING - PROTECT IN PLACE
- R3 EXISTING VEHICULAR PAVING - PROTECT IN PLACE
- R4 EXISTING SITE LIGHTING - PROTECT IN PLACE
- R5 EXISTING BUS STOP - PROTECT IN PLACE
- R6 EXISTING SIGNAGE - PROTECT IN PLACE



REVISIONS		DATE	BY	APP'D.

DRAWN BY: BH
 CHECKED BY: BH
 DATE: JAN. 6, 2026

BENCHMARK:
 ELEVATIONS SHOWN HEREON ARE BASED UPON CITY OF SAN BRUNO CONTROL POINT HVCN SB-8. A DISC SET IN THE TOP OF CURB AT THE EAST SIDE OF SAN MATEO AVE. AT THE INTERSECTION WITH JENEVEIN AVE. ELEVATION TAKEN AS 32.16, NAVD88 DATUM.



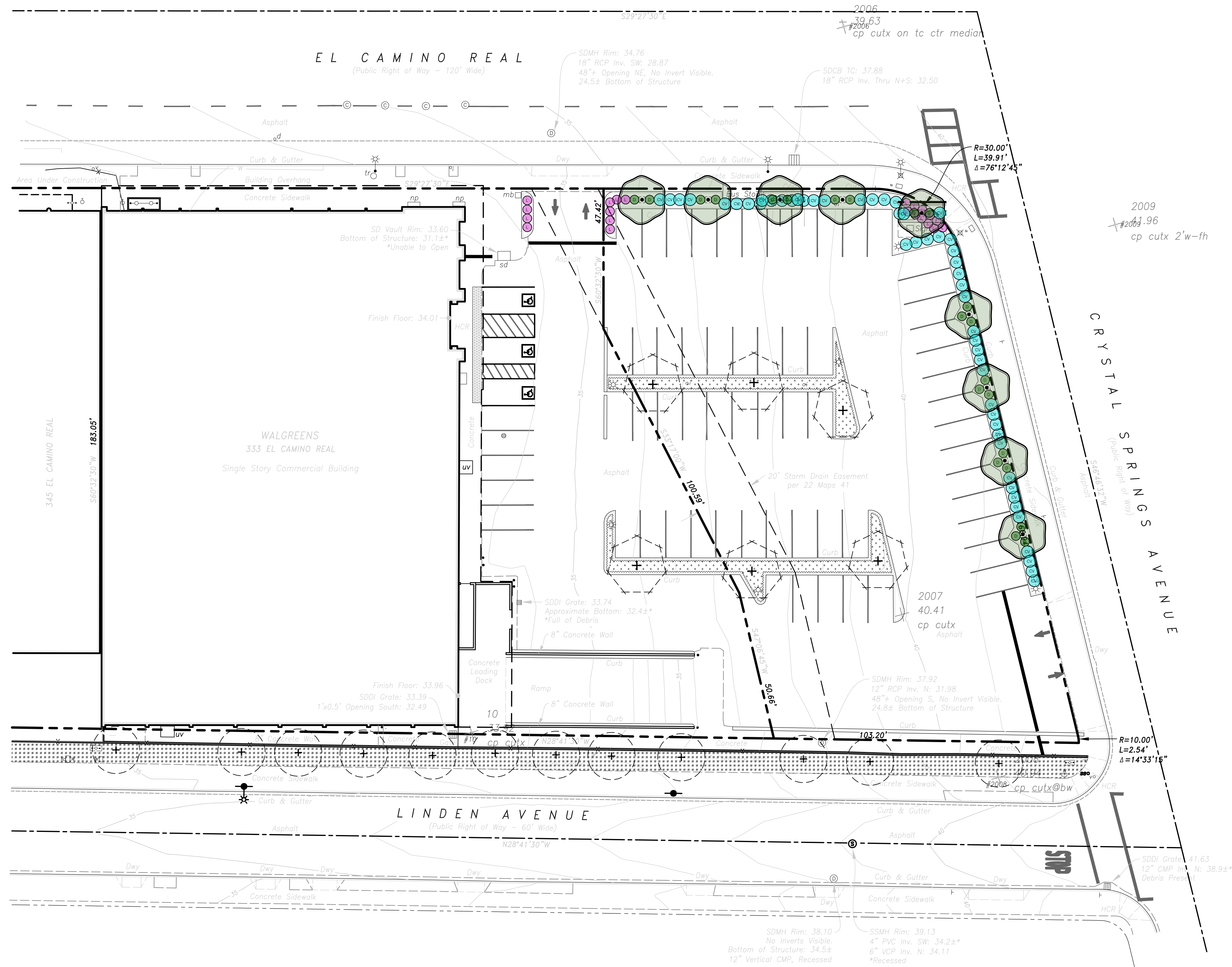
BASIS OF BEARINGS:
 BEARINGS SHOWN HEREON ARE BASED ON FOUND MONUMENTS DESIGNATED X-116 & X-119 AS SHOWN ON CALIFORNIA DEPT. OF TRANSPORTATION MONUMENT MAP NOS. S79002 THROUGH S79004. THE BEARING BETWEEN FOUND MONUMENTS WAS TAKEN AS NORTH 31°23'09" WEST. ROTATE BEARINGS SHOWN 0°10'00" CLOCKWISE TO OBTAIN BEARINGS CONSISTENT WITH 22 MAPS 41 (THIS DIFFERENCE IS NOT A DISCREPANCY, MERELY A CONSISTENT ROTATION).

LANDSCAPE INVENTORY PLAN

SAN BRUNO HONDA
 333 EL CAMINO REAL
 SAN BRUNO, CA

SHEET
 L-1

S:\Projects\2025\25100_Landscape\San Bruno Honda_San Bruno CA\04 - Entitlement & Concept - Sheets\25100_L-1 Landscape Inventory.dwg

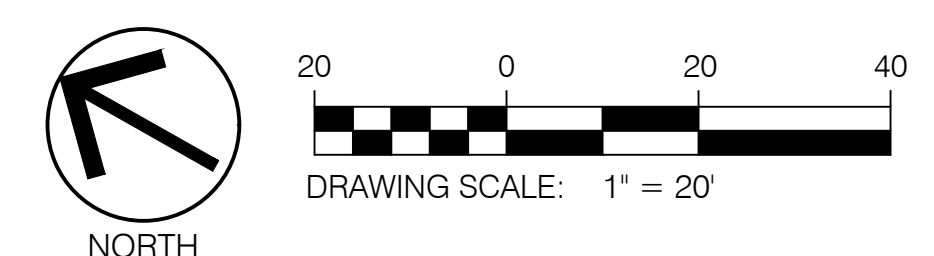


PLANT LEGEND

TREES	QTY.	BOTANICAL / COMMON NAME	SIZE / COMMENTS	WATER USE	DETAIL REF.	SIZE (HxW)
	5	LAGERSTROEMIA INDICA 'BILOXI' BILOXI CRAPE MYRTLE	24" BOX / STANDARD	LOW	-	H: 15' - 20' W: 15' - 20'

SHRUBS	QTY.	BOTANICAL / COMMON NAME	SIZE / SPACING / COMMENTS	WATER USE	DETAIL REF.	SIZE (HxW)
	-	CALLISTEMON VIMINALIS 'LITTLE JOHN' LITTLE JOHN DWARF WEEPING BOTTLEBRUSH	5 GAL. / 4'-0" O.C.	LOW	-	H: 3' - 5' W: 4' - 7'
	-	DIETES VEGETA 'VARIEGATA' VARIEGATED FORTNIGHT LILY	1 GAL. / PER PLAN	LOW	-	H: 3' - 4' W: 3' - 4'
	-	LANTANA MONTEVIDENSIS PURPLE TRAILING LANTANA	1 GAL. / 3'-0" O.C.	LOW	-	H: 1' - 2' W: 3' - 6'

- LANDSCAPE & IRRIGATION NOTES**
1. A 3" DEEP LAYER OF ORGANIC PLANTING MULCH SHALL BE INSTALLED IN ALL LANDSCAPE AREAS (EXCLUDING TURF AREAS).
 2. ROOT BARRIERS SHALL BE INSTALLED AT ALL TREES AS SHOWN ON PLANTING PLANS AND/OR WHEN INSTALLED WITHIN 5'-0" OF UTILITIES, CONCRETE PAVING, CURB OR OTHER FLATWORK. ROOT BARRIERS SHALL BE A MINIMUM OF 10'-0" IN LENGTH AND CENTERED ON THE TREE TRUNK.
 3. ALL IRRIGATION COMPONENTS SHALL MATCH EXISTING AND MUST COMPLY WITH ALL LOCAL, STATE AND FEDERAL LAWS AND REGULATIONS.
 4. A SOILS REPORT SHALL BE PREPARED AND SUBMITTED WITH THE CERTIFICATE OF COMPLETION. SOIL SAMPLES SHALL BE COLLECTED PRIOR TO THE INSTALLATION OF LANDSCAPE MATERIALS.
 5. A 3'-0" (MINIMUM) CLEAR SPACE SHALL BE PROVIDED AROUND ALL FIRE PROTECTION EQUIPMENT SUCH AS FIRE HYDRANTS, FIRE DEPARTMENT CONNECTIONS (FDC), POST-INDICATOR VALVES (PIV), AND BACK FLOW PREVENTER FOR THE FIRE SPRINKLER SYSTEM (OS&Y). (CFC §507.5.5 & §509.2)
 6. TREES SHALL BE MAINTAINED TO PROVIDE AN UNOBSTRUCTED VERTICAL CLEARANCE OF 13 FEET 6 INCHES (MINIMUM) FROM ALL FIRE LANES. (CFC §503.2.1)



REVISIONS

NUMBER	DATE	APPY'D.

DRAWN BY: BH
CHECKED BY: BH
DATE: JAN. 6, 2026

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LANDSCAPE PLAN

SAN BRUNO HONDA
333 EL CAMINO REAL
SAN BRUNO, CA

SHEET L-2