

**STRATFORD TOWN COUNCIL**  
**Regular Monthly Meeting**  
**June 10, 2026**  
**4:30 p.m.**

**AGENDA**

Page

- 1. CALL TO ORDER**
  - a) We acknowledge the land upon which we gather is the unceded territory of the Mi'kmaq, and we pay our respects to the Indigenous Mi'kmaq People of this territory past, present, and future.
- 2. DECLARATION OF CONFLICT OF INTEREST**
- 3. APPROVAL OF AGENDA**
- 4. MINUTES**

4 - 28

  - a) Regular Monthly Meeting Minutes  
[2026.05.13-Regular Council Minutes](#)
- 5. BUSINESS ARISING FROM THE MINUTES**
- 6. PRESENTATIONS FROM THE FLOOR**

29 - 42

  - a) 2026 Water School Calendar Winners  
[2026 Water School Calendar Winners](#)
- 7. MAYOR'S REPORT**

43

  - a) Report  
[2026.05-Mayor's Report](#)
- 8. CHIEF ADMINISTRATIVE OFFICER**

44 - 45

  - a) Report  
[2026.05-CAO Report](#)
- 9. SAFETY SERVICES**

46 - 51

  - a) Report  
[2026.05.19- Safety Services Minutes](#)
  - b) Street Light Report

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  - c) RCMP Report  
[2026.05-RCMP Occurrence Report](#)  
[2026.05-RCMP Statistics](#)  
[2026.05-RCMP Mayors Report](#)
  - d) Humane Society Report
  - e) Fire Company Report
- 10. RECREATION CULTURE AND EVENTS**

71 - 73

  - a) Report  
[2026.05-Rec Report](#)
- 11. FINANCE AND TECHNOLOGY**

74

  - a) Report

[2026.05-Finance Report](#)

75 - 81

- b) Financial Statements  
[2026.04.30 Town Income Stmt v.2026.06.05](#)  
[2026.04.30 Utility Income Stmt v.2026.06.05](#)

**12. PLANNING DEVELOPMENT AND HERITAGE**

82 - 92

- a) Report  
[2026.06.01-Minutes-Unapproved](#)

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- b) Permit Summary  
[2026.05-Permit Summary](#)  
[2026.05-Type Summary](#)

100 - 119

- c) PH008-2026-DP041-26-PEI Martial Arts-301 Shakespeare-Part 3 Comm  
[PH008-2026-DP041-26-PEI Martial Arts-301 Shakespeare-Part 3 Comm](#)  
[PH008-2026-1-Survey Plan](#)  
[PH008-2026-2-Building Plans](#)  
[PH008-2026-3-Building Rendering](#)  
[PH008-2026-4-Planners Report](#)

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- d) PH009-2026-DP065-26-Francistheriault Ventures-26 Hollis Ave-Special Permit  
Use-Public Meeting  
[PH009-2026-DP065-26-Francistheriault Ventures-26 Hollis Ave-Special Permit](#)  
Use-Public Meeting  
[PH009-2026-1-Survey Plan](#)  
[PH009-2026 -2- Building Plans](#)  
[PH009-2026-3-Business description](#)  
[PH009-2026-4-Planners Report](#)

**13. INFRASTRUCTURE**

135 - 142

- a) Report  
[2026.05-Infrastructure Report](#)  
[2026.05.21-Infrastructure Minutes-Unapproved](#)

**14. COMMITTEE OF THE WHOLE**

**15. SUSTAINABILITY**

143 - 147

- a) Report  
[2026.05-Sustainability Report](#)  
[2026.05.06-Sustainability Minutes](#)

148 - 150

- b) Transit Report  
[2026.05-Transit Graph](#)  
[2026.05-Stratford Ridership](#)  
[2026.05-Stratford Mid Day Runs](#)

**16. INTERGOVERNMENTAL AFFAIRS AND ACCOUNTABILITY**

151

- a) Report  
[2026.05-IAA Report](#)

**17. INQUIRIES BY MEMBERS OF COUNCIL**

**18. OTHER COMMITTEES**

- a) Stratford Seniors Complex  
[2026.05-Seniors Committee Report](#)

**19. APPOINTMENTS TO THE COMMITTEES**

**20. PROCLAMATIONS**

- a) Nil

**21. OTHER BUSINESS**

**22. ADJOURNMENT**

**REGULAR COUNCIL  
REGULAR MONTHLY MEETING  
UNAPPROVED MINUTES**

**DATE:** May 13, 2026  
**TIME:** 04:30 P.m.  
**PLACE:** Council Chambers

**PRESENT:** Steve Gallant, Deputy Mayor  
Ron Dowling, Councillor  
Jeff MacDonald, Councillor  
Jill Chandler, Councillor  
Gordie Cox, Councillor

**STAFF**

**PRESENT:** Jeremy Pierce, Acting CAO  
Kim O'Connell, Deputy CAO & Director of Finance & Technology  
Rachel Arsenault, Recreation Director  
Dale McKeigan, Planning Director  
Jeannie Woodard, Infrastructure Director  
Phil Rough, Town Planner  
Wendy Watts, Business and Community Engagement Manager  
Neala Smallman, Recording Clerk

**GUESTS:** CRPL. Paynter

**CHAIR:** Steve Ogden, Mayor

**1. CALL TO ORDER**

Mayor Ogden called the meeting to order at 4:30 PM

We acknowledge the land upon which we gather is the unceded territory of the Mi'kmaq, and we pay our respects to the Indigenous Mi'kmaq People of this territory past, present, and future.

**2. DECLARATION OF CONFLICT OF INTEREST**

No conflict of interest was declared.

**3. APPROVAL OF AGENDA**

It was moved by Councillor MacDonald and Seconded by Deputy Mayor Gallant that the agenda be approved as circulated.

**4. MINUTES**

- a) Regular Monthly Meeting Minutes
- b) Special Council Minutes

It was moved by councillor Chandler and seconded by Councillor MacDonald that the minutes be approved as presented.

**5. BUSINESS ARISING FROM THE MINUTES**

No business arose from the minutes.

**6. PRESENTATIONS FROM THE FLOOR**

No presentations.

**7. MAYOR'S REPORT****a) Report**

April 8 – Chaired monthly Council meeting

April 15 – Participated in Finance Committee meeting

- Provincial Immigration Partnership Council meeting
- Very proud to attend presentation ceremony to Town Planning Department of Planners Association award

April 17 – Meeting to plan for Accessible Taxi service

- Infrastructure Committee meeting

April 21 – Attended Even For One, a presentation about human trafficking by RCMP and others

- Special Committee of the Whole to work on draft Official Plan and Zoning Map

April 22 – Special Council meeting to award tender for Shepard Dr. parking lot

- Chaired regular monthly meeting of Committee of the Whole

April 23 – Attended State of the City Report presentation in Summerside

April 27 – Attended FPEIM AGM in Summerside

April 28 – Very pleased to help RCMP Cst Tim Keizer present Healthy Me program graduation certificates to Grade 6 students at Stratford Elementary School

April 29 – Attended Accessible Taxi announcement at PEI Legislature

May 2 – Attended Asian Spring Festival at UPEI

May 4 – Participated in Planning and Heritage Committee meeting

May 7 – Participated in an Intergovernmental Affairs Committee meeting

May 11 – Attended naming ceremony at Charlottetown Airport to honour former Premier Alex Campbell

May 12 – Participated in Official Plan Council discussion

May 10 – Attended Youth Centre Drama Club presentation of “A Wrinkle In Time”

May 13 – Meeting with Crossroads Fire Company representatives

Ongoing - Participated in meetings with residents and Staff members, and looked after the day-to-day business and internal affairs of the Town

No discussion took place.

**8. CHIEF ADMINISTRATIVE OFFICER****a) Report**

**Strategic Partnerships & Intergovernmental Relations**

- Community Foundations of PEI - Participated in a series of meetings regarding the Community Campus Fundraising Campaign. Discussions focused on funding strategies, partnership opportunities, and alignment with broader community investment priorities.
- Federal Government Engagement - Met with a federal government representative to explore funding support opportunities for municipal priorities, including infrastructure and community development initiatives.
- Provincial Government Relations - Met with Ministers Redmond and Burrige to discuss areas of shared interest, funding programs, and alignment between municipal and provincial priorities.

**Development & Planning Initiatives**

- Crossroads Development – Gray Group - Held multiple meetings with the Gray Group concerning ongoing development of the Crossroads project. Discussions addressed project timelines, planning requirements, and alignment with municipal development objectives.
- Flourish Development - Met with representatives to discuss development opportunities and potential collaboration within the municipality.
- Official Plan & Zoning Development Bylaw Review - Participated in an Official Plan review session as well as a joint Council review of the Official Plan and Zoning Development Bylaw. These sessions focused on long-term growth planning, land use priorities, and regulatory updates.
- Planning Board Meeting - Attended the Planning Board meeting to review applications and provide administrative input on planning matters.
- Sustainability Committee - Participated in discussions on environmental initiatives, sustainability planning, and related policy development.

**Community & Economic Development**

- Port Authority Engagement - Met with the Port Authority to discuss event planning opportunities and collaboration to enhance community vibrancy and economic activity.
- Cricket Community Coordination - Facilitated a meeting among various cricket groups to support coordination, facility use, and community programming.
- Rowing PEI - Met with a representative from Rowing PEI to discuss programming, facility needs, and potential partnerships.

**Transportation & Infrastructure**

- Transit Negotiations - Participated in three transit negotiation meetings, focused on service levels, financial sustainability, and regional collaboration.
- Stratford Wellness Centre - Participated in the design kickoff day for the Stratford Wellness Centre, marking the beginning of detailed design work for this key community infrastructure project.

**Community Safety & Awareness**

- “Even for One” Human Trafficking Presentation - Attended an RCMP-led presentation raising awareness of human trafficking. The

session provided valuable insights into prevention, identification, and community response strategies.

**Governance & Internal Operations**

- Council and Committee Meetings
  - Committee of the Whole meeting
  - Official Plan and Zoning Bylaw review session with Council
- Internal Administration
  - CAO Department monthly meeting
  - Department Heads and Managers meeting

No discussion took place.

**9. SAFETY SERVICES**

a) **Report**

The report was included in the agenda package for council to review.

b) **Street Light Report**

An update was provided on street lighting for McCarron Way and Helen Crescent. It was noted that street lighting installation on McCarron Way has been completed, and the area is now ready for development. Recent activity indicates that construction has begun on at least one lot, with a foundation currently being installed.

c) **RCMP Report**

Corporal Paynter provided a summary of April activities, reporting a total of 393 occurrences, with 370 either founded or still under investigation. These figures are consistent with the previous month and slightly higher than April 2025 (342 occurrences) and the 12-month average of 351 occurrences within the Town.

Of these, 262 occurrences (approximately 70%) were related to traffic enforcement. During the month, officers issued 96 summary offence tickets, 156 warnings, and identified six vehicle defects. There were four impaired driving occurrences, with one individual charged for operating a vehicle over the legal limit, and five tickets issued for driving while suspended.

A total of 13 theft files were reported, nine of which involved incidents of failing to pay at gas pumps; all were later determined to be unfounded. There were also nine motor vehicle collisions, and 30 Select Traffic Enforcement Program (STEP) files recorded.

In addition to enforcement activities, RCMP members participated in community outreach initiatives. Constable Kaiser and Constable Pound delivered the “Healthy Me” program to Grade 6 students at Stratford Elementary School, with the mayor also in attendance. Officers also conducted daycare visits, providing interactive demonstrations with a police vehicle.

d) **Humane Society Report**

The reports were included in the agenda package for council to review.

e) **Fire Company Report**

The reports were included in the agenda package for council to review.

**10. RECREATION CULTURE AND EVENTS**

Councillor Cox provided an update on the Community Campus Wellness Centre, noting that work with Acre Architects and MJMA is focused on program optimization to meet long-term community needs.

Council and the Stratford Youth Centre completed a roadside cleanup on May 2, with approximately 50 youth volunteers clearing four kilometers of Bunbury Road.

The Youth Centre continues to host successful programs and events, including a recent drama production, upcoming fundraiser, yard sale, and expanded garden and award initiatives.

In Arts and Culture, the mural RFP has been awarded, with a workshop planned for local artists. Trail enhancements and expanded art programming are ongoing.

A variety of recreation programs are being offered for all age groups, and preparations for summer camps and sports seasons are underway.

Upcoming events include Canada Day celebrations at Kinlock Park, due to waterfront construction, and Pride events in late July.

**Discussion:**

Mayor Ogden expressed appreciation for the Stratford Youth Centre Drama Club’s production of *A Wrinkle in Time*, which he attended on May 10. He commended the performance, noting the high level of effort, organization, and preparation involved, and extended congratulations to the Youth Centre and participants.

Deputy Mayor Gallant noted that Spinco is celebrating its third anniversary in Stratford. He recognized owners Taylor and Sam Smiley for their success and ongoing contribution to the community, noting the business continues to perform well. Council extended congratulations.

b) **Resolution-RC-001-2026-Grass Cutting Tender Award**

Motion Carried   X  

Motion Lost     

Motion Withdrawn     

**Council Chambers**

**Town Hall**

**May 13, 2026**

**Committee**

**Recreation, Culture and Events**

**Moved by**

Councillor Gordie Cox

**Seconded by**

Councillor Jeff MacDonald

**WHEREAS** tenders were received for grass cutting for properties owned by the Town of Stratford, Senior’s property, Waterfront property, and Business Park for a two-year contract, with an option for a two-year renewal; and

**WHEREAS** the following tenders were received.

<b>Company</b>	<b>Year</b>	<b>Town Properties</b>	<b>Seniors Property</b>	<b>Waterfront Property</b>	<b>Business Park</b>	<b>Totals</b>
<b>101533 PEI Inc. Kelly Stewart</b>	<b>Year 1</b>	<b>27,255.00</b>	<b>4,485.00</b>	<b>11,960.00</b>	<b>14,950</b>	<b>58,650.00</b>
	<b>Year 2</b>	<b>28,617.75</b>	<b>4,709.25</b>	<b>12,558.00</b>	<b>15,697.50</b>	<b>61,582.50</b>
	<b>Year 3</b>	<b>30,048.35</b>	<b>4,945.00</b>	<b>13,184.75</b>	<b>16,481.90</b>	<b>64,659.90</b>
	<b>Year 4</b>	<b>30,048.35</b>	<b>4,945.00</b>	<b>13,184.75</b>	<b>16,481.90</b>	<b>64,659.90</b>
	<b>Total</b>	<b>115,969.45</b>	<b>19,084.25</b>	<b>50,887.50</b>	<b>63,611.10</b>	<b>249,552.30</b>
<b>MTM Lawns</b>	<b>Year 1</b>	<b>56,304.00</b>	<b>2,649.60</b>	<b>4,636.80</b>	<b>2,694.60</b>	<b>66,240.00</b>
	<b>Year 2</b>	<b>57,933.35</b>	<b>2,728.95</b>	<b>4,775.95</b>	<b>2,728.95</b>	<b>68,167.20</b>
	<b>Year 3</b>	<b>59,733.30</b>	<b>2810.30</b>	<b>4,919.70</b>	<b>2,810.30</b>	<b>70,273.60</b>
	<b>Year 4</b>	<b>61,525.00</b>	<b>2,894.55</b>	<b>5,066.90</b>	<b>2,894.55</b>	<b>72,381.00</b>
	<b>Total</b>	<b>235,495.65</b>	<b>11,083.40</b>	<b>19,399.35</b>	<b>11,083.40</b>	<b>277,061.80</b>
<b>A-N-B Lawns</b>	<b>Year 1</b>	<b>205,344.00</b>	<b>3,593.75</b>	<b>23,000.00</b>	<b>4,140.0</b>	<b>236,077.75</b>
	<b>Year 2</b>	<b>215,611.20</b>	<b>3,773.44</b>	<b>24,150.00</b>	<b>4,347.00</b>	<b>247,881.64</b>
	<b>Year 3</b>	<b>226,391.35</b>	<b>3,962.11</b>	<b>25,357.50</b>	<b>4,564.75</b>	<b>260,275.71</b>
	<b>Year 4</b>	<b>237,711.35</b>	<b>4,160.21</b>	<b>26,625.38</b>	<b>4,565.56</b>	<b>273,062.50</b>
	<b>Total</b>	<b>885,057.90</b>	<b>15,489.51</b>	<b>99,132.88</b>	<b>17,617.31</b>	<b>1,017,297.60</b>
<b>Green Thumb Lawn</b>	<b>Year 1</b>	<b>112,100.00</b>	<b>950.00</b>	<b>6,365.00</b>	<b>2,010.00</b>	<b>121,425.00</b>
	<b>Year 2</b>	<b>112,100.00</b>	<b>950.00</b>	<b>6,365.00</b>	<b>2,010.00</b>	<b>121,425.00</b>
	<b>Year 3</b>	<b>112,100.00</b>	<b>950.00</b>	<b>6,365.00</b>	<b>2,010.00</b>	<b>121,425.00</b>
	<b>Year 4</b>	<b>112,100.00</b>	<b>950.00</b>	<b>6,365.00</b>	<b>2,010.00</b>	<b>121,425.00</b>
	<b>Total</b>	<b>448,400.00</b>	<b>3,800.00</b>	<b>25,460.00</b>	<b>8,040.00</b>	<b>485,700.00</b>

<b>KEE Maintenance</b>	<b>Year 1</b>	<b>63,250.00</b>	<b>1,725.00</b>	<b>6,900.00</b>	<b>2,242.50</b>	<b>74,117.50</b>
	<b>Year 2</b>	<b>63,825.00</b>	<b>1,811.25</b>	<b>7,015.00</b>	<b>2,300.00</b>	<b>74,951.25</b>
	<b>Year 3</b>	<b>63,940.00</b>	<b>1,840.00</b>	<b>7,015.00</b>	<b>2,300.00</b>	<b>75,095.0</b>
	<b>Year 4</b>	<b>64,00.00</b>	<b>1,840.00</b>	<b>7,130.00</b>	<b>2,530.00</b>	<b>75,500.00</b>
	<b>Total</b>	<b>255,015.00</b>	<b>7,216.00</b>	<b>28,060.00</b>	<b>9,372.50</b>	<b>299,663.75</b>
	<b>Atlantic Mowing</b>	<b>Year 1</b>	<b>114,457.20</b>	<b>1,159.20</b>	<b>10,350.00</b>	<b>6,210.00</b>
<b>Year 2</b>		<b>116,745.70</b>	<b>1,182.20</b>	<b>10,557.00</b>	<b>6,334.20</b>	<b>134,819.10</b>
<b>Year 3</b>		<b>119,080.20</b>	<b>1,205.20</b>	<b>10,767.45</b>	<b>6,460.70</b>	<b>137,513.55</b>
<b>Year 4</b>		<b>121,460.70</b>	<b>1,228.20</b>	<b>10,982.50</b>	<b>6,589.50</b>	<b>140,260.90</b>
<b>Total</b>		<b>471,743.80</b>	<b>4,774.80</b>	<b>42,656.95</b>	<b>25,594.40</b>	<b>544,769.95</b>
<b>Elevation Outdoor Services</b>	<b>Year 1</b>	<b>99,187.50</b>	<b>2,300.00</b>	<b>10,350.00</b>	<b>3,450.00</b>	<b>115,287.50</b>
	<b>Year 2</b>	<b>102,163.13</b>	<b>2,369.00</b>	<b>10,660.50</b>	<b>3,553.50</b>	<b>118,746.13</b>
	<b>Year 3</b>	<b>105,228.02</b>	<b>2,440.07</b>	<b>13,568.99</b>	<b>3,660.11</b>	<b>124,897.19</b>
	<b>Year 4</b>	<b>108,384.87</b>	<b>2,513.27</b>	<b>13,976.05</b>	<b>3,769.91</b>	<b>128,644.10</b>
	<b>Total</b>	<b>414,963.52</b>	<b>9,622.34</b>	<b>48,555.54</b>	<b>14,433.52</b>	<b>487,574.92</b>
<b>Sunseeker Property Services</b>	<b>Year 1</b>	<b>78,660.00</b>	<b>1,380.0</b>	<b>8,970.00</b>	<b>3,864.00</b>	<b>92,874.00</b>
	<b>Year 2</b>	<b>85,215.00</b>	<b>1,495.00</b>	<b>9,717.50</b>	<b>4,105.50</b>	<b>100,533.00</b>
	<b>Year 3</b>	<b>91,770.00</b>	<b>1,610.00</b>	<b>10,465.00</b>	<b>4,347.00</b>	<b>108,192.00</b>
	<b>Year 4</b>	<b>98,325.00</b>	<b>1,725.00</b>	<b>11,212.50</b>	<b>4,588.50</b>	<b>155,851.00</b>
	<b>Total</b>	<b>353,970.00</b>	<b>6,210.00</b>	<b>40,365.00</b>	<b>16,905.00</b>	<b>417,450.00</b>
<b>PEI Pro Plan</b>	<b>Year 1</b>	<b>55,781.90</b>	<b>2,523.10</b>	<b>5,046.20</b>	<b>4,830.00</b>	<b>68,181.20</b>
	<b>Year 2</b>	<b>57,455.36</b>	<b>2,598.79</b>	<b>5,197.59</b>	<b>4,974.90</b>	<b>70,226.64</b>
	<b>Year 3</b>	<b>59,179.02</b>	<b>2,676.76</b>	<b>5,353.51</b>	<b>5,124.15</b>	<b>72,333.44</b>
	<b>Year 4</b>	<b>60,954.39</b>	<b>2,757.06</b>	<b>5,514.12</b>	<b>5,277.87</b>	<b>74,503.44</b>

	<b>Total</b>	<b>233,370.67</b>	<b>10,555.71</b>	<b>21,111.42</b>	<b>20,206.92</b>	<b>285,244.72</b>
<b>James Rogerson</b>	<b>Year 1</b>	<b>58,650.00</b>	<b>3,795.00</b>	<b>6,727.50</b>	<b>1,150.00</b>	<b>70,322.50</b>
	<b>Year 2</b>	<b>59,800.00</b>	<b>3,910.00</b>	<b>6,842.50</b>	<b>1,380.00</b>	<b>71,932.50</b>
	<b>Year 3</b>	<b>62,100.00</b>	<b>4,140.00</b>	<b>7,015.00</b>	<b>1,610.00</b>	<b>74,865.00</b>
	<b>Year 4</b>	<b>75,900.00</b>	<b>5,058.85</b>	<b>8,567.50</b>	<b>2,012.50</b>	<b>91,538.85</b>
	<b>Total</b>	<b>256,450.0</b>	<b>16,903.85</b>	<b>29,152.50</b>	<b>6,152.50</b>	<b>308,658.85</b>
<b>Mahdi Aberbaz</b>	<b>Year 1</b>	<b>No bid</b>	<b>87.40</b>	<b>262.20</b>	<b>No bid</b>	<b>Disqualified</b>
	<b>Year 2</b>	<b>No bid</b>	<b>No bid</b>	<b>No bid</b>	<b>No bid</b>	<b>Disqualified</b>
	<b>Year 3</b>	<b>No bid</b>	<b>No bid</b>	<b>No bid</b>	<b>No bid</b>	<b>Disqualified</b>
	<b>Year 4</b>	<b>No bid</b>	<b>No bid</b>	<b>No bid</b>	<b>No bid</b>	<b>Disqualified</b>
	<b>Total</b>	<b>No bid</b>	<b>87.40</b>	<b>262.20</b>	<b>No bid</b>	<b>Disqualified</b>
<b>JF Property Services</b>	<b>Year 1</b>	<b>35,107.20</b>	<b>2,704.80</b>	<b>5,354.40</b>	<b>897.58</b>	<b>Disqualified</b>
	<b>Year 2</b>	<b>No bid</b>	<b>No bid</b>	<b>No bid</b>	<b>No bid</b>	<b>Disqualified</b>
	<b>Year 3</b>	<b>No bid</b>	<b>No bid</b>	<b>No bid</b>	<b>No bid</b>	<b>Disqualified</b>
	<b>Year 4</b>	<b>No bid</b>	<b>No bid</b>	<b>No bid</b>	<b>No bid</b>	<b>Disqualified</b>
	<b>Total</b>	<b>35,107.20</b>	<b>2,704.80</b>	<b>5,354.40</b>	<b>897.58</b>	<b>Disqualified</b>

**AND WHEREAS** the tenders were reviewed at a regular monthly meeting of the Recreation, Culture, Events Committee held on April 23, 2026;

**AND WHEREAS** the Recreation, Culture, Events Committee reviewed the tenders and recommended that the tender submitted by 101533 PEI Inc. Kelly Stewart be accepted, as it meets the tender requirements, the equipment proposed is adequate, and the overall cost is the lowest.

**BE IT RESOLVED** that the grass cutting tender submitted by 101533 PEI Inc. Kelly Stewart in the amount of \$120,232.50 (GST included) for the 2-year contract of 2026 and 2027 with the option to renew for 2 additional years, for a total amount of \$249,552.30 be accepted.

**This resolution bears the recommendation of the Recreation, Culture, Events Committee as discussed at a meeting held on April 23, 2026.**

**CARRIED 5-0**

**11. FINANCE AND TECHNOLOGY**

a) **Report**

The following is an overview of projects and items being worked on within the Finance Department.

- Staff are working on Updating Budget Files in Townsuite for 2026-27.
- Utility bills are due on May 15, 2026.
- Attended meeting with Stratford’s provincial representatives.
- Auditors were on site to do CCBF audit (gas tax) on April 15th .
- Auditors also did some preliminary audit work when they were onsite.
- ICIP claims were submitted up to March 31, 2026.
- Met with Management team on Payroll questions around timecards.
- Finance staff are cross training to infill internal position.
- Met with the different departments to review Casual Wage Budget for 2026-27.
- Attended FPEI Annual Meeting.
- Attended Official plan meeting with staff and council.
- Attended session with Even for One and RCMP on human trafficking.
- Reviewed Utility Bylaw 21 for the Utility department. Looking forward to getting this bylaw updated.
- Staff are busy with day-to-day items.

b) **Financial Statements**

The report was included in the agenda package for council to review.

**12. PLANNING DEVELOPMENT AND HERITAGE**

a) **Report**

The report was included in the agenda package for council to review.

b) **Permit Summary**

The reports were included in the agenda package for council to review.

c) **Resolution-PH005-2026-SD004-25-CMLMT-Cond. Uses-2026 Proposal**

<b>Motion Carried</b>	_____	<b>Council Chambers</b>
<b>Motion Lost</b>	_____X_____	<b>Town Council</b>
<b>Motion Deferred</b>	_____	<b>May 13, 2026</b>

**Committee**  
**Moved by Councillor**  
**Seconded by Deputy Mayor**

**Planning & Heritage**  
Jeff MacDonald  
Steve Gallant

**WHEREAS** an application was received from CMLMT Holdings Ltd. on February 10, 2025, for a proposed subdivision (SD004-25) to change the boundaries of PID’s 190173 & 529545 for the creation of 2 lots and an extension of Swallow Drive, and

**WHEREAS** the original purpose of SD004-25 was for the future construction of one (1) 8-unit Stacked Townhouse Dwelling (South Lot) and two (2) 10-unit Stacked Townhouse Dwellings (North Lot), and

**WHEREAS** on September 5th, 2025, the Planning Committee made a recommendation to Council to approve the proposed subdivision and the development on the South Lot, while deferring a recommendation on the proposed development pending more information for the North Lot, and

**WHEREAS** on September 10th, 2025, Council granted preliminary approval to the Swallow Drive Extension, Subdivision Application SD004-25, to change the boundaries of the PID's 190173 & 529545 and defer making a decision on the development of the South Lot due to it being a late submission item to Council, and

**WHEREAS** on September 17th, 2025, at a Special Council Meeting, Council denied the original application from CMLMT Holdings Ltd., Resolution PH048-25, for an 8-unit Stacked Townhouse Dwelling complex on the new south lot created by the Swallow Drive Extension Subdivision (SD004-25), and

**WHEREAS** on September 24, 2025, at a Committee of the Whole meeting, this proposed development was revisited by the Committee who determined that they needed more information to see the entire proposed development for both the North and South Lots, and

**WHEREAS** the developer was informed that they needed to submit a revised site plan for both lots, show a reduction in the number of units on the North Lot, to reorientate the buildings on the North Lot, and to provide information on the required landscape buffer for the parking area on the North Lot, and

**WHEREAS** on September 26, 2025, CMLMT Holdings Ltd submitted a revised site plan showing the above requested changes from the Committee of the Whole, and

**WHEREAS** on October 7th, 2025, CMLMT Holdings Ltd. submitted an appeal to the Island Regulatory and Appeals Commission (IRAC) of the September 17th, 2025, decision of Council to deny the original application for an 8-unit Stacked Townhouse Dwelling Complex (which the applicant withdrew after the October 8, 2025, decision of Council), and

**WHEREAS** on October 8th, 2025, Council passed Resolution PH054-2025 that granted approval of One (1) 8-unit Stacked Townhouse Dwelling Building on the South Lot and Two (2) 5-unit Townhouse Dwelling Buildings on the North Lot, and

**WHEREAS** in March 2026, CMLMT submitted a revised proposal for the North Lot seeking to change the approved use of this Lot from Two (2) 5-Unit Townhouse Dwelling Buildings to Two (2) 10-Unit Stacked Townhouse Dwelling Buildings, which are conditional uses, and

**WHEREAS** under Section 7.3.3 of the Zoning Bylaw, *when an application has been received that seeks approval of a matter that has been denied, it will not*

*be reconsidered unless it is demonstrated that it is different from the previous application and altered to meet the requirements of the Bylaw, and*

**WHEREAS** the new application has demonstrated that it is different from the previous (original) application and altered to meet the requirements of the Bylaw as follows:

- That the new application (site plan) shows the orientation of the buildings and parking lot on the North Lot reversed or mirror imaged from the original application (site plan);
- That the new application parking lot design meets the Bylaw requirements of 30 parking spaces (shows 32 parking spaces), whereas the original parking lot design only showed 26 parking spaces, below the required 30 parking spaces;
- The new application (site plan) shows the location of the garbage cans in between the proposed two buildings making it more compact, easier to enclose, and more discrete, whereas the original application (site plan) showed the garbage cans in two separate locations in front of each building and not visually pleasing.
- The new application (site plan) shows a landscape vegetation buffer/screening along the full-length of the common property line, whereas the original application (site Plan) did not show any landscape vegetation buffer/screening along the full-length of the common property line. and,

**WHEREAS** at the March 30, 2026, Planning Committee meeting, planning staff and planning committee members also discussed the origin of the North Lot and South Lot, which were one lot originally back to the Community of Bunbury days (pre-1995) and zoned R2 (since at least 1984) medium density permitting duplex and semi-detached dwellings. Residential development patterns in those days were mostly bungalow/rancher, duplex, and semi-detached dwelling types. Since then, and with the amalgamation to create the Town of Stratford, housing types have been evolving into more multi-unit and stacked dwelling types (universally) to meet the market demands and affordability. Considering the unique rectangular shape of the recently created North and South Lots, combined area totaling approximately 1.28 acres, both lots are not being capable of being subdivided, therefore making them more suitable for accommodating multi-unit buildings to complement the shape of both lots.

**WHEREAS** pursuant to Section 11.3.3 of the Town of Stratford Zoning and Development Bylaw #45, prior to the issuance of a Development Permit for a Conditional Use, Council shall ensure that property owners that directly abuts the subject property are notified in writing and asked to provide their comments, and

**WHEREAS** in March 2026, information letters were sent out to the ten (10) abutting property owners seeking comments on the proposed change of the conditional use proposed for the North Lot from two (2) 5-Unit Townhouse Dwelling Buildings to Two (2) 10-unit Stacked Townhouse Dwelling Buildings, and

**WHEREAS** two (2) emails were received from residents who received direct notification, expressing some comments on the proposal and four (4) emails from residents outside of the required conditional use notification radius were also received, and

**WHEREAS** this subject land has been located within the Medium Density Residential (R2) Zone from the before the Town was established in 1995 and the shape of the subject land in question having narrow frontage and elongated shape makes it not conducive for just a single unit dwelling, the Committee made a recommendation to Council approve this new application.

**BE IT RESOLVED** that Council grants approval of the application submitted from CMLMT Holdings Ltd. in March 2026, seeking to change the future conditional uses for the lots to be created by Subdivision SD004-25, granted preliminary approval by Council Resolution PH054-2025, subject to the following conditions:

1. That Condition #3 on Council Resolution PH054-2025 be replaced with the following: *“That Two (2) 10-unit Stacked Townhouse Dwelling Buildings are permitted to be constructed on the newly created parcel located North of the Swallow Extension as shown on the survey plans for Subdivision SD004-25*
2. That a Boundary Fence shall be installed along the property line abutting the parking area, to further screen and enhance the safety of this property at the same time of the planting of the required landscaped buffer around the parking area for the North Lot.
3. All other relevant provisions of the Town of Stratford Zoning and Development Bylaw #45 are met.

***This resolution bears the recommendation of the Planning & Heritage Committee as discussed at a meeting held on March 30, 2026.***

**Discussion:**

Phil Rough, Town Planner advised that the planner’s report was previously presented to the Planning Committee and was deferred from the last Council meeting to allow for clarification of issues and additional consultation with residents.

The current proposal pertains to the north lot and includes the development of two 10-unit stacked townhouse buildings. The building footprints remain unchanged from the originally approved design; however, the revised plan replaces previously approved units with a configuration that results in a modest increase in overall density.

Due to access constraints, the layout has been revised, with buildings reoriented closer to Mason Road and the ball field, and parking relocated

accordingly. Access will now be provided via the extension of Swallow Drive, which is currently under construction.

Design modifications include relocating the waste collection area further from neighbouring properties and incorporating a landscaped buffer along the parking area, as required by regulations. The developer also intends to retain as many existing mature trees as possible to enhance screening and minimize site disturbance.

Councillor MacDonald requested comment on the massing of the proposed buildings in relation to planning principles and zoning for the area.

Phil Rough, Town Planner advised that the proposed buildings will be below the maximum permitted height of 35 feet, with the current design estimated at approximately 26 feet. He noted that the height is consistent with existing and potential development in the surrounding area.

It was further explained that the neighbourhood includes a mix of single-storey and two-storey dwellings, as well as semi-detached homes and townhouses. As such, the scale and massing of the proposed buildings are considered compatible with the character of the area and align with applicable zoning and planning principles.

Councillor MacDonald inquired whether any traffic concerns had been identified by Transportation staff or traffic engineers.

The Town Planner advised that the proposal was circulated to Transportation staff, and no requirement for a traffic study was identified. He noted that traffic patterns in the area are expected to change with the completion of the Swallow Drive connection to Mason Road, which will provide multiple access points to the neighbourhood.

Councillor MacDonald inquired how the proposed development aligns with the objectives of the Official Plan, particularly regarding housing diversity and increased density.

The Town Planner advised that the Official Plan encourages a range of housing types and a transition toward higher-density, more efficient forms of development. He noted that, as developable land becomes limited, there is a need to move beyond traditional single-detached housing and support more intensive land use. The proposed development aligns with these objectives by promoting housing diversity and making more efficient use of available land and municipal services.

Councillor MacDonald requested the Town Planner's professional opinion on the proposed development.

The Town Planner advised that the proposed development complies with the Zoning Bylaw requirements. While the development is larger in scale than some nearby properties, it is situated on one of the last remaining larger lots in the area.

He noted that lot coverage and building size are consistent with what is permitted, with the proposal utilizing approximately 13.5% lot coverage, well below the maximum allowance of 30%. As a result, significant open space will be maintained on the site, comparable to or greater than surrounding properties.

Deputy Mayor Gallant expressed concerns regarding the proposed development, noting support for the developer's previous work and community engagement efforts. However, he indicated opposition to the current proposal, citing concerns that it does not align with the intent of the existing R2 zoning and the established character of the neighbourhood.

Deputy Mayor emphasized the importance of maintaining consistency with zoning regulations and the Official Plan, as well as protecting resident expectations, neighbourhood character, and infrastructure capacity. Concerns were also raised regarding density, traffic, and overall compatibility with the surrounding area.

Deputy Mayor advised that, based on these considerations, he would be voting against the proposal.

Councillor Chandler advised that the decision had been carefully considered and acknowledged the significant impact of such developments on the future of the Town. She expressed appreciation for the developer's presentation, noting it addressed aspects such as housing supply, affordability, and parking management.

However, she raised concerns regarding the Town's current limitations in enforcing parking regulations and the potential impacts on traffic, safety, and quality of life. She also noted that while the proposal contributes to housing diversity, it does not fully address broader housing affordability challenges.

Councillor Chandler further noted that, although there is a range of housing types in the area, the proposed development represents a significant change for long-standing residents. She expressed concern regarding the overall density, site context, and potential impacts on the surrounding neighbourhood.

She concluded that, while she recognizes the merits of the proposal, the long-term implications require careful consideration, and she indicated that she would not be supporting the application.

Councillor Dowling acknowledged the developers' strong reputation, and the efforts made to work with Town staff to address concerns raised by residents, Council, and staff.

However, he expressed the view that the proposed development does not align with the general character of the surrounding neighbourhood. He noted that area residents have consistently voiced opposition to higher-density developments that differ from the established character of the area.

While recognizing that similar projects may be suitable elsewhere, Councillor Dowling indicated that this proposal is not appropriate for the location and advised that he would not be supporting the resolution.

Councillor Cox acknowledged that the application has been a lengthy and carefully considered matter, with due consideration given to both residents and the developer. He noted that, while he had initially opposed the proposal, he has since reviewed the project further, including site visits and discussions.

Councillor Cox reflected on the evolution of development within the Town and recognized the need to support a broader range of housing types. While noting that the proposal is not without concerns, he expressed support for moving forward with diverse housing opportunities. Councillor Cox advised that, based on these considerations, he would be voting in favour of the proposal.

Councillor MacDonald acknowledged that the matter has been before Council for an extended period and recognized that this has been challenging for residents. He noted that a decision is required to bring resolution for all parties involved.

He emphasized that the application requires a careful balancing of planning principles, including maintaining neighbourhood character, respecting resident input, and supporting appropriate development and housing diversity in line with the Official Plan.

Councillor MacDonald commended residents for their thoughtful input and the developer for their responsiveness in addressing concerns, including adjustments to buffering, massing, and overall design. He also recognized the significant effort by planning staff in presenting the matter.

Based on his assessment, Councillor MacDonald advised that the proposal meets the objectives of the Official Plan, including housing diversity, appropriate scale, and land use, with no identified traffic concerns. While acknowledging resident concerns, he concluded that the balance of considerations supports approval of the development and indicated he would be voting in favour of the resolution.

Mayor Ogden expressed appreciation to planning staff, the developer, and residents for their engagement and the respectful, thoughtful discussion throughout the process. He noted that the information presented has been comprehensive and valuable to Council's deliberations.

He emphasized Council's goal of supporting housing development that meets community needs while maintaining quality of life for residents. The Mayor highlighted the importance of achieving balance, noting a preference for

compatible housing forms within neighbourhoods, with appropriate transitions and buffering between different densities.

He further noted the importance of encouraging additional housing while ensuring that development is considerate of existing neighbourhood character and resident expectations.

Councillor Cox emphasized the importance of appropriate buffering, spacing, and maintaining compatibility between housing types within neighbourhoods. He noted that the decision is significant for both current and future residents, as well as for developers.

He acknowledged the concerns raised by residents and indicated that he carefully considered all perspectives. Councillor Cox stated that Council must balance protecting existing neighbourhood character with the need to accommodate future growth and diverse housing options. Based on these considerations, he advised that he would be voting accordingly.

**MOTION LOST (3-2)**

d)	<b><u>Resolution PH007-2026-DP017-26-MRA-9 Kinlock Rd.-Part 3 Comm</u></b>	
	<b>Motion Carried <u>  X  </u></b>	<b>Council Chambers</b>
	<b>Motion Lost <u>          </u></b>	<b>Town Council</b>
	<b>Motion Withdrawn <u>      </u></b>	<b>May 13, 2026</b>

<b>Committee</b>	<b><u>Planning &amp; Heritage</u></b>
<b>Moved by Councillor</b>	<b><u>Jeff MacDonald</u></b>
<b>Seconded by Councillor</b>	<b><u>Jill Chandler</u></b>

**WHEREAS** an application has been received from MRA Architecture + Design to construct a MacDonald’s Restaurant being a Part 3 Commercial development, at 9 Kinlock Road, located on PID 859637 (approximately 13.9 acres in total area) zoned Town Centre Commercial (TCC); and

**WHEREAS** in accordance with subsection 1.5.1. of the Zoning and Development Bylaw #45 (the Bylaw) Part 3 Commercial Buildings require preliminary approval from Council as the development falls outside of the authority of a Development Officer; and

**WHEREAS** the proposed development has demonstrated general conformance with the Bylaw.

**BE IT RESOLVED** that preliminary approval be granted to DP017-26 subject to the following conditions:

1. General conformance with the Preliminary Design Package prepared by MRA Architecture + Design, Dossier MCD 2602-1361, dated February 2026.

2. That the internal road network of the parking lot shall streamline vehicle circulation and safety to be approved by the Town of Stratford in collaboration with the Department of Transportation (DTI).
3. That the internal road network of the parking lot shall improve pedestrian connections and safety to be approved by the Town of Stratford.
4. A detailed stormwater management plan shall be prepared by a qualified engineer and approved by both the Town of Stratford and DTI.
5. A detailed erosion and sedimentation control plan shall be prepared by a qualified engineer showing how erosion and sedimentation will be controlled and contained during construction and be approved by the Town of Stratford.
6. A detailed landscaping plan shall be prepared by a professional landscape architect outlining the details and quantities of the materials to be used and be approved by the Town of Stratford.
7. A detailed servicing plan shall be prepared by a qualified engineer and be approved by the Stratford Utility Corporation. All servicing shall be in accordance with the Stratford Utility Corporation's Servicing Regulations including payment of all applicable fees.
8. All other relevant provisions of the Town of Stratford Zoning and Development Bylaw #45 and Town Centre Core Area Design Standards are met.

***This resolution bears the recommendation of the Planning & Heritage Committee as discussed at a Planning & Heritage Committee meeting held on May 4, 2026.***

**Discussion:**

Sarah Kennedy, Development Officer was in attendance regarding her application. Councillor MacDonald noted that discussion at the Planning Committee primarily focused on traffic flow within the parking lot, potential routing, and pedestrian access.

Councillor MacDonald invited Sarah to speak to these matters, with reference to Attachment 7B-3 (Proposed Parking Lot Reconfiguration), and to outline the new features to be incorporated, including sidewalks, curbing, and other traffic control measures.

Sarah Kennedy advised that Town planning staff met with the Department of Transportation regarding the proposed development and worked to incorporate their recommendations into a reconfiguration of the parking lot. A key concern identified was the increase in left-hand turns toward the development area.

In response, the Town is working with the property owner to finalize a revised parking lot layout. One proposed solution includes the introduction of curbing to restrict immediate left-hand turns and redirect traffic to a newly designed curved intersection, thereby improving traffic flow and providing a more defined route to adjacent businesses.

Additionally, the Town identified the importance of safe pedestrian access. Existing bylaws require that all principal buildings within the Town Centre Core be connected by sidewalks or crosswalks. The proposal includes a new crosswalk and sidewalk network to enhance pedestrian safety, particularly for students travelling between nearby schools and commercial areas.

Councillor Cox raised concerns about increased student traffic once the new high school and junior high are built, noting many may visit the nearby McDonald’s. He emphasized the need for strong pedestrian safety measures, particularly given the busy roadway and potential volume of students crossing at peak times.

Councillor Chandler expressed support for measures to improve traffic flow within the parking lot, noting some existing areas of confusion for drivers. Concerns were raised about vehicles entering from the Trans-Canada Highway, particularly where drivers may slow to turn into nearby businesses while traffic continues behind them.

Councillor Chandler also highlighted potential safety issues related to increased vehicle and pedestrian traffic, particularly with future student activity, and noted a lack of clear accommodations for pedestrian movement on the east side of the parking lot.

Councillor Dowling expressed support for the proposed development, noting it is appropriate for the zoning and a good fit for the area. He acknowledged that future planning may be required to address traffic and pedestrian impacts associated with the new schools, but indicated these considerations are not immediate factors. Councillor Dowling stated that safety measures can be addressed as needed over time and confirmed his support for the project.

The Deputy Mayor expressed support for the project and suggested that, in the future, an overpass across the Trans-Canada Highway could be considered to improve pedestrian safety, particularly for students, similar to structures in other communities. It was noted that such infrastructure would likely require provincial involvement and funding.

The Deputy Mayor also referenced similar developments underway in Charlottetown and welcomed the continued investment in Stratford.

**(CARRIED 5-0)**

**13. INFRASTRUCTURE**

a) **Report**

The report was included in the agenda package for council to review.

b) **Resolution-INC003-2026 Harbour View Sewer Redirection**

<b>Motion Carried</b>	<b><u>  X  </u></b>	<b>Council Chambers</b>
<b>Motion Lost</b>	<b>  ___  </b>	<b>Town Hall</b>
<b>Motion Withdrawn</b>	<b>  ___  </b>	<b>May 13, 2026</b>

**Committee**

**Moved by**

**Seconded by**

**Infrastructure**

Deputy Mayor Steve Gallant

Councillor Gordie Cox

**WHEREAS** the 2026 Utility capital budget includes \$300,000.00 (excluding HST) for the construction of the Harbour View Sewer Redirection project; and

**WHEREAS** tenders were received on April 28, 2026, with two compliant bids submitted, as follows:

<b>Contractor</b>	<b>Bid Excluding HST</b>
Island Coastal Services Ltd.	\$153,570.00
Birt & MacKay Construction	\$155,290.65

**AND WHEREAS** Island Coastal Services Ltd., having submitted the lowest bid, has completed satisfactory work for the Town in the past and has been recommended by the consultant for acceptance; and

**WHEREAS** the engineering fees are estimated to be \$37,000.00 (excluding HST), for a total estimated project cost of \$190,570.00 (excluding HST).

**BE IT RESOLVED** that the Harbour View Sewer Redirection project be awarded to Island Coastal Services Ltd. in the amount of \$153,570.00 (HST excluded).

***This resolution bears the recommendation of the Infrastructure Committee as determined via email poll conducted between May 1st and May 4th, 2026.***

**Discussion:**

Councillor MacDonald requested additional background information on the proposal, asking staff to explain its purpose and what it is intended to achieve.

Jeannie Woodard, Infrastructure Director explained that the project involves decommissioning an older, small lift station on Harbourview Drive that currently services approximately six properties. A newer, larger lift station installed during the development of Sheppard Drive (2011–2012) has sufficient capacity to service the area. Now that surrounding development is complete and operational, flows can be redirected to the newer station. This will eliminate redundancy and reduce ongoing operational and maintenance requirements.

**CARRIED 4-0**

c) **Resolution INC004-2026-Ducks Landing Multi-Use Path**

**Motion Carried**   X  

**Motion Lost**       

**Motion Withdrawn**       

**Council Chambers**

**Town Hall**

**May 13, 2026**

**Committee**

**Infrastructure**

**Moved by**

Deputy Mayor Steve Gallant

**Seconded by**

Councillor Ron Dowling

***WHEREAS*** the Town’s Active Transportation Plan has identified Ducks Landing as a high priority area for Active Transportation installations and improvements; and

***WHEREAS*** funding has been received for the project from the PEI Active Transportation Fund for 50% of eligible project costs; and

***WHEREAS*** a tender call was prepared, and tenders were received on April 23, 2026, with four compliant bids submitted, as follows:

<b>Contractor</b>	<b>Bid Excluding HST</b>
Landmark Construction	\$701,663.00
Chapman Bros. Construction Ltd.	\$875,876.55
Island Coastal Services Ltd.	\$941,571.43
Birt & MacKay Backhoe Services Ltd.	\$943,189.80

***AND WHEREAS*** Landmark Construction, having submitted the lowest bid, has completed satisfactory work for the Town in the past and has been recommended by the consultant for acceptance; and

***WHEREAS*** the engineering fees are estimated to be \$93,000.00 (excluding HST), for a total estimated project cost of \$794,663.00 (excluding HST), which is within the capital budget approved for the project.

***BE IT RESOLVED*** that the Ducks Landing Multi-Use Path project be awarded to Landmark Construction in the amount of \$701,663.00 (HST excluded).

***This resolution bears the recommendation of the Infrastructure Committee as determined via email poll conducted between May 6th and May 7th, 2026.***

**CARRIED 5-0**

d) **Resolution-INC005-2026 Additional Hydrant Supply & Installation in Core**

**Area**

**Motion Carried**   X  

**Council Chambers**

**Motion Lost**       

**Town Hall**

**Motion Withdrawn**       

**May 13, 2026**

**Committee**

**Infrastructure**

**Moved by**

Deputy Mayor Gallant

**Seconded by**

Councillor Jeff MacDonald

***WHEREAS*** four tenders were received on April 15, 2026, for the supply and installation of ten hydrants along Kinlock Road and the Trans Canada Highway, with results as follows:

Contractor	Bid Excluding HST
Birt & MacKay Construction	\$230,905.00
Birch Hill Construction Ltd.	\$315,600.00
Island Coastal Services Ltd.	\$342,534.00
Landmark Construction	\$345,000.00

**AND WHEREAS** funds for this project have been approved in the capital budget in the amount of \$300,000; and

**WHEREAS** a change of scope to add two additional hydrants along Mason Road was negotiated with the low bidder, Birt & MacKay Construction, to allow for twelve hydrants to be installed in total; and

**WHEREAS** Birt & MacKay Construction has agreed to supply and install twelve hydrants for a cost of \$284,905.00 excluding HST.

**BE IT RESOLVED** that the Additional Hydrant Supply & Installation in Core Area tender, increased scope, be awarded to Birt & MacKay Construction in the amount of \$284,905.00 (HST excluded).

***This resolution bears the recommendation of the Infrastructure Committee via an email poll conducted on May 4, 2026***

**Discussion:**

Councillor MacDonald referenced previous resident inquiries regarding fire coverage and hydrant servicing, noting that this resolution had been identified as a step toward addressing those concerns. He asked staff to clarify the next steps moving forward.

Jeannie Woodard advised that this is the final year addressing identified gaps within the core service area. Beginning next year, and with guidance from the Fire Department’s upcoming master plan, the Town intends to prioritize and expand hydrant servicing into subdivision and residential areas through a phased infill approach.

**CARRIED 5-0**

**14. COMMITTEE OF THE WHOLE**

Nil.

**15. SUSTAINABILITY**

a) **Report**

The Sustainability Committee met on May 6th and have the following updates:

**2026 Water School Program**

Water School began on April 13th and wrapped up April 28th, having successfully educated 18 classes of Grade 5 students on water conservation.

This program is a cross-municipality collaboration as Stratford, Cornwall, and Charlottetown each host a week of Grade 5 classes, in collaboration with various watershed groups including primarily the Stratford Area Watershed Improvement Group. Following the end of the program this year, we will hold the annual Water School Art Contest and are looking forward to reviewing the many art submissions.

**Community Campus Net-Zero OJT student project**

The Town has recently awarded the contract for design services for the Community Campus Wellness Centre. The facility will be designed as “Net Zero-Ready”. Knowing that this facility will require a significant amount of energy the Town has begun initial thinking around this challenge. Recently, the Town hosted one OJT student from the Holland College Energy Systems Engineering Technology program. The student worked closely with both Infrastructure and Sustainability staff on researching large-scale renewable energy opportunities in Stratford. The work explored areas such as current regulations, examples of similar projects in PEI, battery storage feasibility, funding options, potential renewable energy types (solar, wind, geothermal), estimated costs, and possible locations within the Town for set-up of a large-scale renewable energy generation system. Staff will continue to work on the goal of Net Zero for the community campus.

**Business Community Update**

Following a positive and well-attended business community networking mixer in January, a number of business professionals came together with Town staff and council on February 19 to participate in a roundtable discussion. With assistance from councilors, staff intend to work with interested business community members to revive this group and deliver on some of the events and activities they are seeking.

The next event is being worked on and is anticipated to take place in late May or early June with a Lunch and Learn with the RCMP.

**b) Transit Report**

The report was included in the agenda package for council to review.

**Discussion:**

Councillor Dowling inquired about the status of the Town’s intra-town transit pilot, noting that previous ridership levels had been low. He asked whether usage has improved and whether additional strategies could be implemented to better promote the service.

Councillor Dowling emphasized the importance of the service in enabling residents to travel within the Town without relying on routes through other communities. He noted that the long-term viability of the pilot will depend on consistent ridership and expressed concern that, without increased uptake, future councils may find it difficult to maintain the service.

Jeremy Pierce, Acting CAO advised that discussions have taken place with T3 transit operators on improving the intra-town Stratford routes. It was noted that

a broader joint review between the Town and T3 is needed to determine the most effective approach.

Ridership has shown gradual improvement, with drivers reporting new users accessing the service. The introduction of a new minibus was identified as a potential means to increase interest and usage.

The Acting CAO also noted that discussions have begun regarding enhanced marketing strategies and opportunities to encourage greater student use of transit. Recent conversations with provincial representatives highlighted the importance of improved public transit access to support future school development, including the new Stratford High School, as well as more efficient connections for students travelling to existing schools.

Councillor Chandler noted increased engagement on the Town's social media regarding transit, including posts about fares, and advised that promotion efforts, including the new minibuses, will continue.

In response to a question from Councillor Chandler, it was confirmed that all users, including students in Grades K–12 who ride free of charge, are counted in ridership statistics. While fare categories are tracked separately by T3, overall ridership figures include both paid and non-paid users.

Councillor Chandler noted that current reporting does not clearly distinguish non-paying riders and raised questions about student ridership levels and subsidies. It was also acknowledged that broader discussion is needed, including consideration of safety concerns related to low-cost, long-distance transit use by students.

## **16. INTERGOVERNMENTAL AFFAIRS AND ACCOUNTABILITY**

### **a) Report**

The report was included in the agenda package for council to review.

## **17. INQUIRIES BY MEMBERS OF COUNCIL**

Councillor Cox suggested adding a dedicated "Seniors" section to the Town's website to provide easy, centralized access to information relevant to senior residents, such as transit services and recreation programs. He noted this would improve accessibility and reduce difficulty for users who may find navigating the website challenging.

Councillor Dowling raised concerns about the condition and future use of the outdoor rink at Starling Park, noting its past popularity for activities such as roller hockey and informal use. He observed that the facility is currently underutilized and that the seasonal window for ice usage continues to narrow.

Councillor Dowling inquired about short-, medium-, and long-term plans for the rink, suggesting consideration of a more durable multi-use surface to support year-round activities. It was agreed that the matter would be referred to the Recreation Committee for further discussion, along with input and recommendations from the Recreation Department.

**18. OTHER COMMITTEES**

a) **Stratford Seniors Complex**

The following is an overview of projects and items being worked on within the Seniors Committee.

- Staff are working on getting quotes for planned capital projects for 2026.
- 2025 Working paper file is in with the auditors. Sent email to MRSB to ask when draft statements will be available.
- Spring clean up is underway. Seniors are excited to see Heidi and her team back for the season.
- Chris will be reviewing the site with the new grass contractors.
- Security cameras are up and running inside and outside the building.
- Spring maintenance is underway by Chris and his team.
- Staff and the Management Committee are reviewing the Management Committee Policy for potential updates.
- There are currently 38 people on the waiting list. (5 on the list are waiting for a 2-bedroom unit. 2 on the list asked to be moved to the bottom, 1 person is not a Senior yet).

The Mayor extended birthday wishes to Viola Murray on the occasion of a milestone birthday, noting that a celebration had been referenced publicly and offering congratulations on behalf of Council.

**19. APPOINTMENTS TO THE COMMITTEES**

Nil.

**20. PROCLAMATIONS**

a) **Melanoma & Skin Cancer Awareness Month**

*Proclamation*

**Melanoma and Skin Cancer Awareness Month**

**May 1 -31, 2026**

*Whereas: It is imperative that communities across Canada be reminded of the importance of sun safety;*

*AND Whereas: Over-exposure to UV radiation is one of the major causes of melanoma and non-melanoma skin cancers;*

*AND Whereas: Skin cancer is the most common of all cancers. 1 in 6 Canadians born in the 1990s will get skin cancer in their lifetimes;*

*AND Whereas: Many people seek sun without taking the advisable precautionary measures and are unaware that any darkening of skin colour, including a tan, is indicative of UV damage;*

***AND Whereas:** Skin self-examinations should be performed on a monthly basis because skin cancers are highly treatable when detected early;*

***AND Whereas:** Save Your Skin Foundation is dedicated to the fight against non-melanoma skin cancers, melanoma and ocular melanoma through nationwide education, advocacy, and awareness initiatives:*

***Therefore, Be it Resolved** that I, Steve Ogden, Mayor of Stratford, do hereby proclaim the month of May as “Melanoma and Skin Cancer Awareness Month” in the Town of Stratford.*

***In Witness,Whereof:** I have set my hand and caused the seal of the Town of Stratford to be affixed hereto.*

***Signed:***  
\_\_\_\_\_ this \_\_\_\_ day of \_\_\_\_\_ 2026

**21. OTHER BUSINESS**

No.

**22. ADJOURNMENT**

Mayor Ogden adjourned the meeting at 6:43 PM.



Water School

# Art Contest Winners 2026



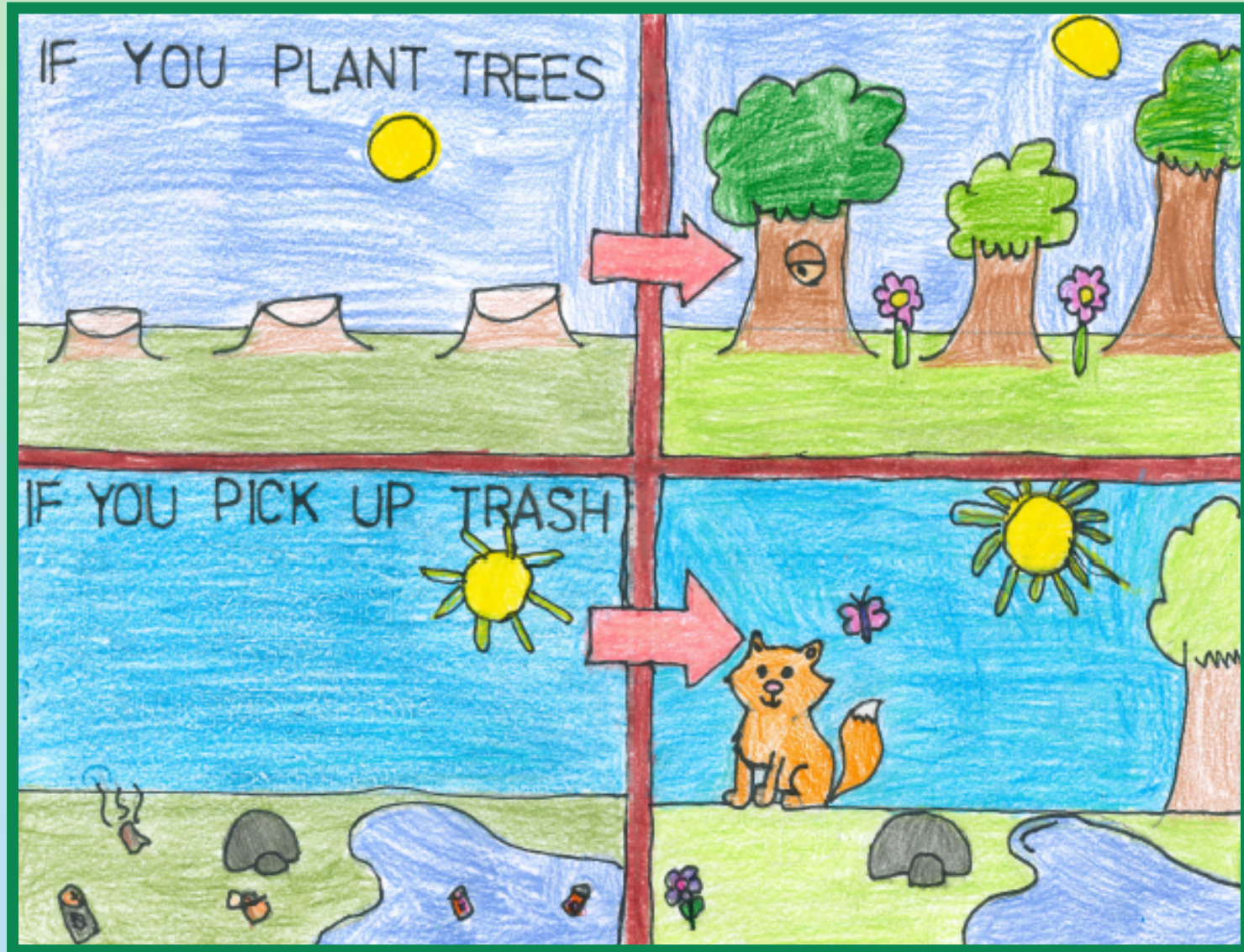
# January - Delilah Fudge



# February - Avery Anderson



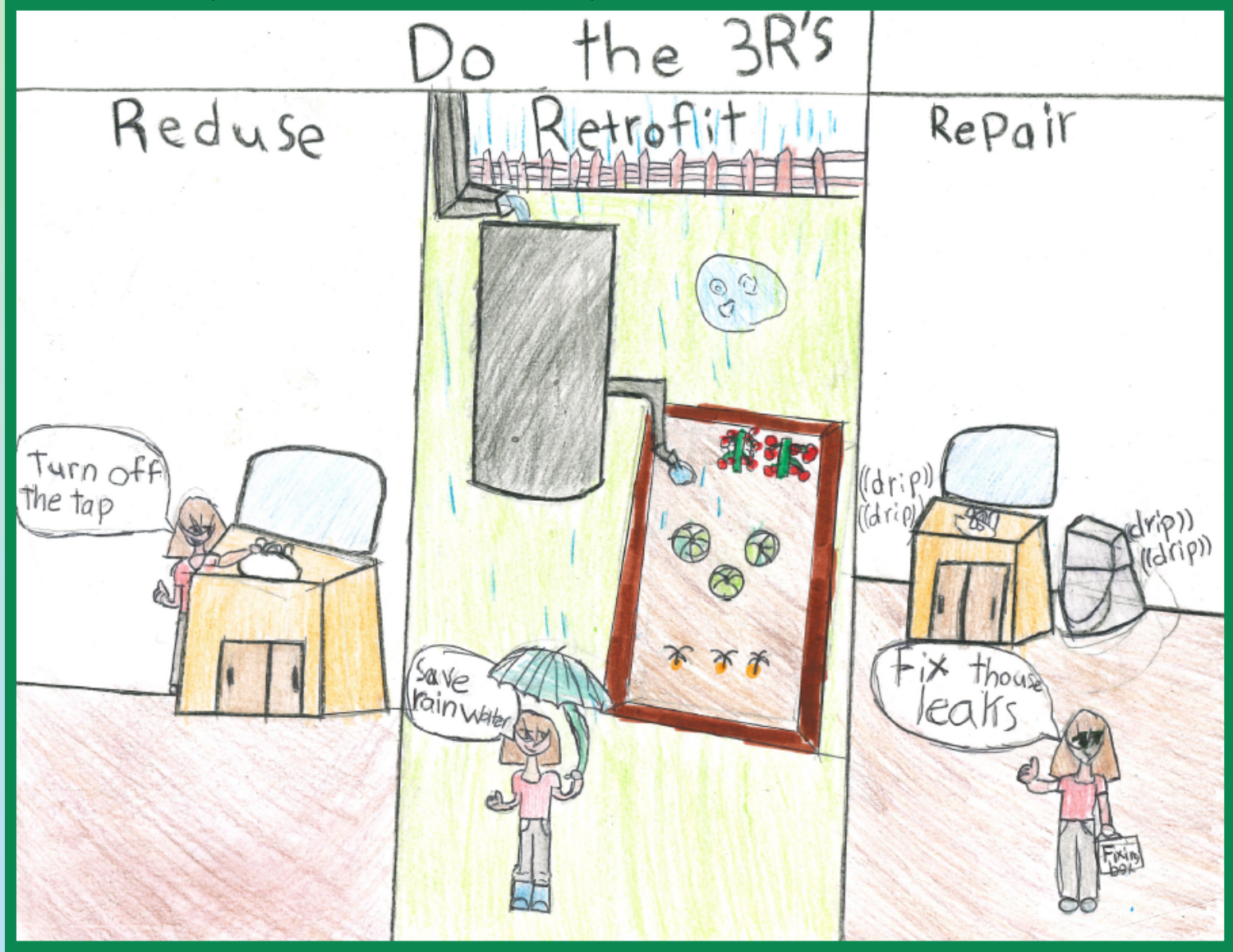
# March - Brooklyn Hansen



# April - Charlotte Smith



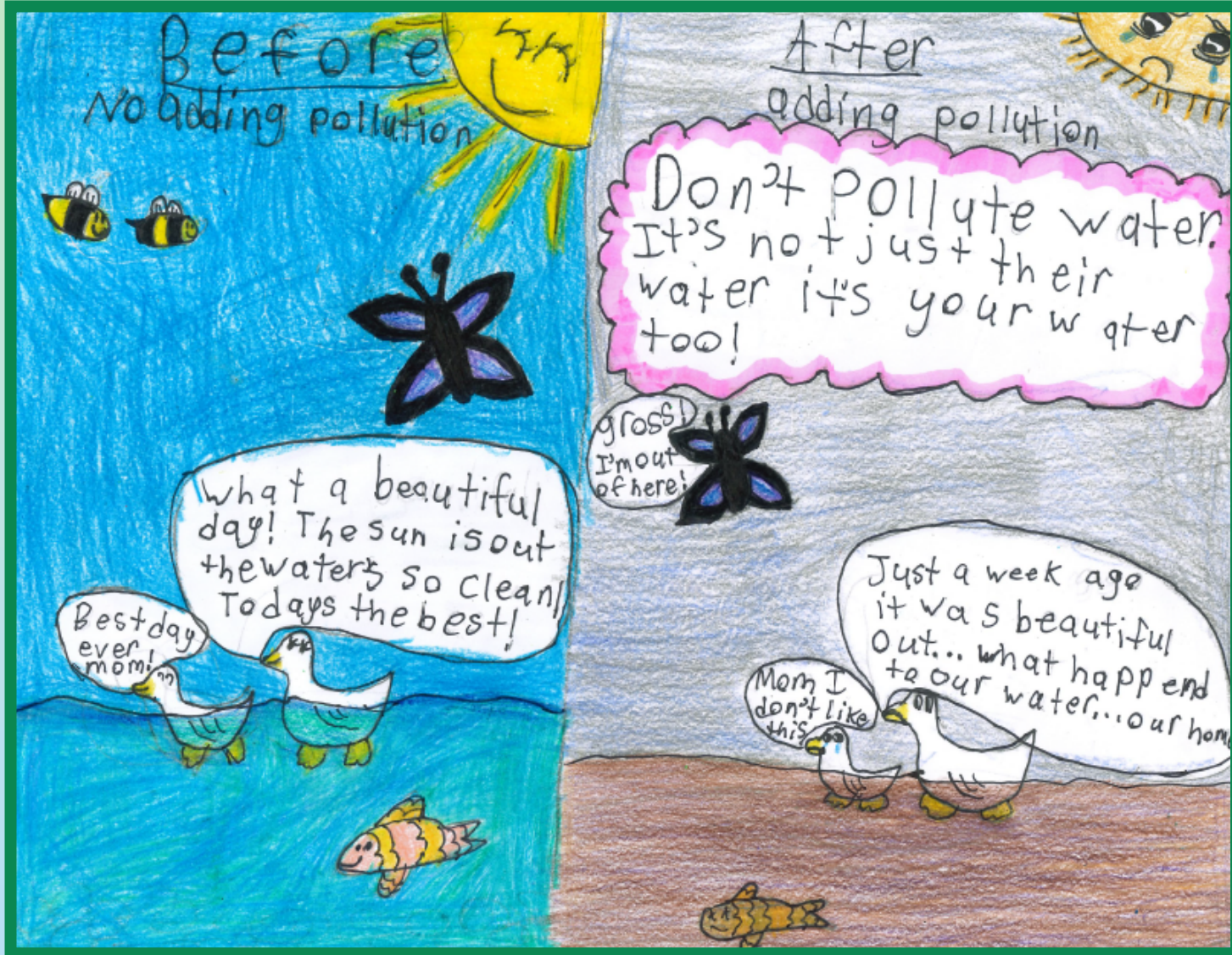
# May - May Alhalali



# June - Jessa Haywood



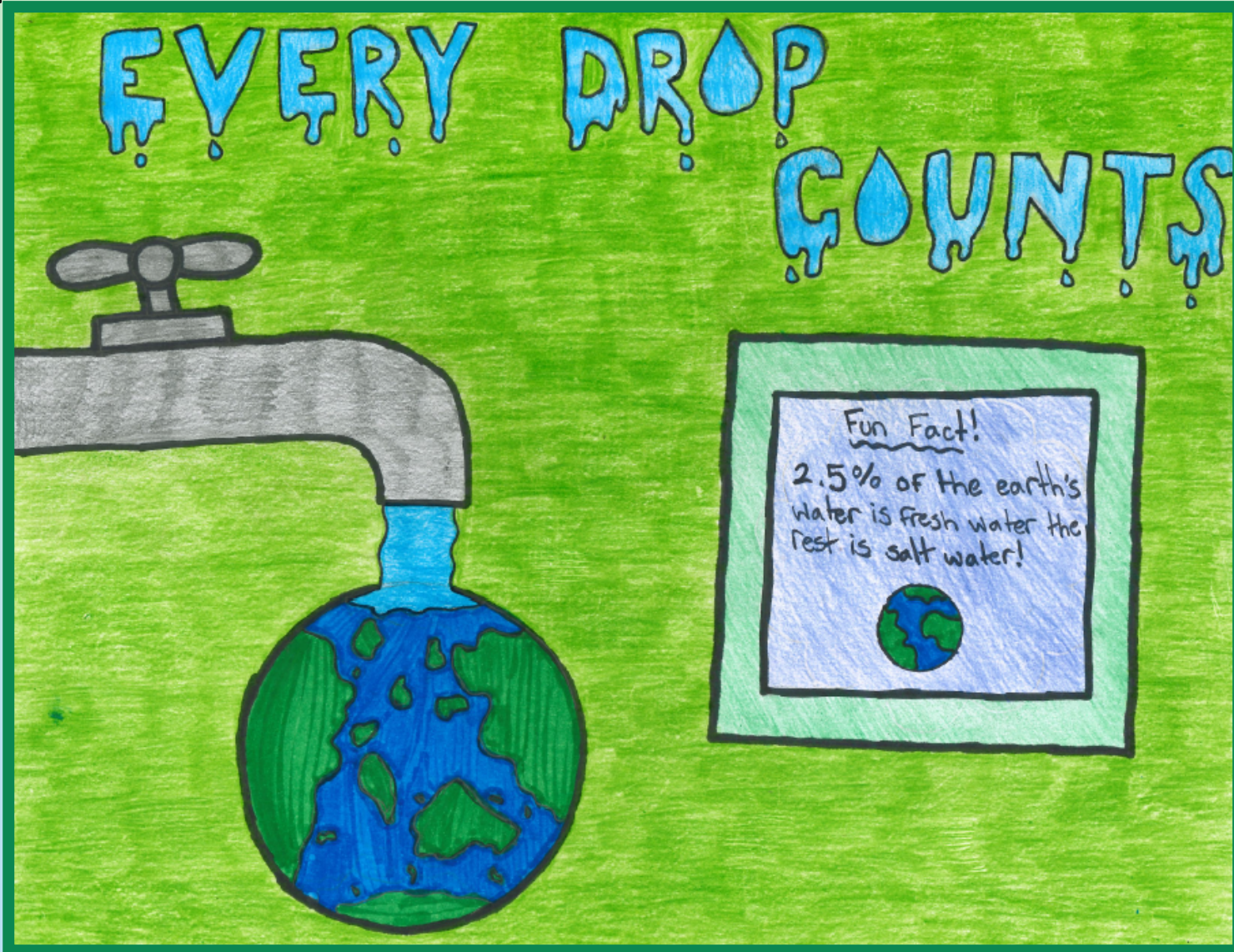
# July - Vivien Piercey



# August - Hayden Stewart



# September - Lana Salter



# October- Kate Deelstra



# November - Mary St. John



# December - Braelyn Dempster

2026 Water School Calendar Winners



Page 41 of 152

Agenda Item #6.a)





Water School

**Congratulations!**



Water School



Mayor's Report

May 2026

May 13 – Chaired monthly Council meeting

- Meeting with Crossroads Fire Company representatives

May 14 – GCCC AGM

May 19 – FPEIM Virtual Policy Committee meeting

May 21 - Chaired regular monthly meeting of Committee of the Whole

- Meeting with Premier Lantz, and MLA Burridge regarding Stratford Community Wellness Centre
- FPEIM Board of Directors meeting

May 27 – Official Plan Council discussion

June 3 – Roadbuilders event

June 4 – Spinal Cord Injury organization event to honour Stratford resident Tony Dolan for his service and dedication

June 5 – Meeting with resident regarding parking issue

Ongoing - Participated in meetings with residents and Staff members, and looked after the day-to-day business and internal affairs of the Town



# **Memorandum**

## **Chief Administrative Officer Report**

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**To:** Mayor & Council

**Date:** June 10, 2026

**From:** Acting CAO

**Re:** CAO Council Report

---

This report outlines key meetings, initiatives, and ongoing work undertaken by the CAO's office since the last Council meeting. Activities span intergovernmental relations, strategic development projects, community partnerships, policy planning, and internal governance.

### **Intergovernmental & Strategic Meetings**

- Meeting with Premier Rob Lantz and Minister Jill Burridge - Participated in a productive meeting focused on funding opportunities for the Community Campus Wellness Centre. Discussions emphasized the project's regional importance, alignment with community health priorities, and the need for provincial support. Follow-up work is ongoing to advance funding considerations.
- Emergency Measures Organization (EMO) Tabletop Exercise and Training - Participated in an EMO tabletop exercise and associated training session. This initiative strengthened preparedness, tested emergency response protocols, and reinforced coordination between municipal and partner agencies.

### **Council & Governance Activities**

- Committee of the Whole Meeting - Met with the Mayor and Council to review and discuss key strategic and operational matters. Discussions supported informed decision-making and alignment on priority initiatives.
- Ongoing Collaboration with Council, Staff, and Consultants - Continued work on the Official Plan and Bylaw Review, focusing on long-term growth management, land use planning, and regulatory modernization.

### **Professional Development & Sector Engagement**

- AMAPEI Education and Training Day - Attended a professional development session for CAOs and HR professionals, focusing on leadership, human resource management, and best practices in municipal administration.
- CAMA Conference Attendance - Participated in the week-long Canadian Association of Municipal Administrators (CAMA) conference. The conference provided valuable training, networking opportunities, and exposure to emerging trends and innovations in municipal governance and leadership.

### **Operational & Project Updates**

- Bell Mobility Tower Agreement - Successfully finalized the agreement for the Bell Mobility tower, representing an important step in enhancing telecommunications infrastructure within the community.
- Stratford Wellness Centre – Program Space Review - Attended a program space review meeting to assess current and future needs of the Stratford Wellness Centre. Work continues to optimize facility use and ensure alignment with community demand.
- Business Park Development - Continued engagement with prospective clients regarding the sale of available Business Park lots, supporting economic development and growth.



# **M e m o r a n d u m**

## **Chief Administrative Officer Report**

### **Community & Stakeholder Engagement**

- Humane Society Contract and Services Meeting - Participated in discussions regarding contracts and service delivery with the Humane Society to ensure effective animal control and welfare services.
- Stratford Lions Club Meeting - Attended a meeting with the Stratford Lions Club to strengthen community partnerships and support local initiatives.
- Resident Meetings - Conducted several meetings with residents to address concerns, provide updates, and gather feedback on municipal matters.

Respectfully submitted,

Jeremy Pierce  
Acting CAO

**SAFETY SERVICES COMMITTEE  
UNAPPROVED MINUTES - REGULAR MONTHLY MEETING  
May 19, 2026**

**DATE:** May 19, 2026  
**TIME:** 4:35 pm - 5:45 pm  
**PLACE:** Bunbury Room  
**PRESENT:** Deputy Mayor Steve Gallant, Vice Chair; Melanie McCarthy; Jordan Thibault; Wilf MacDonald; Jeannie Woodard, Infrastructure Director; and Melanie Stetson, Recording Clerk.  
**REGRETS:** Kate Davidson and Nicole Unterlander  
**CHAIR:** Councillor Ron Dowling

**1. CALL TO ORDER**

The May 19, 2026, Safety Services Committee meeting was called to order at 4:35 p.m.

**2. DECLARATION OF CONFLICT OF INTEREST**

There was no conflict of interest to declare.

**3. APPROVAL OF AGENDA**

The agenda was approved as presented.

**4. WELCOME INVITED GUESTS**

Cpl. Matt Paynter, Stratford RCMP; Dave Swan, Cross Roads Fire Company; Greg McCormick, Fire Chief - Cross Roads Fire Company; and Nicole Phillips, Citizens on Patrol.

**a) RCMP - Report**

During April, the RCMP reported a total of 393 occurrences, which is consistent with the previous month, slightly higher than April 2025 (342 occurrences), and aligned with the town's 12-month average of 351. Of these, 262 incidents (70%) were traffic related. Enforcement actions included 96 tickets, 156 warnings, and six defect notices. There were four impaired driving occurrences, resulting in one charge, along with five tickets issued for driving while suspended. In addition, 13 theft files were reported, nine of which were related to fuel theft and were

determined to be unfounded. There were also nine motor vehicle collisions and 30 other traffic-related enforcement files. Community engagement activities included delivery of the “Healthy Me” program to Grade 6 students at Stratford Elementary and visits to local daycares. Several traffic concerns were raised during the month. A resident reported issues at the corner of Keppoch and Kinlock Road regarding speeding motorcycles, noise, and pedestrian safety. Enforcement efforts, including radar deployment, identified minimal speeding, with only one warning issued. However, the resident requested installation of flashing radar signs at key points along the road, which was brought forward for consideration.

Improvements were noted near the McDonald's/Esso area, with a reduction in illegal U-turns. Concerns were also raised on Hatheway Drive, where residents had placed temporary “slow down” signs and small pylons in the roadway to address perceived speeding and protect children playing nearby. While some residents viewed these measures as necessary, others raised safety concerns about obstructions in the roadway. RCMP members attended the scene, addressed both perspectives, and clarified that such measures are not officially authorized. Residents also reiterated past requests for a speed bump; while RCMP cannot approve this, it was brought forward to the committee. At this time there was a discussion about redeploying radar signs to reassess speeding levels, and the committee noted that traffic calming measures are not intended to allow children to play in the road. The RCMP will increase patrol visibility and temporary speed display signage may help deter speeding. Staff will follow policy in reviewing the request, while broader policy questions may be raised at Committee of the Whole.

b) **Citizens on Patrol - Report (Verbal)**

The group met on May 4 instead of their usual end-of-month meeting and reviewed operations, deciding to focus on volunteer recruitment, including outreach to the Stingray (radio) general manager for public service announcements and additional support from Stratford's Community Engagement Manager. The next meeting is planned for June 1. During a recent evening patrol, members noted increased activity in the area around the McDonald's/Esso area and expect that activity will increase further with the longer summer evenings. They also observed a noticeable rise in children using e-bikes and scooters on both streets and sidewalks, often without helmets, highlighting ongoing concerns about judgement, safety, and the limits of current mitigation measures. Overall, no major incidents were reported.

c) **Fire Company - Report**

In the previous month, there were 21 calls in total—17 in Stratford and 4 in the Cross Roads district. Of the Stratford calls, 10 were false alarms. The remaining incidents included two motor vehicle collisions, one medical first responder call, three carbon monoxide alarms, and one water rescue. False alarms have been increasing, though there is no clear pattern or repeat locations. Carbon monoxide calls are expected to decrease as warmer temperatures reduce stove usage.

Operationally, the department completed several training initiatives. A recent session with the wildfire firefighters focused on updated techniques, strategies, and equipment, which are reviewed every two years. Members were introduced to specialized gear and its application in wildfire response.

Additionally, a weekend training session was conducted for mid-rise firefighting, involving about a dozen members. Mid-rise buildings are defined locally as five to seven storeys, with different tactics required compared to low-rise or high-rise structures. The training emphasized challenges such as air flow patterns, water delivery to upper floors, and operating within multi-unit buildings with standpipes and sprinkler systems. External instructors from Moncton and Fredericton led the session, and there are plans to expand this training to all members over the coming years. The goal is to move toward standardized operating procedures-based responses for these building types.

The department also completed manufacturer training for the new ladder truck; however, it is currently out of service due to a hydraulic cylinder issue. Replacement parts are being sourced from Nebraska. An open house is tentatively planned for June 13, depending on repairs being completed.

Chief McCormick advised the committee that progress on implementing the Knox Box system has been delayed due to issues with the Canadian distributor withdrawing. The department will now work directly with the U.S. supplier and will provide updated pricing for potential rollout in town buildings.

## **5. APPROVAL OF MINUTES**

- a) It was moved, seconded, and carried that the Safety Services Committee minutes of April 20, 2026, be approved as presented.

## **6. BUSINESS ARISING FROM THE MINUTES**

- a) **Update on funding application for crosswalks to be added throughout the town.**

The Town of Stratford did not receive the funding through the Safe and Active School Route program. Although the application was strong and identified several priority areas for new crosswalks and required sidewalk landing areas, it did not meet the program's criteria.

The program focused on pilot projects that could be replicated across multiple municipalities. Since the Town's proposal involved standard

infrastructure improvements, it did not align with their objective of testing new or innovative approaches. As a result, there is no allocated funding this year to proceed with the work. The Town will need to revisit and prioritize the areas in a ranked list and consider allocating municipal capital budget to begin investing in crosswalk improvements moving forward. The recent funding application identified 10–12 potential locations across town, but these have not yet been formally prioritized.

It was noted that while residents often identify needs in their own neighbourhoods, a ranked list would help ensure locations with the greatest need are addressed first. The Active Transportation Master Plan has already identified some priority areas, including sections of Keppoch Road such as the Rosebank-Langley Road area where the sidewalk is on the opposite side of Keppoch Road of the fully developed residential areas and possibly parts of Bunbury Road, where sidewalks and residential areas are misaligned.

The committee discussed the difficulties and additional expenses to add pedestrian infrastructure such as sidewalks to subdivisions after they are constructed and whether a developer could be made required to include sidewalks with the development.

b) **Update on bylaw enforcement contract for 2026.**

Contracted bylaw enforcement services have begun under a 22-week agreement with APPS – Property Protection Services, under a three-year agreement, currently in its second year. Service is provided Monday to Thursday, 10 a.m. to 2 p.m., with an added Friday evening shift, likely from 3:30 to 7:30 p.m. to address after hours complaints. The service now operates five days per week, with a possible extension into mid-December as in previous years.

c) **Update on response from the Department of Transportation, Infrastructure, and Energy regarding the suggestion of a 4-way stop at the Keppoch/Kinlock Road intersection.**

Staff forwarded prior complaints about speeding on Keppoch Road to the province and requested a review of a potential four-way stop at the Kinlock–Keppoch intersection. The province noted they have recent traffic data and expect to complete their assessment within a few weeks. They will also deploy traffic monitoring signs to assess speeding, though this may take a few months. Results will help determine whether measures such as a four-way stop, radar signage, or other traffic controls are warranted. A follow-up is expected before the June meeting of the Safety Services Committee.

7. **NEW BUSINESS**

a) **Temporary speed humps.**

The annual review period begins in May, following the completion of snow removal in mid-April. Since May 1, staff have been reviewing requests and deploying speed radar signs for one-week assessments. Temporary speed humps are currently installed on Emmalee Drive, Heron Drive, and Kelly Heights, and additional locations are under review. Staff continue to respond to requests in accordance with the established process.

b) **Waste collection vehicles on trails.**

One of the Town Councillors reported that a waste collection vehicle repeatedly parked on the Kinlock Road trail while collecting bins, creating a safety hazard for pedestrians. GFL acknowledged the driver may not have realized it was a trail and has committed to addressing the issue with staff.

**8. CORRESPONDENCE/COMPLAINTS**

a) **Motorcycles and Keppoch Road.**

The committee reviewed a resident's complaint about motorcycles speeding in the Keppoch and Kinlock Roads area, which was previously discussed with Corporal Paynter under the RCMP report (section 4A). The related email correspondence was provided for context. Discussion focused on what type of signage might help address the issue—either standard speed limit signs or electronic radar signs that display drivers' speeds. It was noted that, if supported by the province, the Town could consider purchasing and installing a permanent radar sign in the area. This could be considered pending the outcome of the province's assessment for a 4-way stop in this area, as that would serve as a traffic calming method in itself.

b) **Ditch clean up day.**

A Stratford resident sent an email to the Mayor, as well as the Council members, regarding safety concerns during community cleanup activities. Concerns included speeding near volunteers while cleanup work was underway, litter suggesting possible alcohol or substance use in the area, and the need for stronger public messaging about safe driving during cleanup events. It was noted that some litter may have come from pedestrians or passengers rather than drivers. The committee also discussed notifying RCMP in advance of future cleanup days so patrols can be increased in affected areas while volunteers are present. Members agreed that the town should continue to strengthen safety messaging during cleanup periods and explore improved coordination for future events.

**9. REPORTS**

a) **Humane Society Report** - meeting has been moved to June 3rd.

The meeting to review the Humane Society contract and expectations was delayed due to a medical issue and will be discussed at the next meeting.

The committee discussed a resident's complaint about a dog barking continuously in the evenings after being let outside. The complainant had previously reported the issue to the Humane Society but felt it was not adequately addressed and expressed concern about limited phone contact options. This dissatisfaction will be raised at the upcoming meeting to clarify the Humane Society's response process and improve handling of such complaints. An April dog bite incident was also reviewed. The bite occurred on the owner's property and broke the skin, requiring medical attention. A 10-day rabies quarantine was completed at the home. The owner has voluntarily chosen to rehome the dog; this was not mandated.

b) **Animal Control Bylaw Enforcement**

Nothing to discuss and no tickets issued.

c) **Unsightly Premises Bylaw Enforcement**

No violations were recorded or ticketed in April 2026.

**10. OTHER BUSINESS**

At this time, there was a discussion about confusing road markings on Lottie Way near MacKinnon Drive. Recent painting added double yellow lines, but drivers are unsure of lane positioning. It appears markings may be incomplete or improperly designed. Additional concerns were raised about curbs along Irving Avenue that have been displaced—possibly from snow removal—and improperly reset. This may pose a safety risk if vehicles drift near the edge of the road. Jeannie will bring both concerns to the Department of Transportation. Jeannie then advised the committee that there is a Department of Transportation presentation focused on capital projects scheduled for May 26 at 6:30 p.m. at the Town Hall, during which the DOT will provide updates on current and upcoming projects affecting Stratford and answer questions or concerns from the community.

**11. DATE OF NEXT MEETING**

The next Safety Services Committee meeting is scheduled for Monday, June 15, 2026.

**12. ADJOURNMENT**

It was moved, seconded, and carried that the meeting be adjourned at 5:45 p.m.



# Monthly Report May 2026 Town of Stratford

Prepared by:  
L Division Criminal Analysis Section  
2026-06-03

**This report is intended for Official Use Only**



Royal Canadian Mounted Police Gendarmerie royale du Canada



# Police Activity

## Occurrence Summary

Persons crimes ended the month with five occurrences, a level slightly lower than last month (8) and lower than last year (10).

At 21, property crime was slightly higher than last month (17) and lower than last year (35). Mischief (10) and theft under \$5000 (4) were the most frequent occurrence types. There were two fraud reports, both of which had the complainant declining to proceed.

There were no drug enforcement files documented in May, consistent with both last month and last year (1 and 2).

At 278, traffic enforcement occurrences were consistent with last month (262) and higher than last year (200). Impaired driving accounted for five occurrences, with three of these involving reports from the public about a possible impaired driver and two others resulting in charges. There were no dangerous operation of a motor vehicle incidents reported. There were 56 speeding violations reported, lower than both last month (75) and last year (46). There were 14 motor vehicle collisions reported, slightly higher than both last month and last year (9 and 8 respectively), none of which involved fatalities.

Overall, May 2026 recorded 417 occurrences with 400 founded or still under investigation. This is higher than last month (393/370), last year (355/342) and the 12-month average for the Town (355/336).



# Community Policing

## Policing Initiatives -

- 2026-05-23 - members in Stratford attended a youth's homecoming after spending over a year in the hospital
- 2026-05-27 - Cst. Richard attended Milestone daycare in Stratford and spoke to the 4- and 5-year-olds and provided RCMP stickers to them

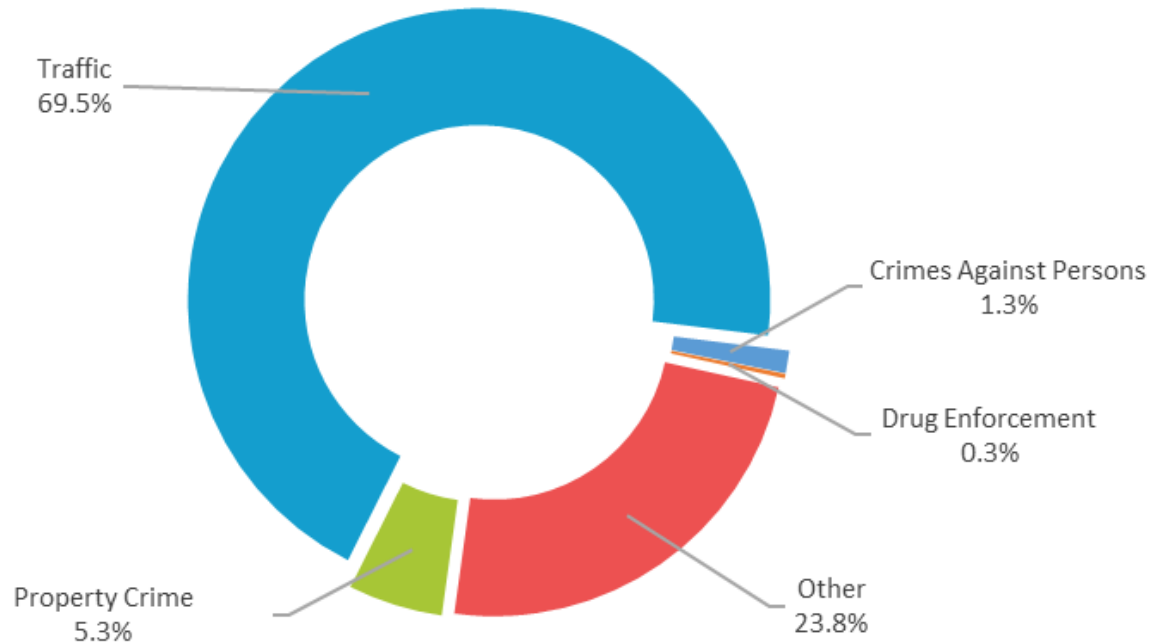
## Selective Traffic Enforcement Program - 61 Occurrences:

- 15 - Stratford Road
- 14 – Keppoch Road
- 13 – Route 1
- 7 – Kinlock Road
- 6 - Bunbury Road
- 1 – Georgetown Road
- 1 – Glen Stewart Drive
- 1 – Shakespear Drive
- 1 – Mason Road
- 1 – John Joe Sark Drive



# Occurrences

Occurrences by Category - All Occurrence Types  
Stratford Municipal RCMP  
May 2026

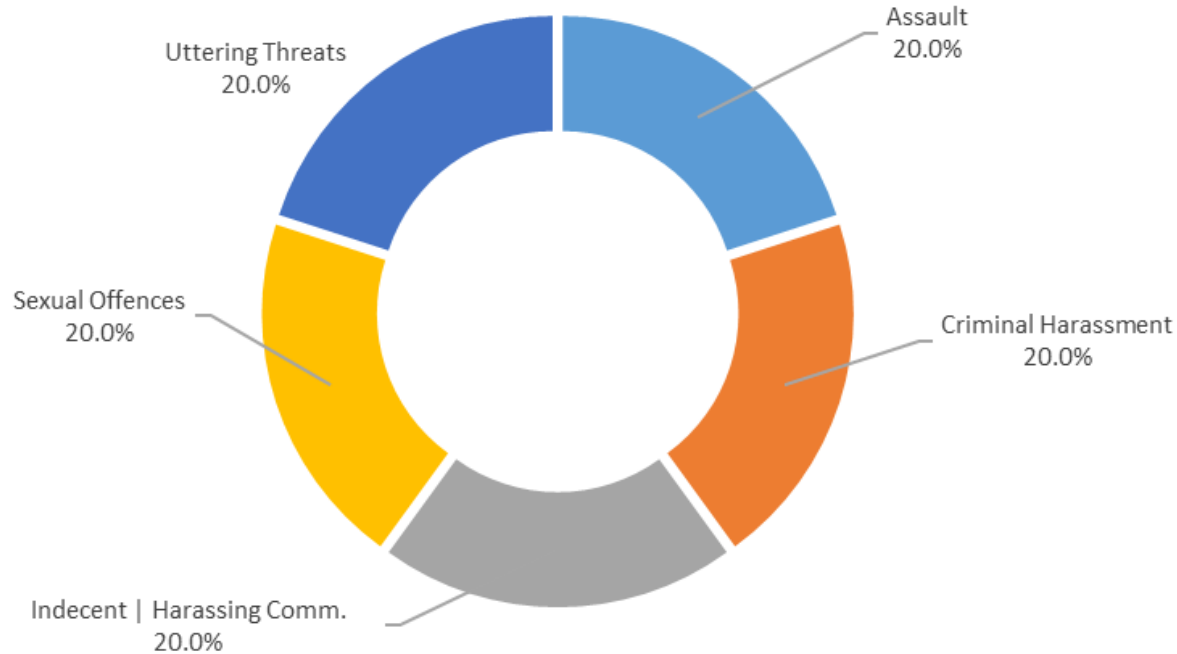


400 Founded/SUI of 417 Total Occurrences



# Occurrences - Person Crimes

Occurrences by Category - Crimes Against Persons  
Stratford Municipal RCMP  
May 2026

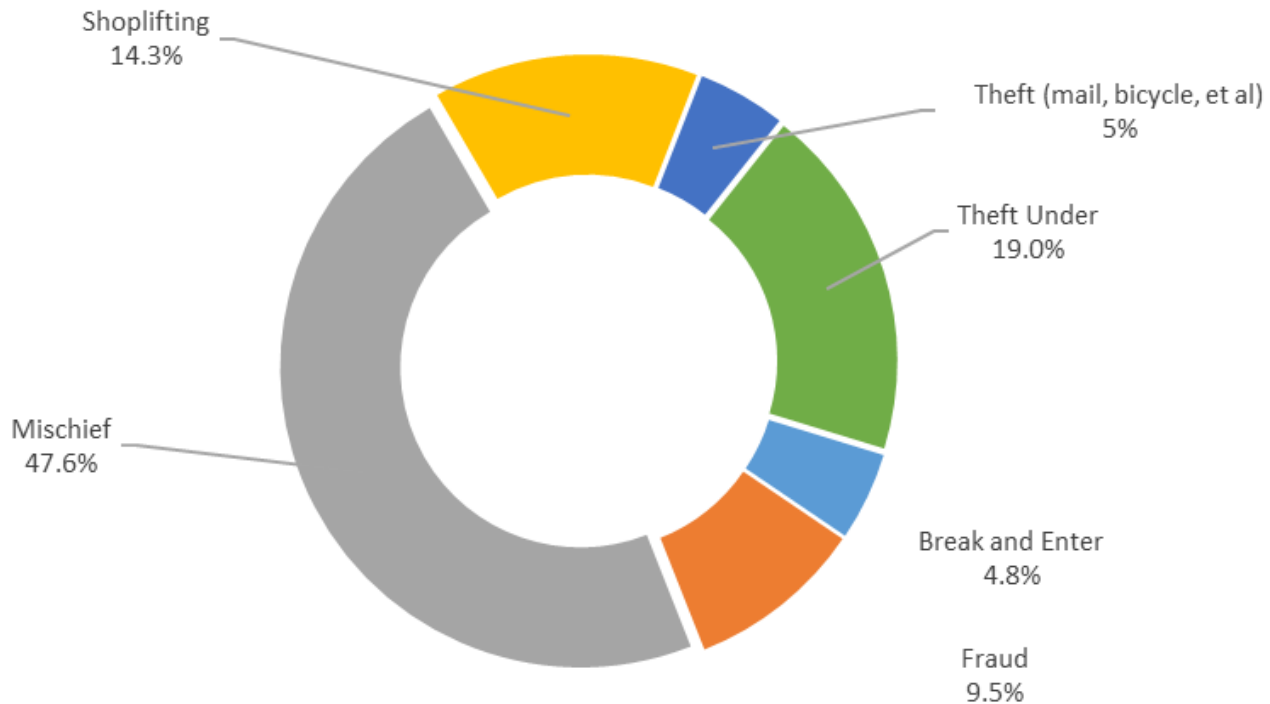


5 Founded/SUI of 417 Total Occurrences



# Occurrences - Property Crime

Occurrences by Category - Property Crime  
Stratford Municipal RCMP  
May 2026

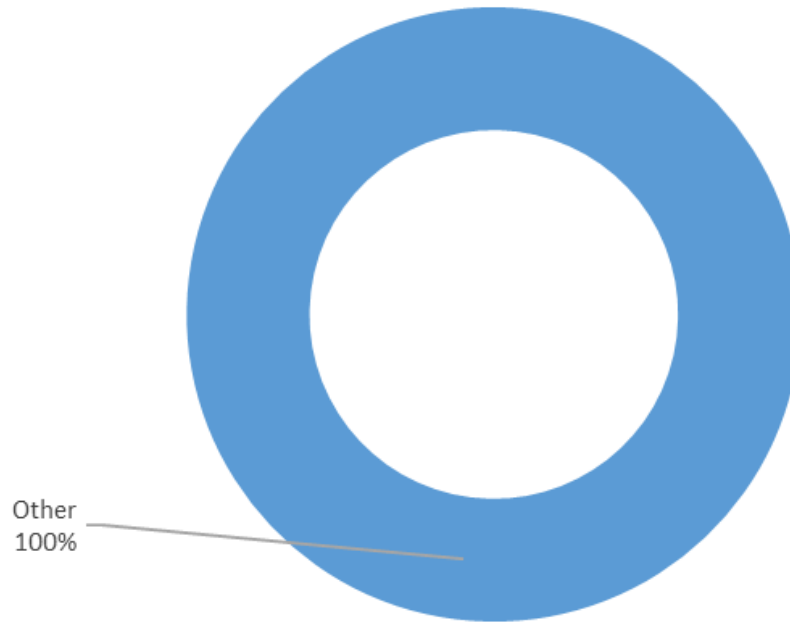


21 Founded/SUI of 417 Total Occurrences



# Occurrences - Drug Enforcement

Occurrences by Category - Drug Enforcement  
Stratford Municipal RCMP  
May 2026

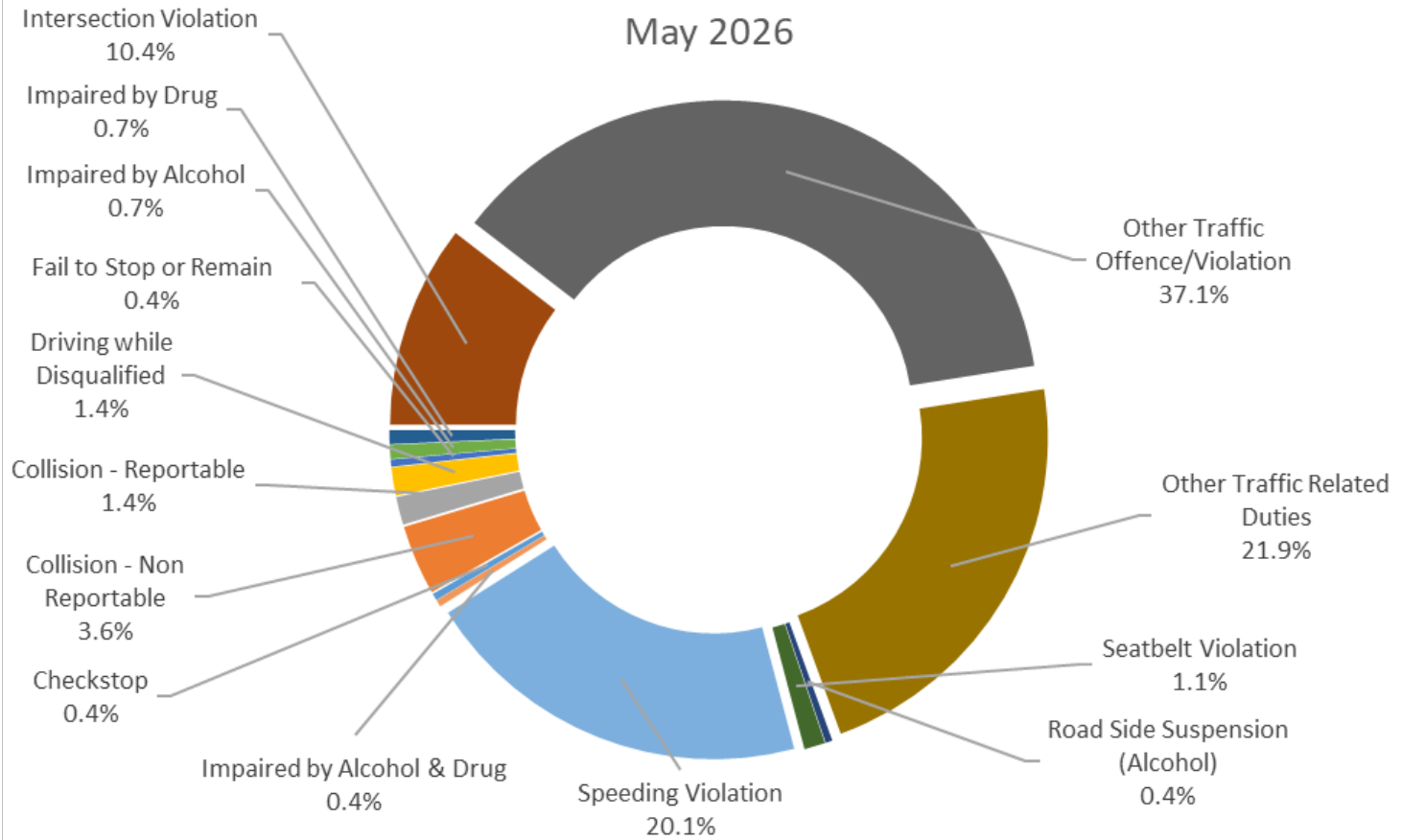


0 Founded/SUI of 417 Total Occurrences



# Occurrences - Traffic Occurrences

## Occurrences by Category - Traffic Offences Stratford Municipal RCMP May 2026

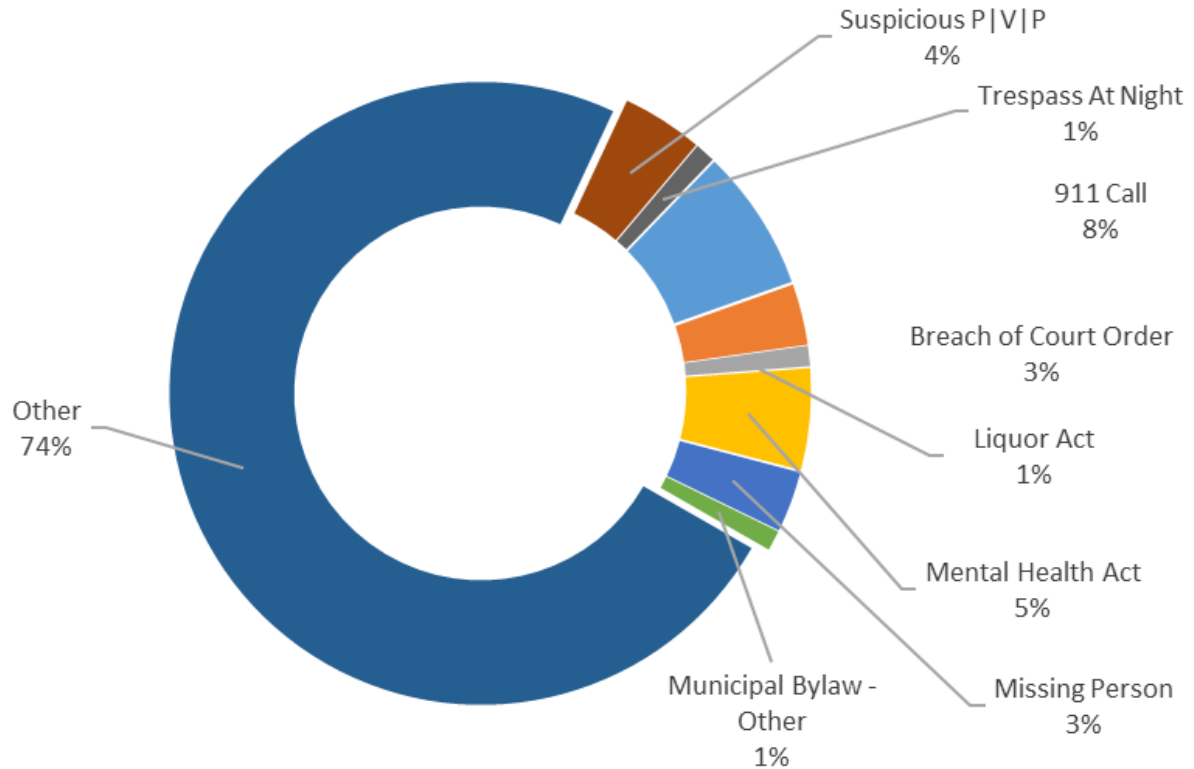


278 Founded/SUI of 417 Total Occurrences



# Occurrences - Other Occurrences

Occurrences by Category - Other Occurrence  
Stratford Municipal RCMP  
May 2026



95 Founded/SUI of 417 Total Occurrences



Royal Canadian Mounted Police / Gendarmerie royale du Canada



# Summary Offence Tickets

Type	Count	Fine Amount
<b>Ticket</b>	<b>65</b>	<b>\$12,823</b>
11(1)(a) - Driving passenger vehicle not registered	4	\$1,000
11(1)(b) - Driving passenger vehicle while registration expired	7	\$1,750
138(6) - Operating motor vehicle with improper glazing (tinting)	5	\$1,250
157 - Passing on left when unsafe	1	\$250
166 - Failing to obey traffic control signal or device	6	\$1,500
176(3)(b)(i) - Speeding: 29 km /hr or less over limit	11	\$1,441
176(3)(b)(ii) - Speeding from 30-49 km/hr over limit	1	\$232
19(1)(a) - Operating vehicle with invalid inspection sticker	16	\$2,400
2(3)(c) - Stage 1 driving failing to ensure that no other person than the Stage 1 driver and accompanying driver is occupying the front seat of the motor vehicle	1	\$150
21(3.1) - Operating vehicle with all or part of number plate concealed or rendered illegible by a covering, device, sticker, inscription, sign or other thing	1	\$150
271(1) - Driving motor vehicle while license suspended or cancelled	6	\$1,500
290 - General offence provision to do anything contrary to the Act and regulations or failing to perform any act required by the Act or regulations	1	\$150
68 - Driving without being licensed to drive or with a license that is expired or invalid	2	\$300
92(2) - Driver failing to wear seatbelt, as required by subsection 92(4.1)	3	\$750



# Warnings & Defect Notices

Type	Count
<b>Warning</b>	<b>123</b>
11(1)(a) - Driving passenger vehicle not registered	1
11(1)(b) - Driving passenger vehicle while registration expired	19
138(6) - Operating motor vehicle with improper glazing (tinting)	2
159(b) - Crossing solid line	1
166 - Failing to obey traffic control signal or device	23
167(1)(a) - Failing to yield right-of-way to other traffic while turning in an intersection on green light or go signal	1
167(5)(a) - Failing to stop on red light or "stop" signal at intersection	1
176(3)(b)(i) - Speeding: 29 km /hr or less over limit	40
176(3)(b)(ii) - Speeding from 30-49 km/hr over limit	5
182 - Making U-turn where prohibited: interfere with traffic, drive on curb, turn on grade or crest without 150 m visibility or where sign prohibits	2
19(1)(a) - Operating vehicle with invalid inspection sticker	7
20(5)(a) - Operating vehicle on a highway which does not display a valid number plate	1
21(3.1) - Operating vehicle with all or part of number plate concealed or rendered illegible by a covering, device, sticker, inscription, sign or other thing	6
291.1(1) - Driver driving while holding or using hand-held communication device capable of receiving or transmitting phone calls, electronic data, email or text message	1
324(4) - Failing to carry and produce valid insurance card to peace officer when requested	2
5 - Stage 1 driver or newly licensed driver failing to display decal on or in any motor vehicle being operated by the Stage 1 driver or newly licensed driver	1
60(5) - Operating vehicle not displaying current registration sticker	1
68(2) - Driving without being licensed to drive or with a license that is expired or invalid	4
76(2) - Licensee failing to produce license upon request	3
85(2) - Failure of licensee to notify Registrar of change of address	1
93(2) - Failing to comply with notice given by inspector or peace officer in respect of unsafe vehicle or non-conforming equipment	1
<b>Type - Defect</b>	<b>23</b>





L Division - Queens District (Stratford)  
 Detailed Occurrence Count  
 (Three Year Target Month / Year to Month)

Current as of: 2026-06-05

Occurrence Type and Sub-Type	Target Month			Year to Month		
	May 2026	May 2025	May 2024	2026	2025	2024
<b>Crimes Against Persons</b>						
Offences Related to Death	0	0	0	0	0	0
Sexual Offences	1	2	0	8	6	1
Assault	1	4	6	13	19	11
Kidnapping/Hostage/Abduction	0	0	0	0	0	0
Robbery	0	0	0	0	0	0
Extortion / Intimidation	0	0	2	0	0	2
Criminal Harassment	1	0	0	5	2	3
Indecent   Harassing Comm.	1	3	2	15	13	6
Uttering Threats	1	1	0	6	9	6
<b>Property Crime</b>						
Arson	0	0	0	0	0	1
Break and Enter	1	0	0	7	3	0
Unlawfully in a Dwelling House	0	0	0	0	0	0
Theft Over	0	0	0	1	3	0
Theft of Motor Vehicle	0	2	0	0	2	2
Theft of Other MV / Motorcycle	0	0	0	0	0	1
Take MV w/o Consent	0	0	0	1	0	0
Theft Under	4	3	3	22	21	19
Shoplifting	3	3	0	5	8	2
Theft (mail, bicycle, et al)	1	0	2	1	2	4
Theft from Motor Vehicle	0	0	2	1	3	9
Possession of Stolen Goods	0	1	0	1	2	0
Fraud	2	1	4	10	24	23
Identity Theft	0	0	0	0	0	0
Mischief	10	25	15	44	76	42
<b>Drug Enforcement</b>						
Possession	0	0	0	1	0	0
Trafficking	0	0	0	0	1	1
Import/Export	0	0	0	0	0	0
Production	0	0	0	0	0	0
Other	1	2	1	3	4	3
<b>Traffic</b>						
Dangerous Op of MV	0	1	0	1	3	0
Impaired by Alcohol	2	6	1	18	12	7
Impaired by Alcohol & Drug	1	0	0	2	5	2
Impaired by Drug	2	0	3	4	4	7
Failure/Refusal	0	0	1	1	0	3
Driving while Disqualified	4	4	3	18	22	12
Fail to Stop or Remain	1	1	0	4	3	1
Seatbelt Violation	3	9	3	8	20	26

Statistics represent 1st line of UCR Scoring.  
 Does not include Unfounded/Unsubstantiated Occs unless otherwise stated.



L Division - Queens District (Stratford)  
 Detailed Occurrence Count  
 (Three Year Target Month / Year to Month)

Current as of: 2026-06-05

Occurrence Type and Sub-Type	Target Month			Year to Month		
	May 2026	May 2025	May 2024	2026	2025	2024
Intersection Violation	29	3	3	171	22	30
Speeding Violation	56	46	45	235	245	225
Insurance Violation	0	0	0	0	0	0
Road Side Suspension (Alcohol)	1	0	0	1	0	1
Road Side Suspension (Drug)	0	0	0	0	0	1
Collision - Fatal	0	0	0	0	0	0
Collision - Non - Fatal Injury	0	0	0	2	4	1
Collision - Reportable	4	3	8	22	33	28
Collision - Non Reportable	10	5	12	35	33	35
Off-Road Vehicle Collision	0	0	0	0	0	0
Municipal By-laws	0	0	0	1	0	0
Other Traffic Offence/Violation	103	82	73	497	450	324
Other Traffic Related Duties	61	39	10	216	193	40
Checkstop	1	1	5	8	19	22
<b>Other</b>						
911 Call	7	5	5	18	18	14
Breach of Court Order	3	6	0	10	12	5
Liquor Act	1	1	1	4	2	3
Mental Health Act	5	8	13	36	50	34
Missing Person	3	1	0	9	5	2
Municipal Bylaw - Other	1	0	0	2	0	0
<sup>1</sup> Other	70	72	82	317	322	273
Suspicious P V P	4	1	0	16	3	0
Trespass At Night	1	1	2	2	3	2
<b>Total Founded &amp; SUI Occurrences</b>	<b>400</b>	<b>342</b>	<b>307</b>	<b>1,802</b>	<b>1,683</b>	<b>1,234</b>
<b>Total Occurrences*</b>	<b>417</b>	<b>355</b>	<b>328</b>	<b>1,891</b>	<b>1,746</b>	<b>1,316</b>

<sup>1</sup>Includes Assistance to General Public, Dog Act, False Alarms, and any occurrence type with "other activities" in the caption.

\*Includes Unfounded and Unsubstantiated Occurrences

Report Limitations

The purpose of this report is to assist in trend analysis of various crimes and offences in the policing jurisdiction. It is intended for police managers as an aid in resource allocation and deployment. The contents of this report have been extracted from PROS based on first-line scoring, as near to the end of the reporting month as practical. As occurrences are subject to a monthly review process to ensure property reporting to Statistics Canada, the first-line scoring may be subject to changes after the report is disseminated. These changes may affect the total number of occurrences in the report categories. To account for this, the two months prior to the reporting month are included in the PROS extraction and the occurrences recalculated for any changes in the occurrence scoring process.

Statistics represent 1st line of UCR Scoring.  
 Does not include Unfounded/Unsubstantiated Occs unless otherwise stated.

## **Stratford Mayor's Report May 2026**

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Traffic Occurrences:

***Traffic Collisions:***

**Stratford RCMP responded to 13 motor vehicle collisions, 3 with reportable damage.**

**Collision locations:**

- **Route 1 Stratford (6)**
- **Kinlock (1)**
- **Ducks Landing (1)**
- **Swallow (1)**
- **Mutch (1)**
- **Jubilee (1)**
- **Irving (1)**
- **Reddin (1)**

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**Stratford Members responded to 266 traffic related offences**

**13 - Traffic Collisions**

**110 - Moving Traffic Related**

**76 - Non-Moving Traffic Related**

**6 - Impaired**

**60 - STEP – Selective Traffic Enforcement Program**

**1- Check Stops**

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**Provincial Statutes:**

***Mental Health Act***

Stratford RCMP received *4 reports under Mental Health Act.*

***Liquor Act***

Stratford RCMP received *1 report under the Liquor Act.*

***Trespass Act***

Stratford RCMP received *1 report under Trespass Act.*

***Fire Prevention Act***

Stratford RCMP received *3 reports under the Fire Prevention Act.*

***Controlled Drug Act***

Stratford RCMP received *1 report under the Controlled Drug Act.*

***911 Act***

Stratford RCMP received *5 reports under 911 Act.*

***Criminal Code:*****Crimes Against Persons*****Sexual Assault***

*Stratford RCMP received 1 report of Sexual Assault.*

***Uttering Threats***

*Stratford RCMP received 2 reports of Uttering Threats.*

***Criminal Harassment***

*Stratford RCMP received 1 report of Criminal Harassment.*

***Disobeying Order of Court***

*Stratford RCMP received 2 reports of Disobeying Order of Courts.*

***Harassing Communication***

Stratford RCMP received 1 report of Harassing Communications.

**Break and Enter**

Stratford RCMP received 2 reports of Break and Enter.

**Trespass at Night**

Stratford RCMP responded to 2 reports of Trespass at Night.

***Fail to Comply with Probation Order***

Stratford RCMP received 1 report of Fail to Comply with Probation Order.

**Fail to Comply with Undertaking**

Stratford RCMP received 1 report of Fail to Comply with Undertaking.

**Crimes Against Property:*****Theft Under \$5000***

Stratford RCMP responded to 13 reports of theft under \$5000.

*Note: 11 was gas related*

***Fraud Less than \$5000***

Stratford RCMP received 3 reports of fraud less than \$5000.

**Mischief – Obstruct Enjoyment of Property**

Stratford RCMP received 7 reports of Mischief – Obstruct Enjoyment of Property.

**Mischief – Damage to Property**

Stratford RCMP received 1 report of Mischief – Damage to Property

***Disturbing the Peace***

Stratford RCMP responded to 3 reports of Disturbing the Peace.

**Fail to Comply with Order**

Stratford RCMP responded to 2 reports of Fail to Comply with Order.

***Other Theft under \$5000.00***

*Stratford RCMP received 4 reports of Theft under \$5000.00.*

*Note: Bicycle 1, Shoplifting 3*

**Common Police Activities:****Index Checks**

There were 114 index checks for the month of December.

***False Alarms***

Stratford RCMP responded to 28 false alarm calls.

**Items Lost/Found**

Stratford RCMP received 2 reports of lost items.

**Passport Lost/Found**

Stratford RCMP received 1 report of lost Passport.

**Wellbeing Check**

Stratford RCMP received *16 reports for Wellbeing Checks.*

**Assistance to General Public, Federal and Provincial Dept.**

Stratford RCMP received 7 reports of Assistance Files.

**Crime Prevention**

Stratford RCMP received 1 file for Crime Prevention.

**Animal Calls**

Stratford RCMP received 1 report for Animal Calls

**Municipal Bylaws**

Stratford RCMP received 1 report under the Municipal Bylaws.

***Suspicious Persons, Vehicles***

Stratford RCMP received 5 reports of suspicious persons/vehicles.

***Persons Reported Missing***

Stratford RCMP responded to 3 reports of Missing Persons.

**Information File**

Stratford RCMP received 1 report of a Information File

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# **Memorandum**

## **Recreation, Culture & Events Department**

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**To:** Councilor Gordie Cox

**Date:** June 10, 2026

**From:** Recreation, Culture & Events Dept.

**Re:** Recreation, Culture & Events Report

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The following is an overview of projects and items being worked on within the Recreation, Culture and Events Department.

### **Committee & Administration**

The Recreation, Culture and Events Committee met on May 28, 2026.

Agenda items included:

- Bunbury Outdoor Rink future use discussion
- Stratford Tennis Club sign request for Pondside Park – requested more information
- Waterfront Pavilion future use discussion – requested more information

Committee discussion supported maintaining the Bunbury Outdoor Rink as a passive neighborhood recreation space. Future facility upgrades may be considered through the 2027–2028 budget process to enhance the site while preserving its neighborhood recreational function.

### **Youth Centre**

The Stratford Youth Centre will conclude regular programming for the summer during the third week of June.

Recent Youth Centre initiatives continue to demonstrate strong community engagement:

- The Leadership Club Online Auction raised approximately \$3,500 in support of future leadership programming and travel opportunities.
- The Stratford Community Flea Market and Yard Sale attracted 70 vendor tables in the Town Centre Gymnasium and 28 registered yard sale locations throughout Stratford.
- Applications for the Cheryl Duffy Service Awards continue to be accepted until June 30.
- Youth Centre members will operate the Tea Hill Park canteen throughout the summer season, providing leadership and volunteer opportunities while supporting park users.

### **Programs & Recreation**

Spring recreation programming continues to experience strong participation as the department transitions into summer programming.

Program highlights include:

- Ten weeks of Summer Camp for youth ages 6–12 beginning June 29. Seven camp weeks are currently waitlisted, with the remaining three weeks nearing capacity.
- Summer tennis programming is underway at the Pondside tennis courts.
- Pickleball spring sessions conclude at the end of June.



# **M e m o r a n d u m**

## **Recreation, Culture & Events Department**

- Youth Art Classes for two age groups are full and continue through June.
- U4 Soccer registration is ongoing with 23 participants registered and 17 spaces remaining.
- Intro to Sports registration is underway (ages 3-5)

### **Fitness Area & Walking Track**

The Stratford Town Centre fitness area and walking track continue to experience strong utilization throughout 2026.

Average daily attendance:

- January – 152 users
- February – 160 users
- March – 162 users
- April – 138 users
- May – 105 users

### **Events**

Planning continues for several major community events:

- Canada Day Celebration

July 1, 2026

1:30 p.m. – 4:00 p.m.

Tea Hill Park

- PRIDE Parade

July 25, 2026

Town of Stratford participation with a community float

- Tide & PRIDE

July 26, 2026

1:00 p.m. – 3:00 p.m.

Tea Hill Park

- Fall Fest

September 26–27, 2026

### **Art Projects**

Phase 2 of the Robert Cotton Park Fairy Trail project continues, with installation of additional artwork and on-site carvings now underway.

The Town of Stratford, City of Charlottetown, and City of Summerside are partnering to offer a Mural Mentorship Training Workshop for emerging PEI artists. A joint call for expressions of interest will be released on June 15 for up to 12 participants.



# **M e m o r a n d u m**

## **Recreation, Culture & Events Department**

The one-day training session will be led by professional mural artists LALA and will take place on August 1, 2026 (rain date August 2) at Tea Hill Park. Participants will complete their own 8' x 4' mural panel while receiving hands-on instruction in mural planning, painting, and finishing techniques.

Funding for the workshop is being shared by the three municipalities as part of a collaborative effort to support and mentor future local mural artists while strengthening public art capacity across Prince Edward Island.

Respectfully Submitted,

Rachel Arsenault  
Acting Director, Recreation, Culture & Events



# **M e m o r a n d u m**

## **Finance Department**

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**To:** Councillor Jeff MacDonald

**Date:** May 1, 2026

**From:** Finance Dept.

**Re:** Finance Report

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The following is an overview of projects and items being worked on within the Finance Department.

- Staff are working on Updating Budget Files in Townsuite for 2026-27.
- Utility bills are due on May 15, 2026.
- Attended meeting with Stratford's provincial representatives.
- Auditors were on site to do CCBF audit (gas tax) on April 15<sup>th</sup>.
- Auditors also did some preliminary audit work when they were onsite.
- ICIP claims were submitted up to March 31, 2026.
- Met with Management team on Payroll questions around timecards.
- Finance staff are cross training to infill internal position.
- Met with the different departments to review Casual Wage Budget for 2026-27.
- Attended FPEI Annual Meeting.
- Attended Official plan meeting with staff and council.
- Attended session with Even for One and RCMP on human trafficking.
- Reviewed Utility Bylaw 21 for the Utility department. Looking forward to getting this bylaw updated.
- Staff are busy with day-to-day items.

Respectfully submitted,

Kim O'Connell

### Town of Stratford Revenue - April 2026

Items	Budget 2026-27	FY25-26 YTD	Budget YTD	Actual YTD	Vs. Budget YTD (\$)	Vs. Budget YTD (%)
Property Tax	8,279,100	667,965	689,925	689,925	-	0.0%
Revenue Sharing Municipal Grant	2,471,700	177,243	205,975	205,975	-	0.0%
Other Grant	16,100	-	1,342	-	(1,342)	-100.0%
Rental	888,800	66,122	74,067	74,373	307	0.4%
Police Fines	90,000	-	7,500	-	(7,500)	-100.0%
Development Permits	193,800	11,879	16,150	8,679	(7,471)	-46.3%
Interest Income	35,000	(41,817)	2,917	6,621	3,704	127.0%
Recreation Programs	194,500	39,423	16,208	40,392	24,184	149.2%
Wage Allocation	32,000	2,025	2,667	2,667	-	0.0%
Events	2,800	-	233	-	(233)	-100.0%
Field Maintenance	47,000	-	-	-	-	-
Animal Control	1,600	-	-	-	-	-
Miscellaneous	870,400	203	72,525	23,277	(49,248)	-67.9%
Minor Ball	-	-	-	-	-	-
Minor Soccer	-	-	-	-	-	-
Minor Basketball	-	-	-	-	-	-
Youth Centre Fundraising	8,500	-	708	-	(708)	-100.0%
<b>Total Revenue</b>	<b>Budget 2026-27</b>	<b>FY25-26 YTD</b>	<b>Budget YTD</b>	<b>Actual YTD</b>	<b>Vs. Budget YTD (\$)</b>	<b>Vs. Budget YTD (%)</b>
	\$ 13,131,300	\$ 923,042	\$ 1,090,217	\$ 1,051,909	\$ (38,307)	-3.5%

### Town of Stratford Expenses - April 2026

Items	Budget 2026-27	FY25-26 YTD	Budget YTD	Actual YTD	Vs. Budget YTD (\$)	Vs. Budget YTD (%)
General Government Expenses	5,834,600	487,117	515,925	386,461	(129,464)	-25.1%
Finance Expenses	1,282,300	112,000	96,183	126,566	30,382	31.6%
Recreation Expenses	1,203,600	60,610	113,508	108,673	(4,835)	-4.3%
Public Works Expenses	1,839,190	111,945	166,488	139,259	(27,229)	-16.4%
Planning Expenses	762,600	60,167	63,550	74,171	10,621	16.5%
Depreciation	1,400,000	91,667	116,667	116,667	-	0.0%
<b>Total Expenses</b>	<b>Budget 2026-27</b>	<b>FY25-26 YTD</b>	<b>Budget YTD</b>	<b>Actual YTD</b>	<b>Vs. Budget YTD (\$)</b>	<b>Vs. Budget YTD (%)</b>
	\$ 12,322,290	\$ 923,505	\$ 1,072,321	\$ 951,797	\$ (120,524)	-11.3%

### Town of Stratford Operating Surplus - April 2026

Total Operating Surplus	Budget 2026-27	FY25-26 YTD	Budget YTD	Actual YTD	Vs. Budget YTD (\$)
	\$ 809,010	\$ (463)	\$ 17,896	\$ 100,112	\$ 82,217

### Town of Stratford Other Revenues (Expenditures) - April 2026

Items	Budget 2026-27	FY25-26 YTD	Budget YTD	Actual YTD	Vs. Budget YTD (\$)
Government Transfers for Infrastructure	-	19,000	-	-	-
Donations and Miscellaneous	5,000	-	417	-	(417)
Switch Program Grants	-	-	-	-	-
Gain (Loss) on Disposal of Capital Assets	-	-	-	-	-
<b>Total Other Revenues (Expenditures)</b>	<b>Budget 2026-27</b>	<b>FY25-26 YTD</b>	<b>Budget YTD</b>	<b>Actual YTD</b>	<b>Vs. Budget YTD (\$)</b>
	\$ 5,000	\$ 19,000	\$ 417	\$ -	\$ (417)

### Town of Stratford Annual Surplus - April 2026

Total Annual Surplus	Budget 2026-27	FY25-26 YTD	Budget YTD	Actual YTD	Vs. Budget YTD (\$)
	\$ 814,010	\$ 18,537	\$ 18,312	\$ 100,112	\$ 81,800

### Town of Stratford Contributions to Reserves - April 2026

Items	Budget 2026-27	FY25-26 YTD	Budget YTD	Actual YTD	Vs. Budget YTD (\$)
Reserve for Community Growth	678,800	-	-	-	-
Emergency Services Centre Capital Reserve	50,000	-	-	-	-
Town Capital Reserve	50,000	-	-	-	-
Election Reserve	-	-	-	-	-
RCMP Vehicle Reserve	15,000	-	-	-	-
Pondside Park Dredging Fund	7,000	-	-	-	-
Stratfords of the World Reserve	1,000	-	-	-	-
<b>Total Contributions to Reserves</b>	<b>Budget 2026-27</b>	<b>FY25-26 YTD</b>	<b>Budget YTD</b>	<b>Actual YTD</b>	<b>Vs. Budget YTD (\$)</b>
	\$ 801,800	\$ -	\$ -	\$ -	\$ -

### Town of Stratford Surplus After Contributions to Reserves - April 2026

Total Surplus After Contributions to Reserves	Budget 2026-27	FY25-26 YTD	Budget YTD	Actual YTD	Vs. Budget YTD (\$)
	\$ 12,210	\$ 18,537	\$ 18,312	\$ 100,112	\$ 81,800

### Town of Stratford Investment in Capital Assets - April 2026

Investment in Capital Assets	Budget 2026-27	FY25-26 YTD	Budget YTD	Actual YTD	% of Budget Spent YTD
	\$ 17,771,250	\$ 654,467		\$ 201,147	1.1%

## General Government Expenses - April 2026

Items	Budget 2026-27	FY25-26 YTD	Budget YTD	Actual YTD	Vs. Budget YTD (\$)	Vs. Budget YTD (%)
Salaries and Benefits	643,200	28,319	53,600	47,563	(6,037)	-11.3%
Staff Development and Travel	20,500	231	1,708	1,232	(476)	-27.9%
Staff EAP and Incentive	23,700	3,904	1,975	1,384	(591)	-29.9%
Community Engagement	75,000	19,064	6,250	3,624	(2,626)	-42.0%
Professional Fees	167,500	10,601	13,958	2,902	(11,056)	-79.2%
Mayor and Council Expenses	244,000	21,878	20,333	13,657	(6,676)	-32.8%
Committee Expenses	45,500	1,594	3,125	2,364	(761)	-24.3%
FPEIM/FCM Dues	26,500	21,717	23,000	22,123	(877)	-3.8%
Election	18,000	-	1,500	-	(1,500)	-100.0%
Police Protection	1,552,200	-	129,350	118,100	(11,250)	-8.7%
Fire Protection	1,378,700	253,224	114,892	92,844	(22,048)	-19.2%
Street Lighting	240,000	22,770	20,000	21,574	1,574	7.9%
Animal Control	35,700	2,912	2,975	3,216	241	8.1%
Sustainability	818,900	63,220	68,242	10,764	(57,478)	-84.2%
Watershed Expenses	16,000	137	1,333	-	(1,333)	-100.0%
Promotional Expenditures	13,200	1,944	1,100	173	(927)	-84.2%
Donations and Gifts	30,000	1,675	12,083	1,725	(10,358)	-85.7%
Transit	379,300	25,820	31,608	34,389	2,780	8.8%
GIS Development and Maintenance	-	-	-	-	-	-
Contingency Fund	4,400	363	367	363	(4)	-1.0%
Switch Program	-	-	-	-	-	-
Library	102,300	7,743	8,525	8,463	(62)	-0.7%
<b>Total General Govt Expenses</b>	<b>Budget 2026-27</b>	<b>FY25-26 YTD</b>	<b>Budget YTD</b>	<b>Actual YTD</b>	<b>Vs. Budget YTD (\$)</b>	<b>Vs. Budget YTD (%)</b>
	\$ 5,834,600	\$ 487,117	\$ 515,925	\$ 386,461	\$ (129,464)	-25.1%

## Finance Expenses - April 2026

Items	Budget 2026-27	FY25-26 YTD	Budget YTD	Actual YTD	Vs. Budget YTD (\$)	Vs. Budget YTD (%)
Salaries and Benefits	365,400	15,500	30,450	46,670	16,220	53.3%
Staff Development and Travel	15,500	23	1,292	-	(1,292)	-100.0%
Professional Fees	17,500	-	-	-	-	-
Workers Compensation	33,000	-	2,750	2,750	-	0.0%
Insurance	155,300	9,365	12,942	10,272	(2,670)	-20.6%
Computer	144,000	62,990	12,000	29,832	17,832	148.6%
Telephone/Fax	50,000	4,043	4,167	4,149	(17)	-0.4%
Administrative Expenses	52,000	4,428	4,333	4,295	(39)	-0.9%
Bank Charges	9,000	769	750	1,264	514	68.6%
Capital - Interest Payments	330,000	14,883	27,500	27,333	(167)	-0.6%
Community Group Support	-	-	-	-	-	-
Mayor and Council Expenses	-	-	-	-	-	-
Stratfords of the World	-	-	-	-	-	-
Property Tax	71,700	-	-	-	-	-
Property Tax rebate	38,900	-	-	-	-	-
<b>Total Finance Expenses</b>	<b>Budget 2026-27</b>	<b>FY25-26 YTD</b>	<b>Budget YTD</b>	<b>Actual YTD</b>	<b>Vs. Budget YTD (\$)</b>	<b>Vs. Budget YTD (%)</b>
	\$ 1,282,300	\$ 112,000	\$ 96,183	\$ 126,566	\$ 30,382	31.6%

## Recreation Expenses - April 2026

Items	Budget 2026-27	FY25-26 YTD	Budget YTD	Actual YTD	Vs. Budget YTD (\$)	Vs. Budget YTD (%)
Salaries and Benefits	797,700	32,852	66,475	73,627	7,152	10.8%
Staff Development and Travel	10,000	277	833	260	(573)	-68.8%
Professional Fees	1,000	-	1,000	-	(1,000)	-100.0%
Events	61,200	(212)	3,142	786	(2,356)	-75.0%
Programs	56,000	3,785	3,833	5,272	1,439	37.5%
Rink Operations	7,000	-	583	2,085	1,502	257.5%
Maintenance	106,200	1,112	8,850	3,169	(5,681)	-64.2%
Promotion	1,000	-	83	-	(83)	-100.0%
Grants and Agreements	72,000	19,775	21,083	20,763	(320)	-1.5%
Arts & Culture	43,000	2,654	3,583	819	(2,765)	-77.7%
Youth Centre	48,500	368	4,042	1,892	(2,150)	-53.2%
<b>Total Recreation Expenses</b>	<b>Budget 2026-27</b>	<b>FY25-26 YTD</b>	<b>Budget YTD</b>	<b>Actual YTD</b>	<b>Vs. Budget YTD (\$)</b>	<b>Vs. Budget YTD (%)</b>
	\$ 1,203,600	\$ 60,610	\$ 113,508	\$ 108,673	\$ (4,835)	-4.2%

## Public Works Expenses - April 2026

Items	Budget 2026-27	FY25-26 YTD	Budget YTD	Actual YTD	Vs. Budget YTD (\$)	Vs. Budget YTD (%)
Salaries and Benefits	851,600	43,476	70,967	99,000	28,033	39.5%
Staff Development and Travel	6,000	-	500	107	(393)	-78.5%
Professional Fees	40,000	-	3,333	-	(3,333)	-100.0%
Electricity	171,890	15,506	14,324	16,138	1,814	12.7%
Water & Sewer	24,900	5,626	6,225	5,456	(769)	-12.4%
Heating Fuel	10,750	476	912	1,654	742	81.4%
Building/Grounds Maintenance	515,000	25,447	50,200	10,115	(40,085)	-79.9%
Sidewalk Maintenance	45,000	6,435	4,688	-	(4,688)	-100.0%
ESC Expense	82,150	11,077	7,681	4,070	(3,611)	-47.0%
Property Tax	-	-	-	-	-	-
Contingency Fund	-	-	-	-	-	-
Vehicles and Equipment	91,900	3,902	7,658	2,718	(4,940)	-64.5%
<b>Total Public Works Expenses</b>	<b>Budget 2026-27</b>	<b>FY25-26 YTD</b>	<b>Budget YTD</b>	<b>Actual YTD</b>	<b>Vs. Budget YTD (\$)</b>	<b>Vs. Budget YTD (%)</b>
	\$ 1,839,190	\$ 111,945	\$ 166,488	\$ 139,259	\$ (27,229)	-16.4%

## Planning Expenses - April 2026

Items	Budget 2026-27	FY25-26 YTD	Budget YTD	Actual YTD	Vs. Budget YTD (\$)	Vs. Budget YTD (%)
Salaries and Benefits	643,600	29,170	53,633	70,670	17,037	31.8%
Staff Development and Travel	18,000	350	1,500	3,156	1,656	110.4%
Professional Fees	85,000	30,647	7,083	-	(7,083)	-100.0%
Administrative Expenses	10,000	-	833	345	(488)	-58.6%
Heritage	6,000	-	500	-	(500)	-100.0%
<b>Total Planning Expenses</b>	<b>Budget 2026-27</b>	<b>FY25-26 YTD</b>	<b>Budget YTD</b>	<b>Actual YTD</b>	<b>Vs. Budget YTD (\$)</b>	<b>Vs. Budget YTD (%)</b>
	\$ 762,600	\$ 60,167	\$ 63,550	\$ 74,171	\$ 10,621	16.7%

## Stratford Utility Revenue - April 2026

Items	Budget 2026-27	FY25-26 YTD	Budget YTD	Actual YTD	Vs. Budget YTD (\$)	Vs. Budget YTD (%)
Unmetered Sewer Sales	340,500	86,185	28,375	28,452	77	0.3%
Unmetered Water Sales	61,600	15,725	5,133	5,097	(37)	-0.7%
Metered Sewer Sales	2,115,000	(300)	176,250	161,221	(15,029)	-8.5%
Metered Water Sales	1,378,100	(273)	114,842	109,145	(5,697)	-5.0%
Connection fees	8,300	750	692	600	(92)	-13.3%
Late penalty charges	48,000	4,260	4,000	2,682	(1,318)	-32.9%
Interest	20,000	(20,807)	1,667	2,084	417	25.0%
Miscellaneous	52,400	11,567	4,367	10,800	6,433	147.3%
<b>Total Revenue</b>	<b>Budget 2026-27</b>	<b>FY25-26 YTD</b>	<b>Budget YTD</b>	<b>Actual YTD</b>	<b>Vs. Budget YTD (\$)</b>	<b>Vs. Budget YTD (%)</b>
	\$ 4,023,900	\$ 97,107	\$ 335,325	\$ 320,080	\$ (15,245)	-4.5%

## Stratford Utility Expenses - April 2026

Items	Budget 2026-27	FY25-26 YTD	Budget YTD	Actual YTD	Vs. Budget YTD (\$)	Vs. Budget YTD (%)
Consulting	20,000	-	1,667	697	(969)	-58.2%
Depreciation	1,460,000	115,833	121,667	121,667	-	0.0%
Electricity	208,000	-	17,333	22,268	4,935	28.5%
Honorariums	1,000	-	83	-	(83)	-100.0%
Insurance	37,000	2,382	3,083	2,569	(514)	-16.7%
Interest & Service Charges	32,700	3,085	2,725	2,556	(169)	-6.2%
Interest on Long Term Debt	288,700	9,526	24,058	15,000	(9,058)	-37.7%
Miscellaneous	14,000	(622)	1,167	1,422	256	21.9%
Office Expenses	12,500	381	1,042	811	(231)	-22.1%
Software maintenance	73,000	-	6,083	19,715	13,632	224.1%
Postage	12,000	3,001	1,000	2,864	1,864	186.4%
Property Taxes	6,600	-	-	-	-	-
Rentals	52,500	-	4,375	4,375	-	0.0%
Repairs & Maintenance	162,700	17,743	13,558	11,360	(2,198)	-16.2%
WasteWater Treatment	585,000	-	48,750	45,000	(3,750)	-7.7%
Snow Removal	15,200	-	2,764	-	(2,764)	-100.0%
Telephone	16,000	1,309	1,333	1,177	(156)	-11.7%
Tools and Equipment	8,000	177	667	-	(667)	-100.0%
Bad Debts	-	-	-	-	-	-
Travel	13,000	1,618	1,083	-	(1,083)	-100.0%
Salaries	960,800	52,247	80,067	77,848	(2,218)	-2.8%
Vehicle	43,500	670	3,625	1,022	(2,603)	-71.3%
<b>Total Expenses</b>	<b>Budget 2026-27</b>	<b>FY25-26 YTD</b>	<b>Budget YTD</b>	<b>Actual YTD</b>	<b>Vs. Budget YTD (\$)</b>	<b>Vs. Budget YTD (%)</b>
	\$ 4,022,200	\$ 207,352	\$ 336,130	\$ 330,353	\$ (5,777)	-1.7%

## Stratford Utility Operating Surplus - April 2026

Total Operating Surplus	Budget 2026-27	FY25-26 YTD	Budget YTD	Actual YTD	Vs. Budget YTD (\$)
	\$ 1,700	\$ (110,245)	\$ (805)	\$ (10,273)	\$ (9,467)

Financial Statements  
**Stratford Utility Other Revenues - April 2026**

Items	Budget 2026-27	FY25-26 YTD	Budget YTD	Actual YTD	Vs. Budget YTD (\$)
Government Transfers for Infrastructure	-	-	-	-	-
Designated Capital Contributions	-	-	-	-	-
Gain on Disposal of Capital Assets	-	-	-	-	-
<b>Total Other Revenues</b>	<b>Budget 2026-27</b>	<b>FY25-26 YTD</b>	<b>Budget YTD</b>	<b>Actual YTD</b>	<b>Vs. Budget YTD (\$)</b>
	\$ -	\$ -	\$ -	\$ -	\$ -

**Stratford Utility Annual Surplus - April 2026**

Total Annual Surplus	Budget 2026-27	FY25-26 YTD	Budget YTD	Actual YTD	Vs. Budget YTD (\$)
	\$ 1,700	\$ (110,245)	\$ (805)	\$ (10,273)	\$ (9,467)

**Stratford Utility Investment in Capital Assets - April 2026**

Investment in Capital Assets	Budget 2026-27	FY25-26 YTD	Actual YTD	% of Budget Spent YTD
Total Investment in Capital Assets	\$ 12,165,000	\$ 768,484	\$ 6,135	0.1%

**PLANNING, DEVELOPMENT AND HERITAGE  
REGULAR MONTHLY MEETING  
{UNAPPROVED OR APPROVED} MINUTES**

**DATE:** June 1, 2026  
**TIME:** 12:00 P.m.  
**PLACE:** Bunbury Room

**PRESENT:** Councillor Ron Dowling, Adam Ramsay, Derek Kronemeyer, Alexandra Boyd, Dale McKeigan-Director of Planning, Phil Rough-Town Planner, Sarah Kennedy-Development Officer, Janae Knowles-Planning Technician, Veronica Arredondo-Planning/Recording Clerk.

**REGRETS:** Mayor Steve Ogden, Jeremy Pierce-Acting CAO, Scott Carnall-Long-Range Planner, Daniel Neuffer, Alex O’Hara

**CHAIR:** Councillor Jeff MacDonald

**1. CALL TO ORDER**

a) The meeting was called to order at 12:00 p.m.

**2. APPROVAL OF AGENDA**

a) The agenda for the June 1, 2026, meeting was approved as presented.

**3. MINUTES**

a) Planning & Heritage Committee Minutes, Monday, May 4, 2026

**4. DECLARATION OF CONFLICT OF INTEREST**

a) Nil.

**5. INVITED GUEST**

a) Nil.

**6. REPORT FROM DIRECTOR OF PLANNING**

a) Update on Regular Monthly Council Meeting, Wednesday, May 13, 2026

**PH005-2026 – SD004-25 – CMLMT Holdings Ltd – Conditional Use –Two (2) 10-Unit Stacked Townhouse Dwelling Buildings on the North Lot created by Subdivision SD004-25 - PID 190173 & 529545**

Council denied an application from CMLMT Holdings Ltd. in March 2026 to change the future conditional uses for the lots within Subdivision SD004-25.

**PH007-2026- DP017-26 - MRA Architecture + Design McDonald’s Restaurant at 9 Kinlock Road (PID 859637) Part 3 Commercial Development**

Council granted preliminary approval of the application submitted by MRA Architecture + Design to construct a MacDonal’s Restaurant (classified as a Part 3 Commercial development) at 9 Kinlock Road, located on PID 859637, zoned Town Centre Commercial (TCC), subject to conditions.

**7. DEVELOPMENT APPLICATIONS**

a) **Part 3 Commercial/Assembly Building – DP041-26 – Mixed Commercial/Recreation Building on a portion of PID 1016377 at 301 Shakespeare Drive**

An application has been received from PEI Martial Arts Inc (C/O Jason Saggo) to construct a Mixed Use (Commercial/Recreation) Part 3 Commercial/Assembly building at 301 Shakespeare Drive (Portion of PID 1016377).

*(please refer to the attached Property Map as shown on the attached 7a-1).*

The subject property is located within the Town Centre Mixed Use (TCMU) zone. This development is proposed to contain a Martial Arts Gym in the basement and 3 floors of commercial office space. Under the TCMU Zone, Commercial and Recreational uses are listed as permitted uses.

The proposed Gym (Recreational Use) is classified an Assembly Occupancy (Group A, Division 2) which is regulated by the Part 3 of the National Building Code of Canada (NBCC). In accordance with subsection 1.5.1. Part 3 Commercial Buildings require preliminary approval from Council as the development falls outside the authority of a Development Officer.

**Summary of Bylaw Conformance:**

The proposed development, *as shown in the attached 7a-2*, meets lot requirements as outlined in Section 12.2.6.iii. of the Zoning and Development Bylaw #45 (the Bylaw) as summarized in the following table:

Standard	Requirement	Lot 25-1
<b>Min. Lot Area</b>	N/A	1,225.7 m <sup>2</sup> / 13,193.3 ft <sup>2</sup>
<b>Min. Frontage</b>	N/A	46.9 m / 154 ft
<b>Min. Front Yard Setback</b>	3 m / 10 ft	6 m / 21 ft
<b>Min. Rear Yard Setback</b>	3 m / 15 ft	14.9 m / 49 ft
<b>Min. Side Yard Setback</b>	0 m / 0 ft	3 m / 10 ft
<b>Min Building Height</b>	3 Storeys, 12 m (40 ft.)	3 Storeys, 40 ft

This zone is unique from those zones around it as it requires a minimum building height rather than a maximum building height for non residential buildings. When looking at the building from Shakespeare Drive, it will have a 10 ft side yard setback on its right side due the presence of the Maritime Electric Utility easement that services the Church Property.

**Parking Calculation and Configuration:**

The proposed parking for this property involves the combination of on-site parking spaces and shared off-site parking spaces with the adjacent Cornerstone Church property, further described in the table below:

Use	Standard	Requirement	Proposed Lot 25-2
Office	1 Space per 28 m <sup>2</sup> (300 ft) floor area	22 Parking Spaces based on Office Floor Space of 608 m <sup>2</sup> (6,552 ft <sup>2</sup> )	<b>29 Total Parking Spaces</b> <b>14 Parking Spaces (On Site)</b> <b>15 Parking Spaces (Off Site)</b>
Assembly	1 Space per Seat or where no seats shown as per Fire Marshals (FMO) Seating Capacity	N/A – FMO does not typically comment on occupant load or capacity calculations for new builds.	

The required parking spaces for this proposal is more awkward to determine than normal as the operating hours of the Commercial Uses and Recreational Uses differ from one another. The offices would normally be used between 8 am - 5 pm, whereas the Recreational Use would operate after 5 pm and on weekends when the offices are closed. Additionally, the use of the Off-Site Parking Spaces by users of the Recreational Use will not impact the Cornerstone Church property as the hours of operation of these uses also differs from one another.

The Fire Marshall’s Office (FMO) does not comment on occupant load of new buildings and relies on the expertise of a projects architect or design engineers. The FMO typically only gets involved in existing facilities, whereby they can conduct inspections and establish occupant loads in accordance with applicable codes and standards when requested. Under Section 10.1.3, Council may permit a different standard based on alternative parking plans based on the standards of the Institute of Transportation Engineers (ITE). Under Section 10.1 for uses not specifically listed in the required parking spaces table, parking must be provided at a ratio of 1 space per 20 m<sup>2</sup> (215 ft<sup>2</sup>). The recreational facility will be 2,200 ft<sup>2</sup> which would therefore only require 10 parking spaces.

The applicant has provided general information on the anticipated number of

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users of the recreational facility. Adult gym sessions range between 10-20 students while the children's sessions have between 10-15 students. Therefore based on these numbers, 29 parking spaces should be sufficient to accommodate this projected number of users of the facility.

The proposed development is to be accessed via the shared access with the Cornerstone Church property. The site design for this building places the parking area to the back of the lot offering several benefits including:

- Safer access onto Shakespeare Drive than a traditional driveway for vehicles entering and exiting the property by eliminating the need to back onto a public road.
- Safer active transportation travel by reducing the amount of driveway crossings over the existing AT path.
- Shields the view of vehicles and waste areas from the street.
- The configuration is in line with the overarching design standards for the Core Area with pedestrian scale focused streetscapes.

The proposed development is also subject to the Town Centre Design Standards as per Appendix E of the Bylaw. This includes provisions for pedestrian connections to adjacent street frontages and screening of site elements. The development will also be subject to all other provisions of the Bylaw including the preparation of a site servicing plan, stormwater management assessment, and erosion and sedimentation control plan.

**RECOMMENDATION:**

That Council grant approval to the application from PEI Martial Arts Inc (C/O Jason Saggo) to construct a Mixed Use (Commercial/Recreation) Part 3 Commercial/Assembly building, at 301 Shakespeare Drive (Portion of PID 1016377) in accordance with the following conditions:

1. The development shall be in accordance with the Site Plan and Building Plans prepared by Architecture 360 and MCA Consultants Inc, dated April 2026.
2. A detailed stormwater management plan shall be prepared by a qualified engineer and approved by both the Town of Stratford and DTI.
3. A detailed erosion and sedimentation control plan shall be prepared by a qualified engineer showing how erosion and sedimentation will be controlled and contained during construction and be approved by the Town of Stratford.
4. A detailed landscaping plan shall be prepared by a professional landscape architect outlining the details and quantities of the materials to be used and be approved by the Town of Stratford.

5. A detailed servicing plan shall be prepared by a qualified engineer and be approved by the Stratford Utility Corporation. All servicing shall be in accordance with the Stratford Utility Corporation's Servicing Regulations including payment of all applicable fees.
6. That a copy of the signed joint access agreement between the PEI Martial Arts Inc and the Cornerstone Church be submitted to the Town
7. That a copy of the signed shared parking agreement between the PEI Martial Arts Inc and the Cornerstone Church be submitted to the Town
8. This development must adhere to the various Development Standards and Architectural guidelines as noted in the Town Centre Core Area Design Standards Appendix in the Zoning Bylaw
9. All other relevant provisions of the Town of Stratford Zoning and Development Bylaw, Bylaw #45.

**DISCUSSION:**

Committee members agreed that there is a need for additional office space within the Town, noting that the proposed project aligns well with the current zoning requirements.

Furthermore, the Committee expressed support for the shared parking arrangement, noting that the differing peak-use hours between the office, gym, and church spaces create an efficient, complementary use of the available parking.

The Committee moved to recommend that Council grant approval for an application received from PEI Martial Arts Inc (C/O Jason Saggo) to construct a Mixed Use (Commercial/Recreation) Part 3 Commercial/Assembly building, at 301 Shakespeare Drive (Portion of PID 1016377).

b) **DP065-26 – Francistheriault Ventures Inc – 26 Hollis Avenue (Unit 1) - PID 1093814 – Special Permit Use (Auto Service)**

An application has been received from Francistheriault Ventures Inc to operate an Auto Detailing Business located at 26 Hollis Avenue (PID 398693) which is a Special Permit Use within the Business Park (M2) Zone.

The business will specialize in professional automotive detailing services designed to maintain and to restore vehicle appearance and cleanliness. The services provided include:

- Interior Detailing
- Exterior Detailing
- Ceramic Coating
- Engine Bay Detailing
- Headlight Restoration

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In accordance with Section 8.16 Special Permit Uses of the Town of Stratford Zoning and Development Bylaw #45:

8.16 Prior to the issuance of a Development Permit for a Special Permit Use Council shall ensure that:

- (a) the Development is deemed appropriate and complements the scale of the existing adjacent development;
- (b) the Development has a sufficient Buffer Area along the periphery of the Property and existing wooded areas separating adjacent Uses are preserved;
- (c) in the opinion of Council, the Development does not cause any hardship to surrounding Property Owners due to excessive noise, traffic congestion, hours of operation, or any other potential nuisance;
- (d) Property Owners within 61 m (200 ft.) of the subject Property are notified in writing of details of the proposed Development and asked to provide their comments;
- (e) a public meeting shall be held to allow residents to provide their input prior to the development of a preliminary site plan; and
- (f) all other relevant provisions of this Bylaw are met.

This is a change of use permit application as the building has already been built. Since 2018, this specific unit (Unit #1) has hosted a number of different businesses. The building floor plans appear to indicate that this unit is not suitable for automobile related uses due to the quality of the cement floor in this unit. The Town's Building Official has reviewed the plans and information submitted by the builder. They have confirmed that the cement floor of Unit 1 is constructed properly to accommodate auto uses.

**RECOMMENDATION:**

That Council shall hold a public meeting on a date to be determined by Staff, to provide an opportunity for the applicant to present the proposed Use to residents and obtain their input regarding this Special Permit Use.

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**DISCUSSION:**

Town Planner Phil Rough answered technical questions regarding the vehicle access point to the building. He noted potential interior modifications, such as the installation of a floor drain equipped with an oil catchment filter; however, the applicant intends to maintain the unit substantially in its current condition.

The Planning and Heritage Committee recommend that Council grant approval to hold a public meeting on in order to provide an opportunity for the applicant to present the proposed use to residents and obtain their input regarding this Special Permit Use.

**8. SUBDIVISION APPLICATIONS**

a) **SD007-26 – Z & C Flourish – Major Subdivision Request – (PID 1160589 & 398552) – Approx. 130 Lot Subdivision for various Residential and Greenspace Uses, Permitted under the Sustainable Subdivision Overlay**

An application has been received from Z & C Flourish (the Developer) to subdivide parcel number 1160589 and 398552 (59.28 acres in total area), as part of Phase 3 of the Foxwood Subdivision, into approx. 130 lots for residential development and greenspace within the Low Density Residential (R1) Zone with a Sustainable Subdivision Overlay (SS) zones.

The breakdown of the proposed uses of this subdivision proposal are as follows:

Use	Lots	Units
Single Detached	54	54
Semi-Detached	64	128
Townhouse	3	12
Stacked Townhouse	1	92
Office/Show Home	1	1
<b>Totals</b>	<b>123</b>	<b>287</b>

The other seven (7) lots will be greenspace areas for park space, trails, stormwater ponds and will include the former shale pit.

**Background:**

This proposed subdivision is the new revised Final Phase (Phase 3) of the Foxwood’s Sustainable Subdivision. The original Phase 3 subdivision was granted a 3-year preliminary approval in 2022, which expired in June 2025. The original proposal for Phase 3 called for the creation of 157 lots for a total of 204 dwelling units. There were to be

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110 single dwelling lots and 47 semi-detached dwelling lots

This property is located within the Sustainable Subdivision Overlay (SS) Zone and the Low Density Residential (R1) Zone. Where a parcel of land is located within an Overlay zone, any of the standards or requirements of the Overlay zone supersede those of the base zone.

The aim of the SS zone is to:

- preserve the natural environment and ecology.
- improve social amenities and cultural inclusion.
- increase energy efficiency and reduce fossil fuel energy consumption.
- improve the Town's active transportation network; and
- reduce the cost of building and maintaining the Town's Infrastructure

#### **Preliminary Review Comments**

This application is coming to the Committee for information/preliminary discussion purposes only. At this time only a preliminary subdivision layout has been submitted to the Town for review. Section 4.13 outlines some of supporting reports or plans that might be required by the Town for proper assessment of the impact or compatibility of any subdivision. These potential reports include:

- (a) A written assessment addressing any potential environmental impacts.
- (b) A written assessment addressing any access, transportation, or pedestrian issues.
- (c) A stormwater management plan from a Professional Engineer
- (d) A Conceptual Servicing Plan
- (e) Other studies that may be suitable to adequately assess the impact of the proposed subdivision

The developer is working with CBCL on the drafting of a Servicing and Stormwater Management Plan and the Province has indicated that at minimum a Traffic Impact Statement (TIS) would need to be submitted. A TIS differs from a full Traffic Impact Assessment (TIA). A TIS focuses on site access, parking compliances, and basic traffic generation whereas a full TIA involves an in-depth analysis of intersection reviews, traffic surveys, and future growth scenarios.

The proposed lot and subdivision layout have a number of issues that will need to be addressed. For example, at several road corners and in the proposed cul-de-sac, there are various lots proposed to have

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panhandles or greatly reduced frontages.

The Zoning Bylaw does not consider or allow for panhandle lots. In the past the Town did permit this subdivision to contain such lots by allowing them in accordance with Provincial Subdivision and Development Regulations. However, upon closer reading of these regulations, they are not applicable to municipalities that have their own Zoning and Official Plan documents. So therefore, these lots will need to be redesigned to meet the general lot standards in the Zoning Bylaw

This subdivision proposal incorporates various large tracts of greenspace lands. However, access to the greenspace is limited, apart from old shale pit. The reclamation status of this Excavation Pit is unknown at this time and might require further investigation. Land for parkland purposes should be easily accessible and usable as such but are often an afterthought or have limited access. In additional lands required for the purposes of stormwater management do not qualify as parkland dedication. So, the large parcel of land, which is shown to contain a lake, might not be fully park/natural area and further review of the specifics of this parcel are required.

As this property is located within the Sustainable Subdivision Overlay zone, this subdivision requires a review of the proposal using certain performance criteria to determine if it qualifies as a Sustainable Subdivision. This performance criteria covers elements around:

- Natural Environment Conservation – tree, wetland, steep slope protection
- Social and Cultural Amenities – public transit, parks, gathering areas.
- Building Efficiency – green buildings, wastewater management
- Renewable Energy – energy efficiency
- Built Environment – active transportation, street design.

The Zoning bylaw does contain a scoring system that addresses these above criteria. Currently, the developer has not yet submitted details on how this proposed subdivision addresses the specific criteria.

**RECOMMENDATION:**

The Planning Committee shall recommend that the following information be provided by the application for this subdivision to be properly assessed before making a recommendation to Council for preliminary approval.

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1. Details on how the proposed subdivision addresses the Sustainable Subdivision Performance Criteria
  2. At minimum, a Traffic Impact Statement that addresses the potential traffic generation impacts of this proposal.
  3. A preliminary servicing plan for the whole subdivision
  4. A preliminary stormwater management plan for the whole subdivision
  5. A redesign of the lots to eliminate the panhandle lots and bring these lots into closer conformance with the proposed sizes of the similar lots in the subdivision.
  6. More information on the proposed design/layout for the Stacked Townhouse Development Lot.
  7. Details on the proposed amount of parkland to be dedicated. This parkland must not include the area for the shale pit and stormwater management.

**DISCUSSION:**

The Committee members noted that the proposed subdivision plan includes a diverse mix of residential housing types. Because it is a new development, purchasers will have clear expectations regarding the neighborhood's composition from the outset.

Regarding parkland dedication for this and future subdivisions, the Committee emphasized the importance of evaluating existing neighborhood amenities to ensure green spaces are allocated strategically.

Councillor Jeff MacDonald emphasized the importance of requiring a qualified traffic impact assessment, completed by a professional engineer, for a subdivision proposals of this scale. He noted that traffic impacts are a frequent source of concern and inquiry for local residents. In response, the Town Planner confirmed that Section 4.13 of the Zoning and Development Bylaw outlines the supporting reports and impact studies that the Town may require to properly assess the compatibility and overall impact of a proposed subdivision.

A question was raised regarding the developer's intentions to extend the sidewalk along Flourish Heights from Phase I, noting the community benefit of connecting the existing sidewalk to the newly proposed subdivision. The Town Planner clarified that the applicable zoning regulations require a minimum of one multi-use public access path to connect the proposed subdivision to the Town's active transportation network. Consequently, the developer will be required to install a multi-use pathway or a continuous sidewalk link to satisfy this connection requirement.

Finally, the Planning and Heritage Committee acknowledged that this is a preliminary plan and that the applicant will be required to provide additional, detailed information as the process moves forward.

**9. OFFICIAL PLAN, POLICY AND BYLAW**

**10. OTHER BUSINESS**

**11. HERITAGE SUB-COMMITTEE**

- a) Heritage Sub-Committee Meeting Minutes, May 26, 2026 @ 4:30 p.m.

**12. DATE OF NEXT MEETING**

- a) Monday, June 29, 2026 @ 12:00 pm (noon)

**13. ADJOURNMENT**

- a) The meeting was adjourned at 1:11 p.m.

### Town of Stratford Building Permit Summary May 1, 2026 to May 31, 2026

<b>Accessory Buildings</b>							
Issued Date	Permit #	PID	Lot #	Project Site Civic Address	Permit Type	Estimated Project Value	Permit Fee
2026-05-19	DP2026-055	557306	1	20 Battery Point Dr	Detached Garage	\$ 50,000.00	\$ 150.00
2026-05-22	DP2026-050	805317	1	108 Stratford Rd	Accs. Struct (Solar Array)	\$ 36,576.00	\$ 110.00
<b>Subtotal:</b>						<b>\$ 86,576.00</b>	<b>\$ 260.00</b>

<b>Accessory Structures (Pool, Deck, Fence, Solar Array)</b>							
Issued Date	Permit #	PID	Lot #	Project Site Civic Address	Permit Type	Estimated Project Value	Permit Fee
2026-05-08	DP2026-038	479337	10	13 Pinehill Dr.	Fence	\$ 15,500.00	\$ 50.00
2026-05-12	DP2026-040	870568	91	2 Windsor Dr.	In-ground pool, Fence, Pool house	\$ 250,000.00	\$ 175.00
2026-05-12	DP2026-013	1081215	42	68 Bonavista Ave.	In-ground Pool & Fence	\$ 142,850.00	\$ 100.00
2026-05-13	DP2026-043	1147552	2020-4	16 Woodhouse Court	Fence	\$ 6,000.00	\$ 50.00
2026-05-20	DP2026-056	557306	1	20 Battery Point Dr	In-ground Pool & Fence	\$ 150,000.00	\$ 100.00
2026-05-20	DP2026-042	1163898	22-1	24 Bellevue Rd	Deck	\$ 3,500.00	\$ 100.00
2026-05-22	DP2026-051	936237	1	2 Stonington Rd	Deck	\$ 2,500.00	\$ 100.00
2026-05-25	DP2026-052	493577	12	41 Rodgerson Cres.	Deck	\$ 10,000.00	\$ 100.00
<b>Subtotal:</b>						<b>\$ 580,350.00</b>	<b>\$ 775.00</b>

<b>Commercial - New Buildings</b>								
Issued Date	Permit #	PID	Lot #	Project Site Civic Address	Permit Type	Square Footage	Estimated Project Value	Permit Fee
<b>Subtotal:</b>						<b>0.00 ft<sup>2</sup></b>	<b>\$ -</b>	<b>\$ -</b>

Commercial - Renovation/Fit-Up										
Issued Date	Permit #	PID	Lot #	Project Site Civic Address	Permit Type			Square Footage	Estimated Project Value	Permit Fee
						<b>Subtotal:</b>		<b>0.00 ft<sup>2</sup></b>	<b>\$ -</b>	<b>\$ -</b>

Demolition											
Issued Date	Permit #	PID	Lot #	Project Site Civic Address	Permit Type	# of Beds	# of Baths	Square Footage	Estimated Project Value	Permit Fee	
									\$ -	\$ -	
						<b>Subtotal:</b>	<b>0</b>	<b>0</b>	<b>0.00 ft<sup>2</sup></b>	<b>\$ -</b>	<b>\$ -</b>

Duplex/Semi-Detached - New											
Issued Date	Permit #	PID	Lot #	Project Site Civic Address	Permit Type	# of Beds	# of Baths	Square Footage	Estimated Project Value	Permit Fee	
									\$ -	\$ -	
						<b>Subtotal:</b>	<b>0</b>	<b>0</b>	<b>0.00 ft<sup>2</sup></b>	<b>\$ -</b>	<b>\$ -</b>

Duplex/Semi-Detached - Additions/Renovations											
Issued Date	Permit #	PID	Lot #	Project Site Civic Address	Permit Type	# of Beds	# of Baths	Square Footage	Estimated Project Value	Permit Fee	
									\$ -	\$ -	
						<b>Subtotal:</b>	<b>0</b>	<b>0</b>	<b>0.00 ft<sup>2</sup></b>	<b>\$ -</b>	<b>\$ -</b>

Stacked Semi-Detached - New											
Issued Date	Permit #	PID	Lot #	Project Site Civic Address	Permit Type	# of Beds	# of Baths	Square Footage	Estimated Project Value	Permit Fee	
									\$ -	\$ -	
						<b>Subtotal:</b>	<b>0</b>	<b>0</b>	<b>0.00 ft<sup>2</sup></b>	<b>\$ -</b>	<b>\$ -</b>

Industrial									
Issued Date	Permit #	PID	Lot #	Project Site Civic Address	Permit Type	Square Footage	Estimated Project Value	Permit Fee	
							\$ -	\$ -	
<b>Subtotal:</b>						<b>0.00 ft<sup>2</sup></b>	<b>\$ -</b>	<b>\$ -</b>	

Institutional									
Issued Date	Permit #	PID	Lot #	Project Site Civic Address	Permit Type	Square Footage	Estimated Project Value	Permit Fee	
2026-04-02	DP2026-001	571414	-	12 Stratford Road	Pavillion FDTN ONLY	-	\$ 2,400,000.00	\$ 16,800.00	
<b>Subtotal:</b>						<b>0.00 ft<sup>2</sup></b>	<b>\$ 2,400,000.00</b>	<b>\$ 16,800.00</b>	

Apartments										
Issued Date	Permit #	PID	Lot #	Project Site Civic Address	Permit Type	# of Beds	# of Baths	Square Footage	Estimated Project Value	Permit Fee
2026-05-21	DP2026-034	328039 (future 1194208)	24-2	145 MacKinnon Drive	48 Unit Multi-Unit FDTN ONLY	68.00	65.00	48442.95 ft <sup>2</sup>	\$ 10,000,000.00	\$ 70,000.00
2026-05-21	DP2026-035	328039 (future 1194208)	24-2	35 MacKinnon Drive	48 Unit Multi-Unit FDTN ONLY	68.00	65.00	48442.95 ft <sup>2</sup>	\$ 10,000,000.00	\$ 70,000.00
<b>Subtotal:</b>						<b>136</b>	<b>130</b>	<b>96885.90 ft<sup>2</sup></b>	<b>\$ 20,000,000.00</b>	<b>\$ 140,000.00</b>

Townhouse Dwellings - New										
Issued Date	Permit #	PID	Lot #	Project Site Civic Address	Permit Type	# of Beds	# of Baths	Square Footage	Estimated Project Value	Permit Fee
2026-05-06	DP2025-112	1061167	5	2, 4, 6, 8, 10 Billy MacMillan Dr	5-Unit Townhouse	15.00	12.50	10636.44 ft <sup>2</sup>	\$ 1,750,000.00	\$ 12,250.00
2026-05-06	DP2025-113	1061167	4	14, 16, 18, 20, 22 Billy MacMillan Dr	5-Unit Townhouse	15.00	12.50	10636.44 ft <sup>2</sup>	\$ 1,750,000.00	\$ 12,250.00
2026-05-26	DP2024-71	289306	24-1	11, 13, 15, 17 Jenkins Avenue	4-Unit Townhouse	3.00	2.00	4032.00 ft <sup>2</sup>	\$ 450,000.00	\$ 1,550.00
<b>Subtotal:</b>						<b>33</b>	<b>27</b>	<b>25304.88 ft<sup>2</sup></b>	<b>\$ 3,950,000.00</b>	<b>\$ 26,050.00</b>

**Townhouse Dwellings - Addition/Renovations**

Issued Date	Permit #	PID	Lot #	Project Site Civic Address	Permit Type	# of Beds	# of Baths	Square Footage	Estimated Project Value	Permit Fee
<b>Subtotal:</b>						<b>0</b>	<b>0</b>	<b>0.00 ft<sup>2</sup></b>	<b>\$ -</b>	<b>\$ -</b>

**Stacked Townhouse Dwellings - New**

Issued Date	Permit #	PID	Lot #	Project Site Civic Address	Permit Type	# of Beds	# of Baths	Square Footage	Estimated Project Value	Permit Fee
<b>Subtotal:</b>						<b>0</b>	<b>0</b>	<b>0.00 ft<sup>2</sup></b>	<b>\$ -</b>	<b>\$ -</b>

**Single Detached Dwelling - Addition/Renovation**

Issued Date	Permit #	PID	Lot #	Project Site Civic Address	Permit Type	# of Beds	# of Baths	Square Footage	Estimated Project Value	Permit Fee
2026-05-12	DP2026-018	703934	2	1 Isleview Dr	SFD Addition	-	-	414.00 ft <sup>2</sup>	\$ 50,000.00	\$ 150.00
<b>Subtotal:</b>						<b>0</b>	<b>0</b>	<b>414.00 ft<sup>2</sup></b>	<b>\$ 50,000.00</b>	<b>\$ 150.00</b>

**Single Detached Dwelling - New**

Issued Date	Permit #	PID	Lot #	Project Site Civic Address	Permit Type	# of Beds	# of Baths	Square Footage	Estimated Project Value	Permit Fee
2026-05-06	DP2026-036	897124	25-87	90 Goldsmith Row	SFD	4.00	3.00	2466.74 ft <sup>2</sup>	\$ 400,000.00	\$ 1,200.00
<b>Subtotal:</b>						<b>4</b>	<b>3</b>	<b>2466.74 ft<sup>2</sup></b>	<b>\$ 400,000.00</b>	<b>\$ 1,200.00</b>

**Signage**

Issued Date	Permit #	PID	Lot #	Project Site Civic Address	Permit Type	Estimated Project Value	Permit Fee
<b>Subtotal:</b>						<b>\$ -</b>	<b>\$ -</b>

<b>Other</b>							Estimated Project Value	Permit Fee
Issued Date	Permit #	PID	Lot #	Project Site Civic Address	Permit Type			
2026-05-01	DP2026-025	1182328	11-3	17 Shepard Drive	Parking Lot	\$ 500,000.00	\$ 50.00	
<b>Subtotal:</b>						<b>\$ 500,000.00</b>	<b>\$ -</b>	
<b>Total :</b>						<b>\$ 27,966,926.00</b>	<b>\$ 185,235.00</b>	

**Total Residential Square Footage: 125071.52 ft<sup>2</sup>**  
**Total Commercial Square Footage: 0.00 ft<sup>2</sup>**  
**Total Industrial Square Footage: 0.00 ft<sup>2</sup>**  
**Total Institutional Square Footage: 0.00 ft<sup>2</sup>**

Development Value Summary May 1, 2026 - May 31, 2026	
Single Detached Dwellings	\$ 400,000.00
Single Detached Additions	\$ 50,000.00
Duplex/Semi-Detached/Stacked Semi	\$ -
Duplex/SD Addition	\$ -
Townhouse/Stacked TH/Apartments	\$ 23,950,000.00
Accessory Buildings	\$ 86,576.00
Accessory Structures	\$ 580,350.00
Demolitions	\$ -
Commercial (New & Reno)	\$ -
Industrial	\$ -
Signage	\$ -
Other	\$ 500,000.00
Institutional	\$ 2,400,000.00
<b>Total:</b>	<b>\$ 27,966,926.00</b>

Development Value Summary May 1, 2025 - May 31, 2025	
Single Family	\$ 1,800,000.00
Single Family Additions	\$ 486,000.00
Duplex/Semi-Detached/Stacked Semi	\$ -
Duplex/SD Addition	\$ -
Townhouse/Stacked TH/Apartments	\$ -
Accessory Buildings	\$ 23,000.00
Accessory Structures	\$ 55,692.00
Demolitions	\$ 5,000.00
Commercial	\$ -
Industrial	\$ -
Signage	\$ -
Other	\$ 300.00
Institutional	\$ -
<b>Total:</b>	<b>\$ 2,369,992.00</b>

YTD Development Value January 01, 2026 - May 31, 2026	
Single Detached Dwellings - YTD	\$ 1,250,000.00
Single Detached Additions - YTD	\$ 1,783,156.00
Duplex/Semi-Detached/Stacked - YTD	\$ -
Duplex/SD Addition - YTD	\$ -
Townhouse/Stacked TH/Apartments	\$ 24,875,000.00
Accessory Buildings - YTD	\$ 105,776.00
Accessory Structures - YTD	\$ 640,076.00
Demolitions - YTD	\$ -
Commercial (New & Reno) - YTD	\$ 122,000.00
Industrial - YTD	\$ -
Signage - YTD	\$ 80,451.00
Other - YTD	\$ 500,000.00
Institutional - YTD	\$ 2,400,000.00
<b>Total:</b>	<b>\$ 31,756,459.00</b>

YTD Development Value January 01, 2025 - May 31, 2025	
Single Family - YTD	\$ 6,968,050.00
Single Family Additions - YTD	\$ 806,000.00
Duplex/Semi-Detached/Stacked - YTD	\$ 700,000.00
Duplex/SD Addition - YTD	\$ -
Townhouse/Stacked TH/Apartments - YTD	\$ -
Accessory Buildings - YTD	\$ 55,500.00
Accessory Structures - YTD	\$ 131,092.00
Demolitions - YTD	\$ 15,050.00
Commercial (New & Reno) - YTD	\$ 2,413,000.00
Industrial - YTD	\$ -
Signage - YTD	\$ 5,000.00
Other - YTD	\$ 300.00
Institutional - YTD	\$ -
<b>Total:</b>	<b>\$ 11,093,992.00</b>





# TOWN OF STRATFORD RESOLUTION

## No. PH008-2026 - DP041-26 – PEI Martial Arts Inc. - Mixed Commercial/Recreation Building – 301 Shakespeare Drive (portion of PID 1016377) - Part 3 Commercial/Assembly Development

Motion Carried \_\_\_\_\_  
Motion Lost \_\_\_\_\_  
Motion Withdrawn \_\_\_\_\_

Council Chambers  
Town Council

**June 10, 2026**

Committee Planning & Heritage  
Moved by Councillor Jeff MacDonald  
Seconded by Councillor \_\_\_\_\_

**WHEREAS** an application has been received from PEI Martial Arts Inc (C/O Jason Saggo) to construct a Mixed Use (Commercial/Recreation) building being a Part 3 Commercial/Assembly building, at 301 Shakespeare Drive, located on a portion of PID 1016377 within the Town Centre Mixed Use (TCMU) zone; and

**WHEREAS** in accordance with subsection 1.5.1. of the Zoning and Development Bylaw #45 (the Bylaw) Part 3 Commercial Buildings require preliminary approval from Council as the development falls outside of the authority of a Development Officer; and

**WHEREAS** the proposed development has demonstrated general conformance with the Bylaw and will have a registered joint parking agreement with the adjacent Cornerstone Church property; and

**BE IT RESOLVED** that preliminary approval be granted to DP041-26 subject to the following conditions:

1. The development shall be in accordance with the Site Plan and Building Plans prepared by Architecture 360 and MCA Consultants Inc, dated April 2026.
2. A detailed stormwater management plan shall be prepared by a qualified engineer and approved by both the Town of Stratford and DTI.
3. A detailed erosion and sedimentation control plan shall be prepared by a qualified engineer showing how erosion and sedimentation will be controlled and contained during construction and be approved by the Town of Stratford.
4. A detailed landscaping plan shall be prepared by a professional landscape architect outlining the details and quantities of the materials to be used and be approved by the Town of Stratford.
5. A detailed servicing plan shall be prepared by a qualified engineer and be approved by the Stratford Utility Corporation. All servicing shall be in accordance with the Stratford Utility Corporation’s Servicing Regulations including payment of all applicable fees.
6. That a copy of the signed joint access agreement between the PEI Martial Arts Inc and the Cornerstone Church be submitted to the Town

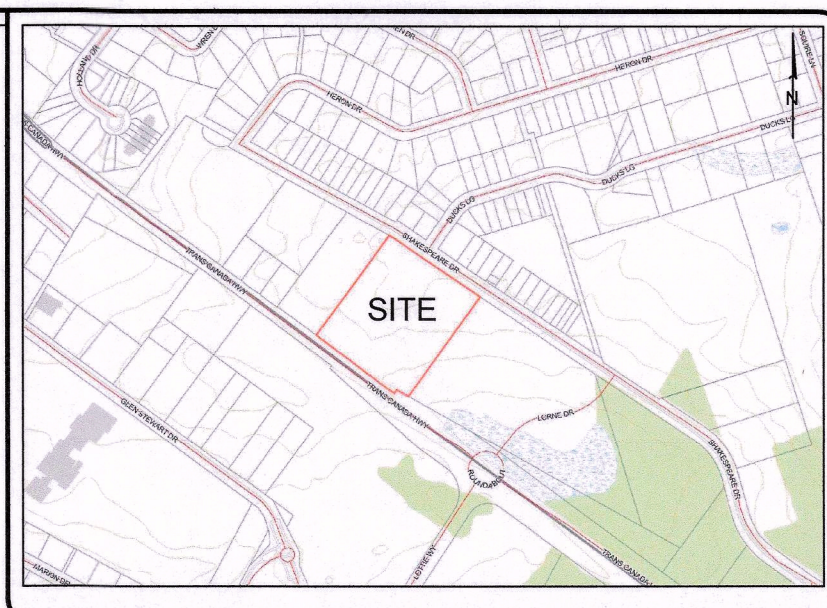
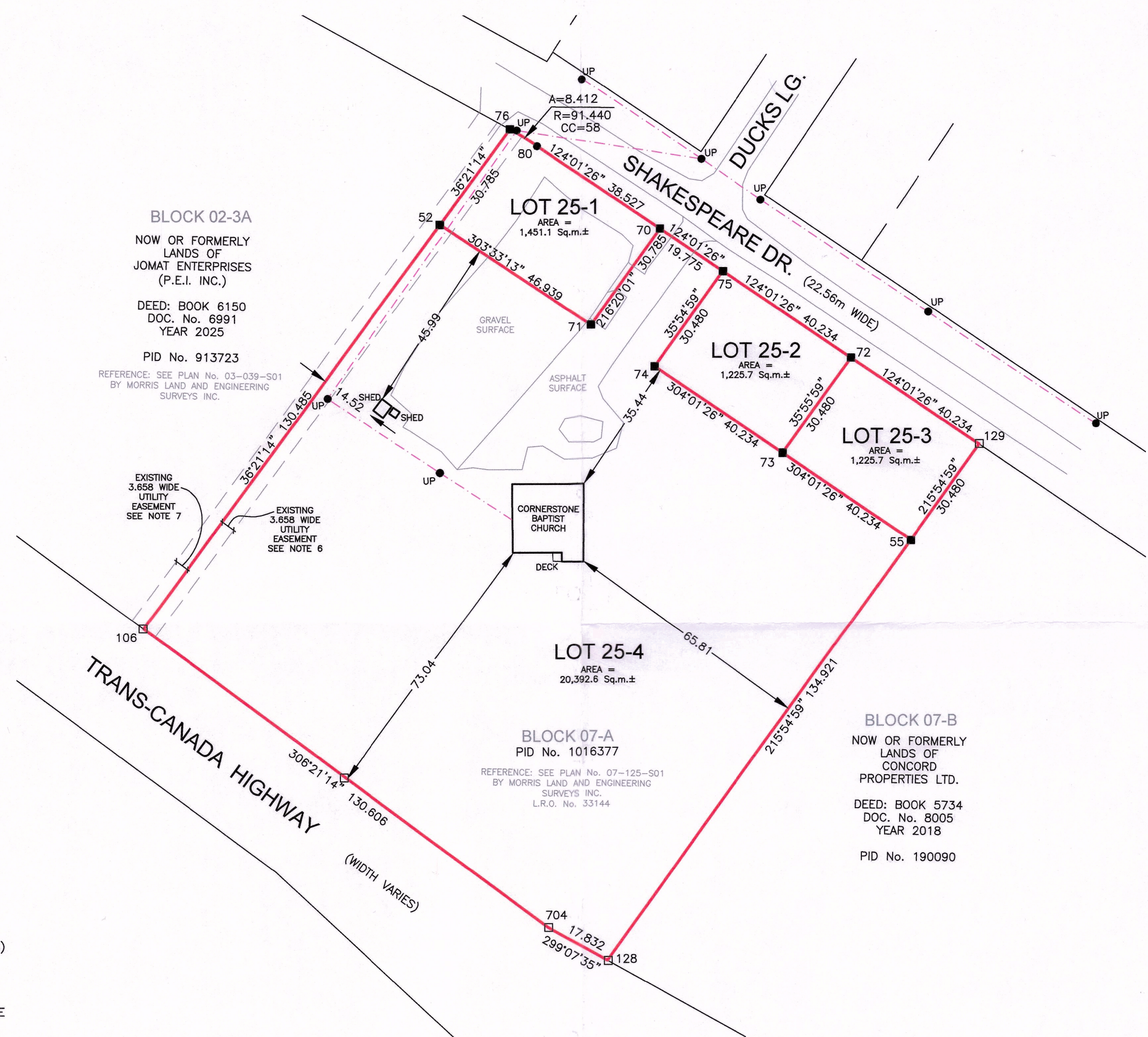
## **Agenda Item #12.c)**

7. That a copy of the signed shared parking agreement between the PEI Martial Arts Inc and the Cornerstone Church be submitted to the Town
8. This development must adhere to the various Development Standards and Architectural guidelines as noted in the Town Centre Core Area Design Standards Appendix in the Zoning Bylaw
9. All other relevant provisions of the Town of Stratford Zoning and Development Bylaw, Bylaw #45

***This resolution bears the recommendation of the Planning & Heritage Committee as discussed at a Planning & Heritage Committee meeting held on June 1, 2026.***

The developer/owner(s) of Lots 25-1, 25-2 or 25-3 shall be responsible to install the water and sewer lateral(s) from the municipal sewer and water mains on Shakespeare Drive to the property boundaries for the newly developed lots as per the Stratford Utility Corporation Servicing Regulations.

**APPROVED BY**  
*As outlined in red*  
*Plough* *Jan 8/26*  
 DATE



- LEGEND**
- LANDS DEALT WITH BY THIS PLAN . . . . .
  - FOUND SURVEY MARKER . . . . .
  - PLACED SURVEY MARKER . . . . .
  - CALCULATED POINT . . . . .
  - UTILITY POLE . . . . .
  - AERIAL POWER LINE . . . . .
  - RADIUS . . . . .
  - ARC LENGTH . . . . .
  - CENTER OF CURVATURE . . . . .

**SANDSTONE**  
 SURVEYING AND ENGINEERING

588 MAIN STREET, PO Box 580, CORNWALL, PEI, COA 1H0  
**t: 902-394-2945**  
**info@sandstoneengineering.ca**

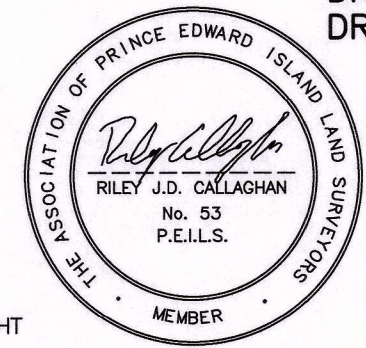
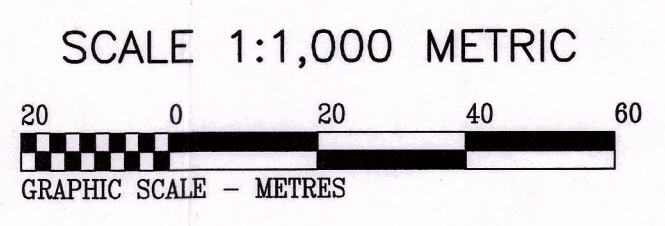
**PLAN OF SURVEY SHOWING  
 LOTS 25-1, 25-2, 25-3  
 AND 25-4  
 BEING A SUBDIVISION OF LANDS OF  
 CORNERSTONE 2007 INC.**

STRATFORD QUEENS COUNTY LOT 48 P.E.I.  
 DRAWN BY: DAF P.I.D. No. 1016377  
 DRAWING No. 25306-2

- NOTES**
- THIS SURVEY WAS EXECUTED ON DECEMBER 8 AND 16, 2025.
  - PLAN PREPARED IN METRIC WITH ALL DISTANCES GIVEN IN METRES (m) UNLESS NOTED OTHERWISE.
  - AZIMUTHS AND COORDINATES SHOWN ON THIS PLAN ARE BASED ON THE PEI DOUBLE STEREOGRAPHIC PROJECTION WITH NAD83 (CSRS) REFERENCE SYSTEM, EPOCH 2010, AND DERIVED FROM THE PEI ACTIVE CONTROL SYSTEM AND REFERENCED SURVEY PLANS. OBSERVED COORDINATES OF PROVINCIAL CONTROL MONUMENT(S) (P.C.M.) ARE LISTED BELOW.
  - PROPERTY NUMBERS AND PROPERTY OWNER'S NAMES HAVE BEEN PROVIDED BY THE PEI DEPARTMENT OF FINANCE AND MUNICIPAL AFFAIRS TAXATION AND PROPERTY RECORDS, GEOMATICS INFORMATION CENTRE.
  - SURVEY MARKERS PLACED WERE MARKED WITH "2025" AND "53" REPRESENTING YEAR AND SURVEYOR'S NUMBER, RESPECTIVELY.
  - A 3.658 WIDE UTILITY EASEMENT EXISTS OVER LOTS 25-1 AND 25-4, IN FAVOUR OF PID No. 913723, AS STATED IN DEED: BOOK 1251, PAGE No. 10.
  - A 3.658 WIDE UTILITY EASEMENT EXISTS OVER LOTS PID No. 913723 IN FAVOUR OF THE SUBJECT PROPERTY, PID No. 1016377, AS STATED IN DEED: BOOK 1251, PAGE No. 10.
  - LOTS 25-1, 25-2, 25-3 & 25-4 ARE PORTIONS OF PID No. 1016377, NOW OR FORMERLY BEING THE LANDS OF CORNERSTONE 2007 INC. SEE DEED: BOOK 5179, DOC. No. 326, YEAR: 2008.

P.E.I. DOUBLE STEREOGRAPHIC PROJECTION COORDINATES EXPRESSED IN METRES, NAD83 (CSRS) DATUM

Point	Northing	Easting
52	686283.051	392835.586
55	686201.132	392958.145
58	686227.678	392809.848
70	686281.907	392892.943
71	686257.107	392874.704
72	686248.329	392942.679
73	686223.645	392924.799
74	686246.157	392891.453
75	686270.842	392909.333
76	686307.844	392853.834
80	686303.464	392861.012
106	686177.961	392758.237
128	686091.863	392879.000
129	686225.817	392976.025
704	686100.542	392863.423



I, RILEY J.D. CALLAGHAN, PRINCE EDWARD ISLAND LAND SURVEYOR, DO HEREBY CERTIFY THAT THIS SURVEY WAS EXECUTED UNDER MY DIRECTION AND SUPERVISION, AND THAT THIS PLAN IS A TRUE AND CORRECT REPRESENTATION OF SAID SURVEY.

*Riley J.D. Callaghan*  
 RILEY J.D. CALLAGHAN P.E.I. LAND SURVEYOR  
 JANUARY 5, 2026  
 DATE

# PEI MARTIAL ARTS CENTRE LOT25-1 , SHAKESPEARE DR, STRATFORD, PE.

## ARCHITECTURE

- A00 COVER
- SP1 SITE PLAN
- A01 FLOOR PLANS
- A02 FLOOR PLANS
- A03 ELEVATIONS & ROOF FLOOR PLAN
- A04 ELEVATIONS & WINDOWS DETAILS & B.F.WASHROOM DETAILS
- A05 BUILDING SECTIONS & WINDOWS DETAILS & DOOR SCHEDULE
- A06 STAIRS LAYOUT
- A07 STAIRS SECTIONS & STAIRS DETAILS & B.F.WASHROOM LAYOUT
- A08 WALL SECTIONS
- A09 WALL DETAILS
- A10 WINDOWS DETAILS

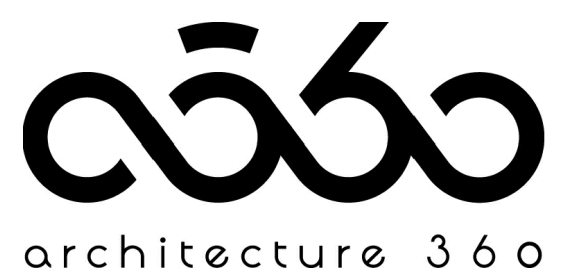
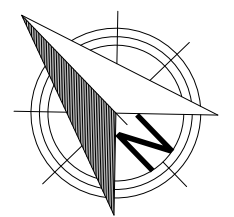


03.	REMOVE OFFICE AND ENLARGE WINDOW	2026-05-04	F.L.
02.	ADDED SPRINKLER ROOM IN LOWER LEVEL	2026-04-30	F.L.
01.	REMOVE WINDOWS IN LOWER LEVEL	2026-04-30	F.L.
NO.	REVISION	YYYY-MM-DD	DWN. BY

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DRAWINGS SHALL NOT BE SCALED AND SHALL NOT BE USED FOR CONSTRUCTION UNTIL SIGNED BY THE OWNERS' REPRESENTATIVE.

STAMP:



PROJECT:

PEI MARTIAL ARTS CENTRE  
LOT25-1, SHAKESPEARE DR,  
STRATFORD, PE.

DRAWING TITLE:

COVER

DATE: 2026-04-09

SCALE: AS NOTED

DRAWN BY: F.L.

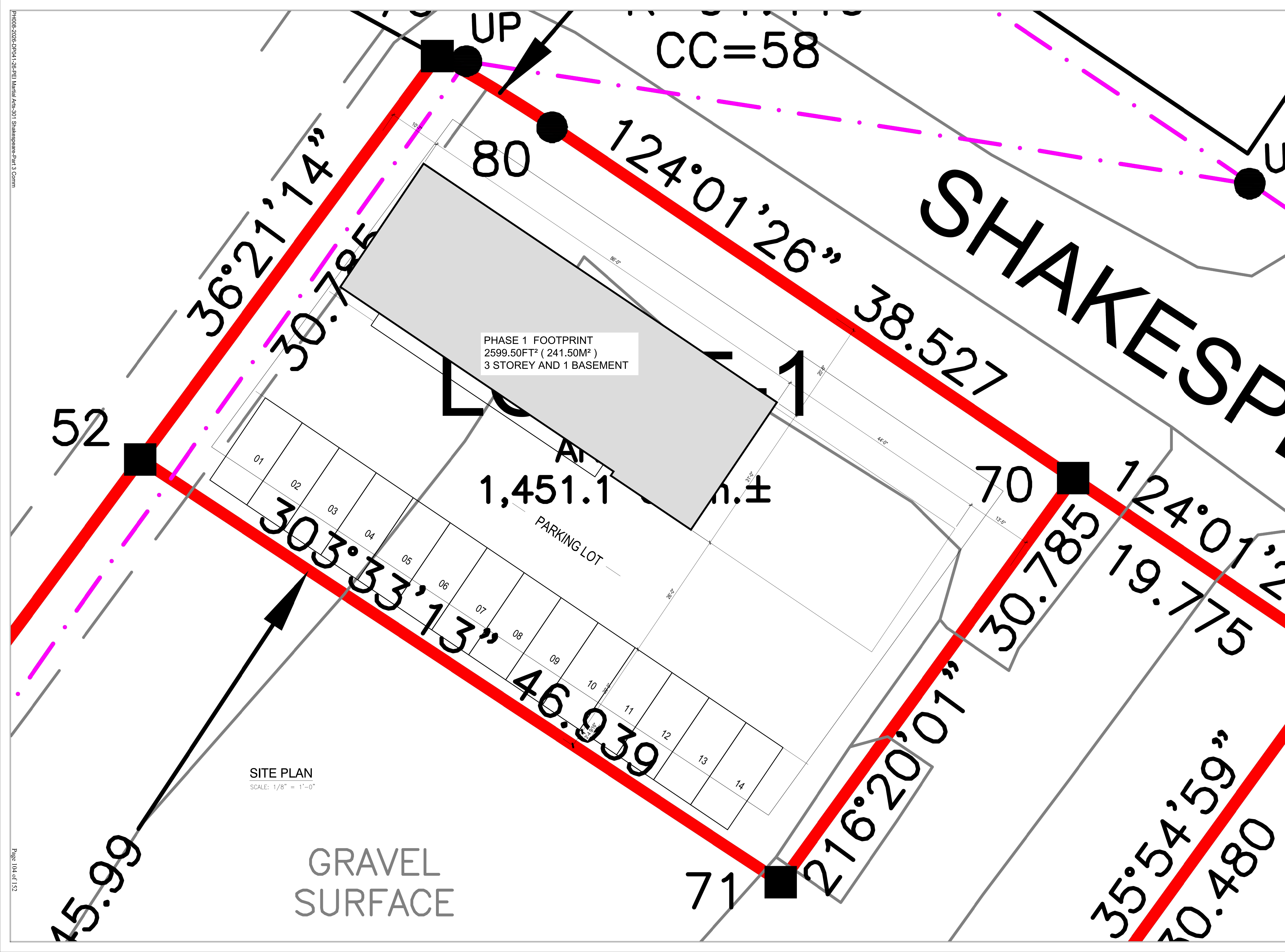
CHECKED BY: C.R.J.

FILE NO.: 2026-006

**A00**

Agenda Item #12c

REV 03.01

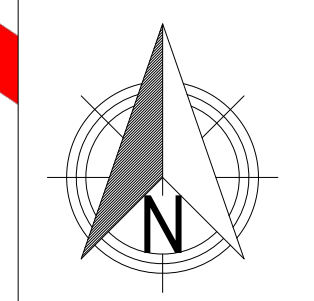


PHASE 1 FOOTPRINT  
 2599.50FT<sup>2</sup> ( 241.50M<sup>2</sup> )  
 3 STOREY AND 1 BASEMENT

SITE PLAN  
 SCALE: 1/8" = 1'-0"

03.	REMOVE OFFICE AND ENLARGE WINDOW	2026-05-04	F.L.
02.	ADDED SPRINKLER ROOM IN LOWER LEVEL	2026-04-30	F.L.
01.	REMOVE WINDOWS IN LOWER LEVEL	2026-04-30	F.L.
NO.	REVISION	YYYY-MM-DD	DWN. BY

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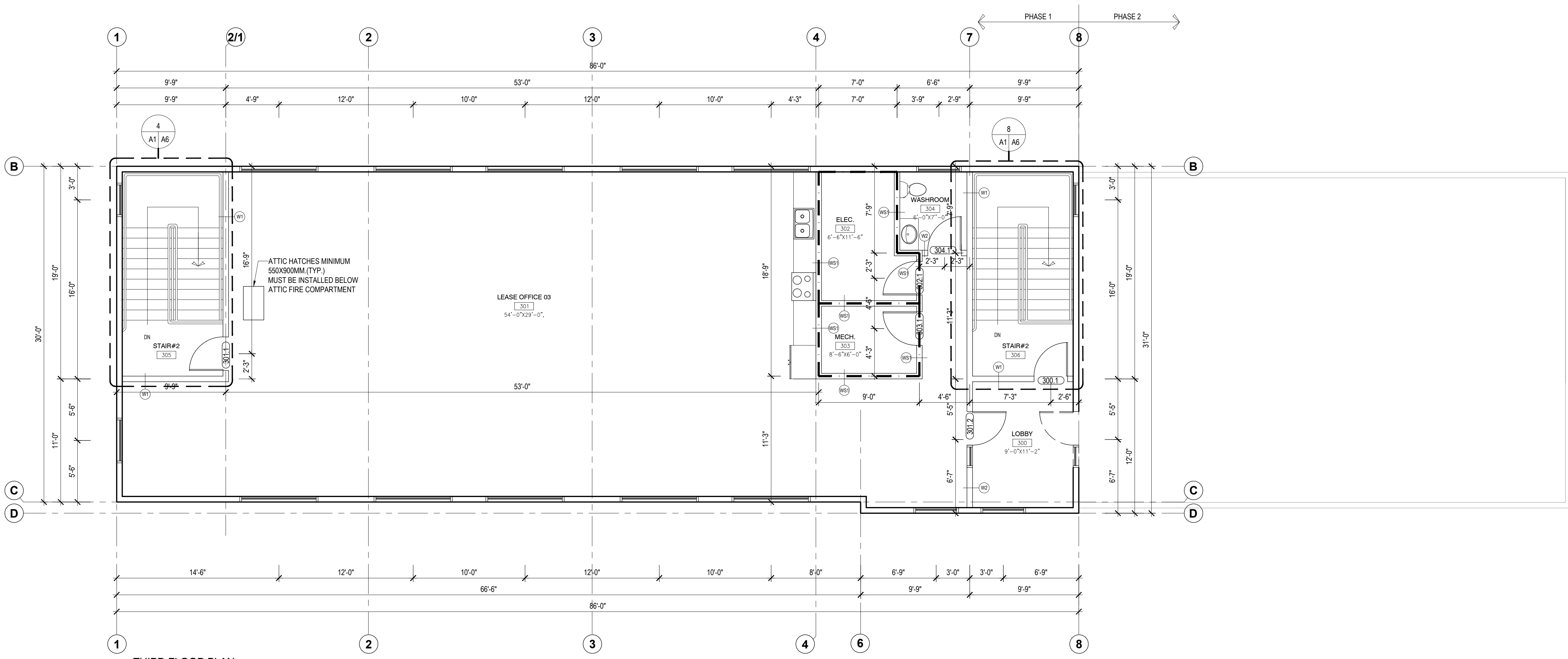
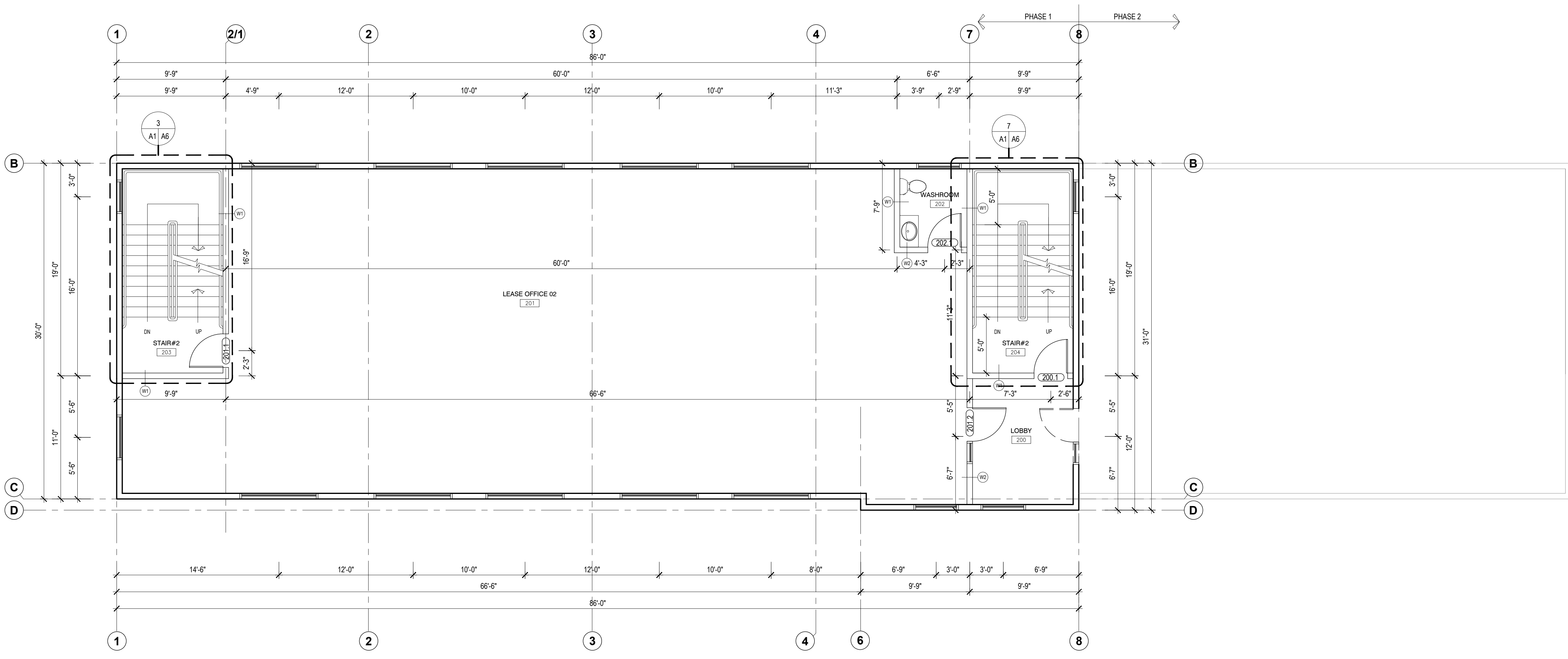


PROJECT:  
 PEI MARTIAL ARTS CENTRE  
 LOT25-1, SHAKESPEARE DR,  
 STRATFORD, PE.

DRAWING TITLE:  
 SITE PLAN

DATE:	2026-04-09	SP01
SCALE:	AS NOTED	
DRAWN BY:	F.L.	
CHECKED BY:	C.R.J.	
FILE NO.:	2026-006	REV 03.01





**WALL ASSEMBLIES**

- EW1
  - EXTERIOR FINISH AS PER ELEVATIONS
  - 1 1/2" ENER-AIR RIGID INSULATION
  - 1/2" WOOD SHEATHING
  - 2 X 6 WOOD STUDS @ 16" O.C.
  - BATT INSULATION
  - 6 MIL POLY VAPOUR BARRIER
  - 5/8" TYPE X GYPSUM BOARD
- EW2
  - BACK FILL 2"
  - THICK TYPE 2 EPS INSULATION
  - DELTA DRAINAGE BOARD (OR APPROVED EQUAL) FROM TOP OF FOUNDATION TO TOP OF FOOTING
  - BLUE SKIN SA MEMBRANE (SEE STRUCTURAL)
  - CONCRETE FOUNDATION WALL (SEE STRUCTURAL)
  - 4" THICK TYPE 2 EPS INSULATION
  - 2-1/2" METAL STUDS
  - 5/8" TYPE X GYPSUM BOARD
- W1
  - 5/8" TYPE X GYPSUM BOARD
  - 2 X 6 WOOD STUDS @ 16" O.C.
  - SOUND ABSORPTIVE MATERIAL
  - 5/8" TYPE X GYPSUM BOARD
- WIS
  - W1 WITH RESILIENT METAL CHANNEL
- W2
  - 5/8" TYPE X GYPSUM BOARD
  - 2 X 4 WOOD STUDS @ 16" O.C.
  - BATT INSULATION
  - 5/8" GYPSUM BOARD
- W3
  - 5/8" TYPE X GYPSUM BOARD
  - 2 X 6 WOOD STUDS @ 16" O.C.
  - SOUND ABSORPTIVE MATERIAL
  - RESILIENT METAL CHANNEL
  - MOISTURE RESISTANT GYPSUM BOARD ON BATHROOM SIDE

**FLOOR ASSEMBLIES**

- F1
  - 5" CONCRETE FLOOR SLAB
  - 10 MIL POLY VAPOUR BARRIER
  - 3" EXTRUDED POLY ISO INSULATION BOARD 4" PERIMETER
  - 6" GRAVEL
  - COMPACTED OR UNDISTURBED EARTH SEE STRUCTURAL
- F2
  - FINISH FLOORING
  - 3/4" OSB SHEATHING
  - 14" ENGINEERED T WOOD TRUSS @ 16" O/C MAX. AS PER STRUCTURAL
  - ACOUSTIC BATT INSULATION
  - RESILIENT CHANNEL @ 16" O/C MAX
  - 2-5/8" TYPE X GYPSUM BOARD
  - PAINT FINISH UNLESS NOTED
- F3
  - FINISH FLOORING
  - 4 1/2" CONCRETE
  - STEEL DECKING
  - STRUCTURAL STEEL FRAMING

**ROOF ASSEMBLIES**

- R1
  - METAL ROOFING
  - SHEATHING WITH H-CLIPS (TYP.) (SEE STRUCTURAL)
  - WOOD ROOF TRUSSES (SEE STRUCTURAL)
  - MIN. R50 BLOWN CELLULOSE INSULATION
  - 6 MIL POLY VAPOUR BARRIER
  - 1 X 4 WOOD STRAPPING @ 16" O.C.
  - 5/8" TYPE X GYPSUM BOARD

- ATTIC FIRE BLOCK**
- 5/8" GYPSUM BOARD APPLIED TO ONE SIDE OF ROOF TRUSSES
  - ALL JOINTS IN G.I.W.B. TO BE FIRE TAPED AND BACKED WITH SOLID LUMBER.

**LEGEND**

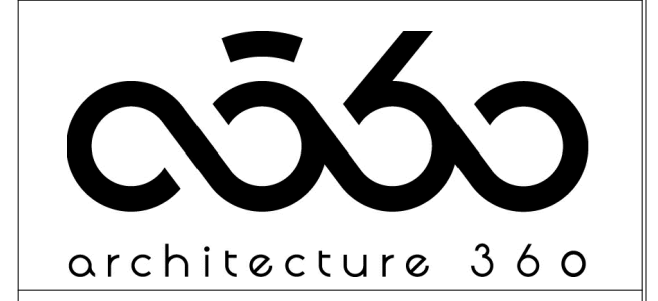
- F.E. 10 LB. A.B.C. TYPE FIRE EXTINGUISHER
- ☼ EMERGENCY LIGHTING
- ATTIC HATCH ATTIC HATCH. MIN DIMENSIONS 550 MM X 900 MM.

03.	REMOVE OFFICE AND ENLARGE WINDOW	2026-05-04	F.L.
02.	ADDED SPRINKLER ROOM IN LOWER LEVEL	2026-04-30	F.L.
01.	REMOVE WINDOWS IN LOWER LEVEL	2026-04-30	F.L.
NO.	REVISION	YYYY-MM-DD	DWN. BY

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STAMP:



PROJECT:  
PEI MARTIAL ARTS CENTRE  
LOT25-1, SHAKESPEARE DR,  
STRATFORD, PE.

DRAWING TITLE:  
**FLOOR PLANS**

DATE:	2026-04-09	A02
SCALE:	AS NOTED	
DRAWN BY:	F.L.	
CHECKED BY:	C.R.J.	
FILE NO.:	2026-006	
	REV 03/01	



**FRONT ELEVATION**  
SCALE: 3/16" = 1'-0"



**REAR ELEVATION**  
SCALE: 3/16" = 1'-0"

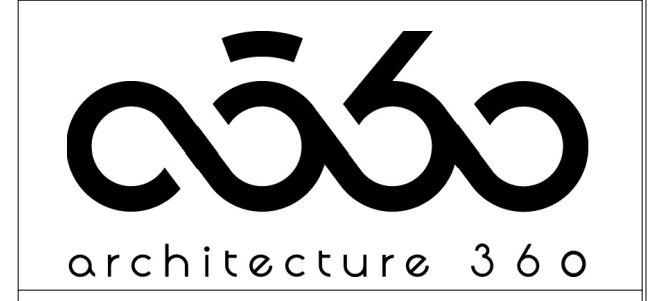
- PANEL COLOR WHITE
- SONG COLOR DARK EUROPEAN CHERRY
- SONG COLOR WHITE HORIZONTAL SONG
- DARK METAL ROOF BY OWNER

G3. REMOVE OFFICE AND ENLARGE WINDOW	2026-05-04	F.L.
G2. ADDED SPRINKLER ROOM IN LOWER LEVEL	2026-04-30	F.L.
G1. REMOVE WINDOWS IN LOWER LEVEL	2026-04-30	F.L.
NO. REVISION	YYYY-MM-DD	DWN. BY

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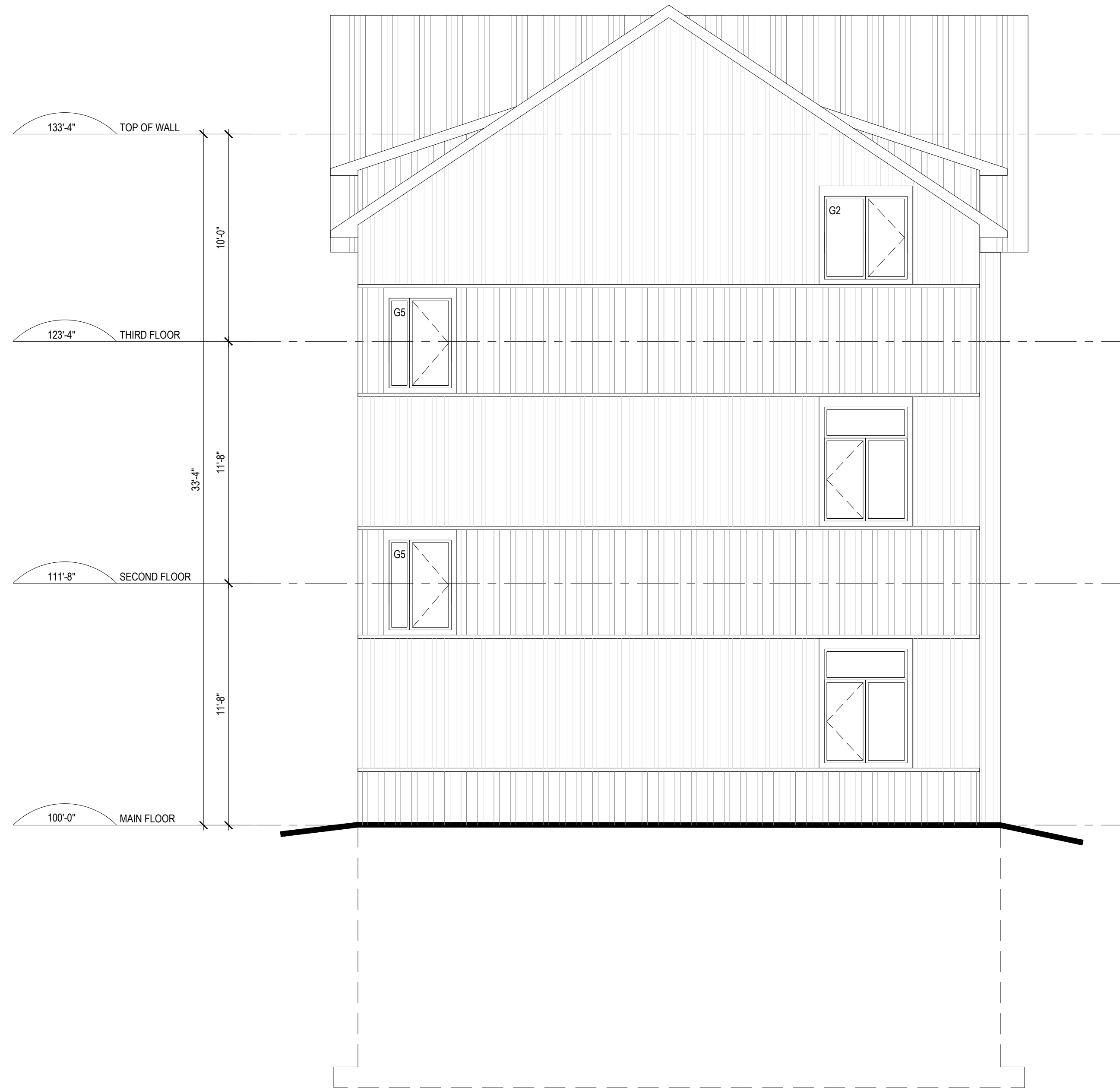


PROJECT:  
PEI MARTIAL ARTS CENTRE  
LOT25-1, SHAKESPEARE DR,  
STRATFORD, PE.

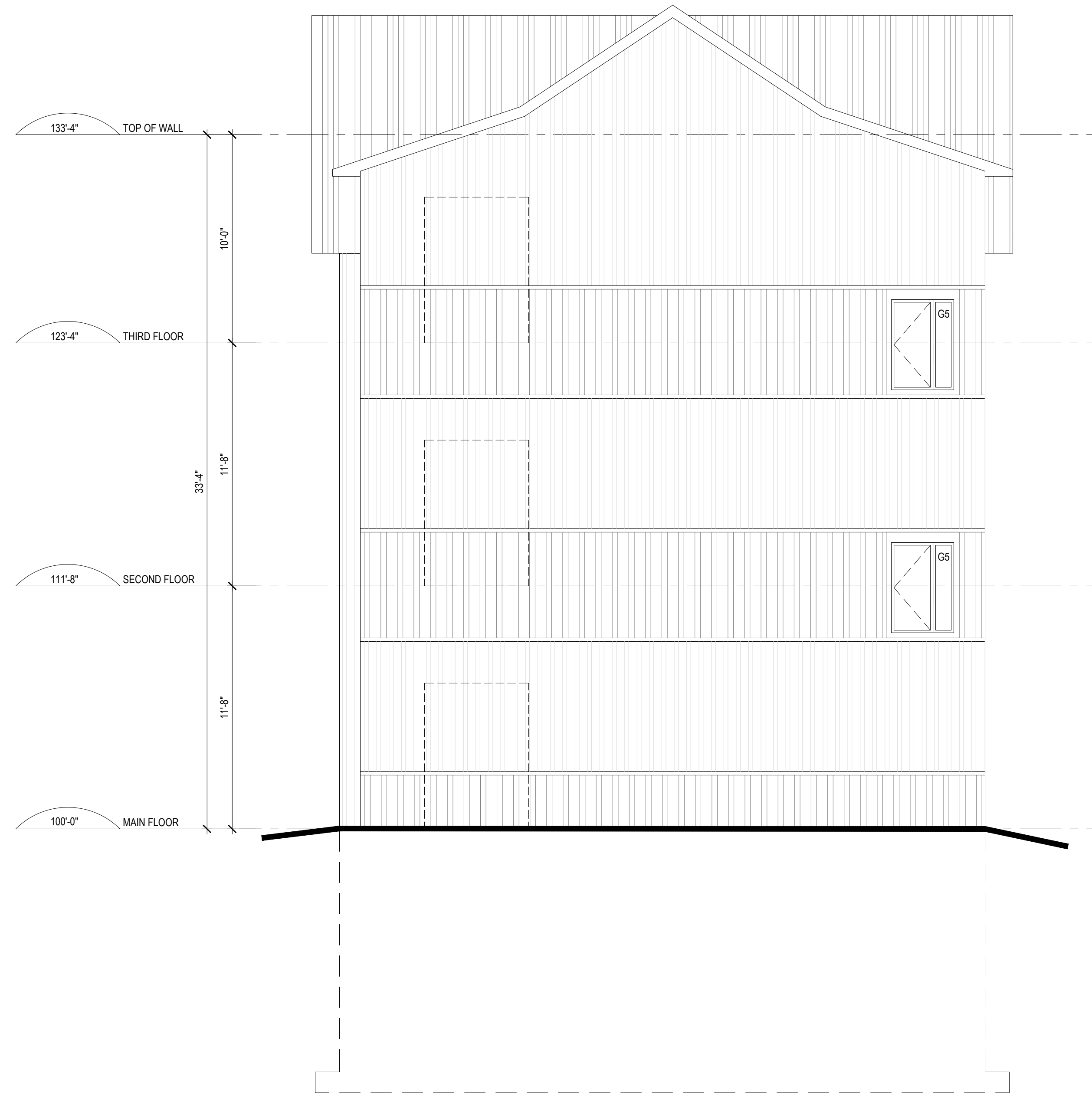
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**ELEVATIONS**

DATE:	2026-04-09	<b>A03</b> Agenda Item #12(c)
SCALE:	AS NOTED	
DRAWN BY:	F.L.	
CHECKED BY:	C.R.J.	
FILE NO.:	2026-006	
REV	03.01	

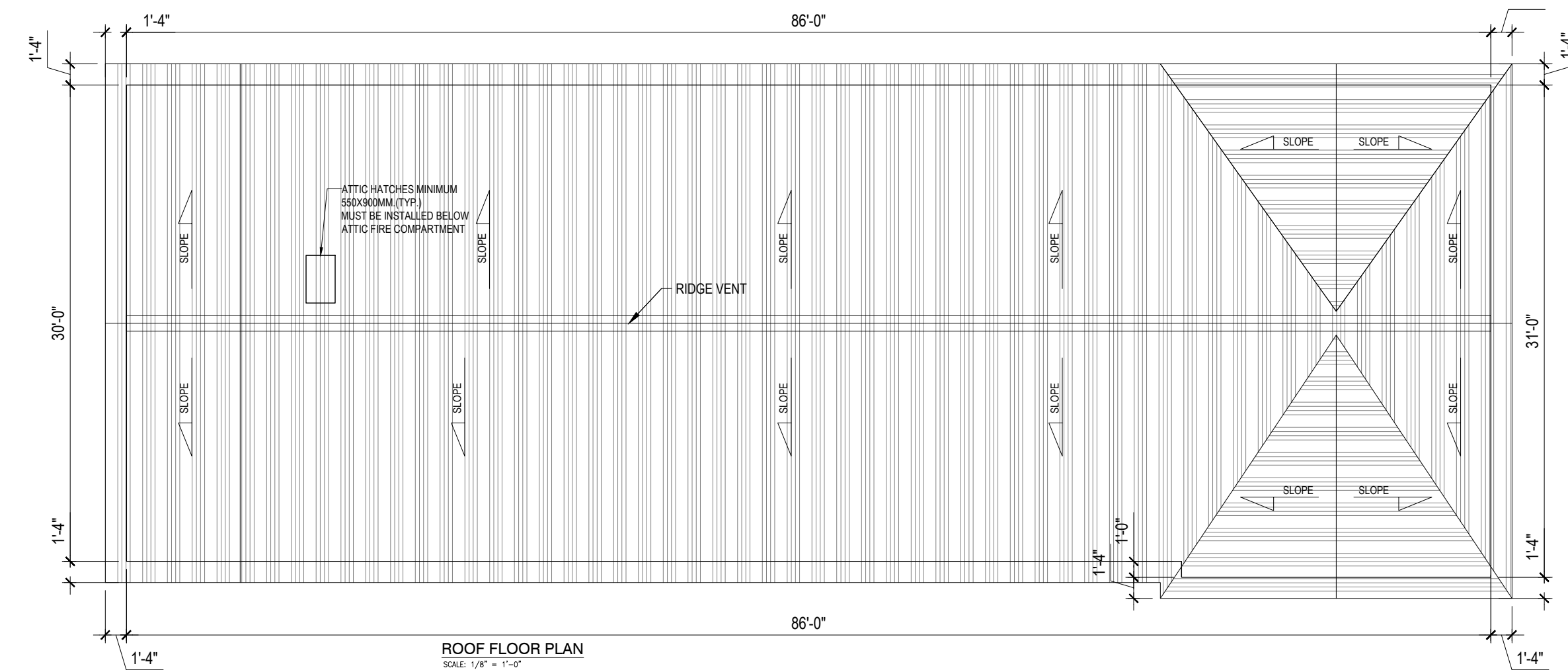
-  PANEL  
COLOR: WHITE
-  SIDING  
COLOR: DARK EUROPEAN CHERRY
-  SIDING  
COLOR: WHITE HORIZONTAL SIDING
-  DARK METAL ROOF (BY OWNER)



**LEFT ELEVATION**  
SCALE: 1/4" = 1'-0"



**RIGHT ELEVATION**  
SCALE: 1/4" = 1'-0"



**ROOF FLOOR PLAN**  
SCALE: 1/8" = 1'-0"

NO.	REVISION	DATE	BY
03.	REMOVE OFFICE AND ENLARGE WINDOW	2026-05-04	F.L.
02.	ADDED SPRINKLER ROOM IN LOWER LEVEL	2026-04-30	F.L.
01.	REMOVE WINDOWS IN LOWER LEVEL	2026-04-30	F.L.
NO.	REVISION	YYYY-MM-DD	DWN. BY

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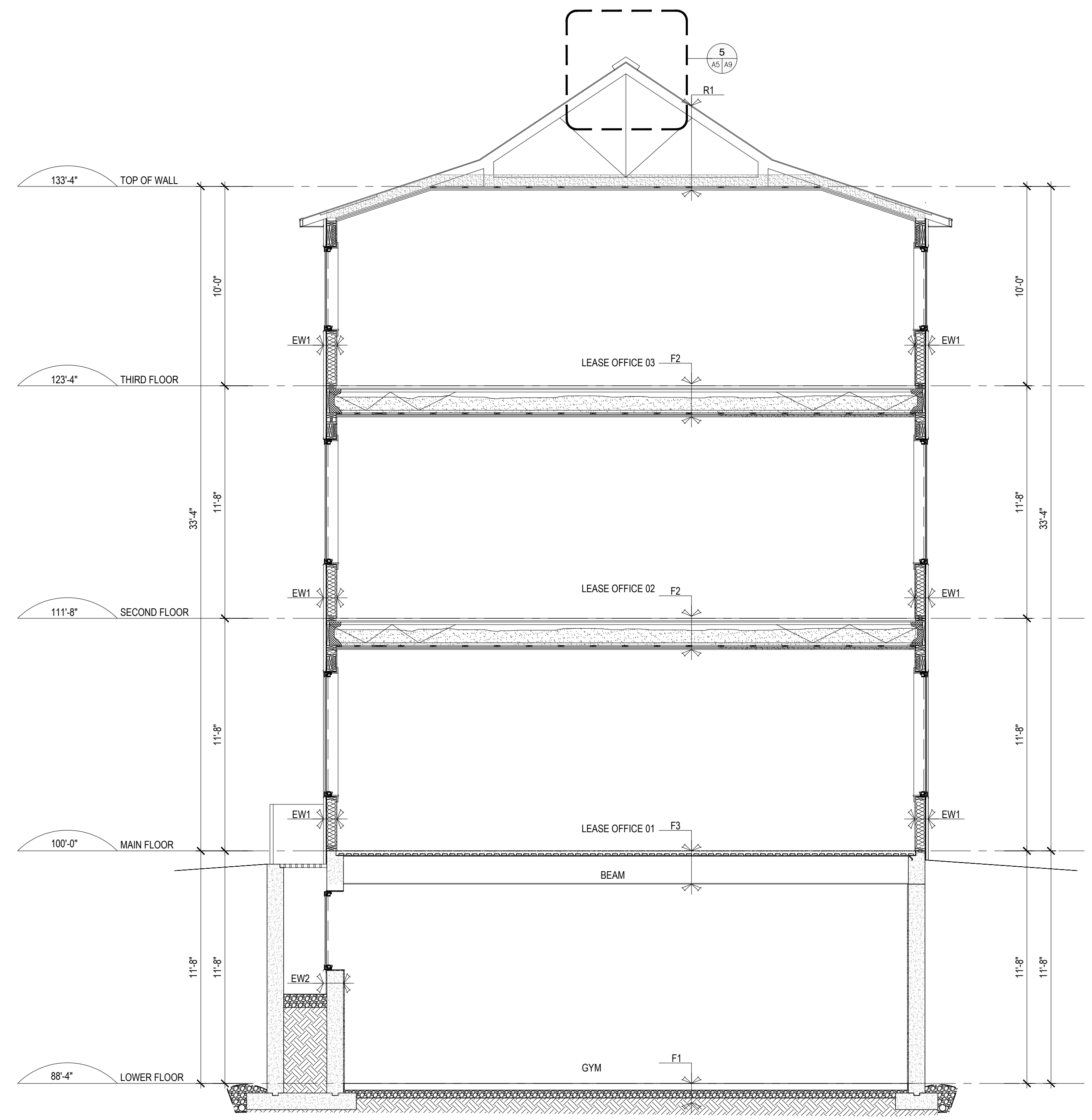
DRAWING TITLE:  
**ELEVATIONS**

DATE: 2026-04-09  
SCALE: AS NOTED  
DRAWN BY: F.L.  
CHECKED BY: C.R.J.  
FILE NO.: 2026-006

**A04**

REV 03/01

Agenda Item #12(c)



**DOOR SCHEDULE**

LOWER FLOOR		DOOR				FRAME			FIRE RATING	REMARKS
DOOR NO.	LOCATION	WIDTH X HEIGHT	DOOR TYPE	MATERIAL	FINISH	FRAME TYPE	MATERIAL	FINISH		
001.1	STOR. 001 TO GYM. 002	36" X 84"	D2	METAL	PAINTED	F2	STEEL	PAINTED	45M	-
002.1	GYM. 002 TO STAIR#1 006	36" X 84"	D1	WOOD	PAINTED	F1	STEEL	PAINTED	45M	-
002.2	GYM. 002 TO STAIR#2 007	72" X 84"	D5	WOOD	PAINTED	F3	STEEL	PAINTED	45M	-
002.3	GYM. 002 TO DW	36" X 84"	D1	WOOD	PAINTED	F1	STEEL	PAINTED	-	-
003.1	OFFICE 003 TO GYM. 002	48" X 84"	D7	ALUMINUM	CLEAR	-	ALUMINUM	CLEAR	-	-
004.1	WOMEN'S WASHROOM 004 TO GYM. 002	36" X 84"	D1	WOOD	PAINTED	F1	STEEL	PAINTED	-	-
005.1	MEN'S WASHROOM 004 TO GYM. 002	36" X 84"	D1	WOOD	PAINTED	F1	STEEL	PAINTED	-	-
008.1	SPRINKLER 008 TO GYM. 002	36" X 84"	D2	METAL	PAINTED	F2	STEEL	PAINTED	45M	-

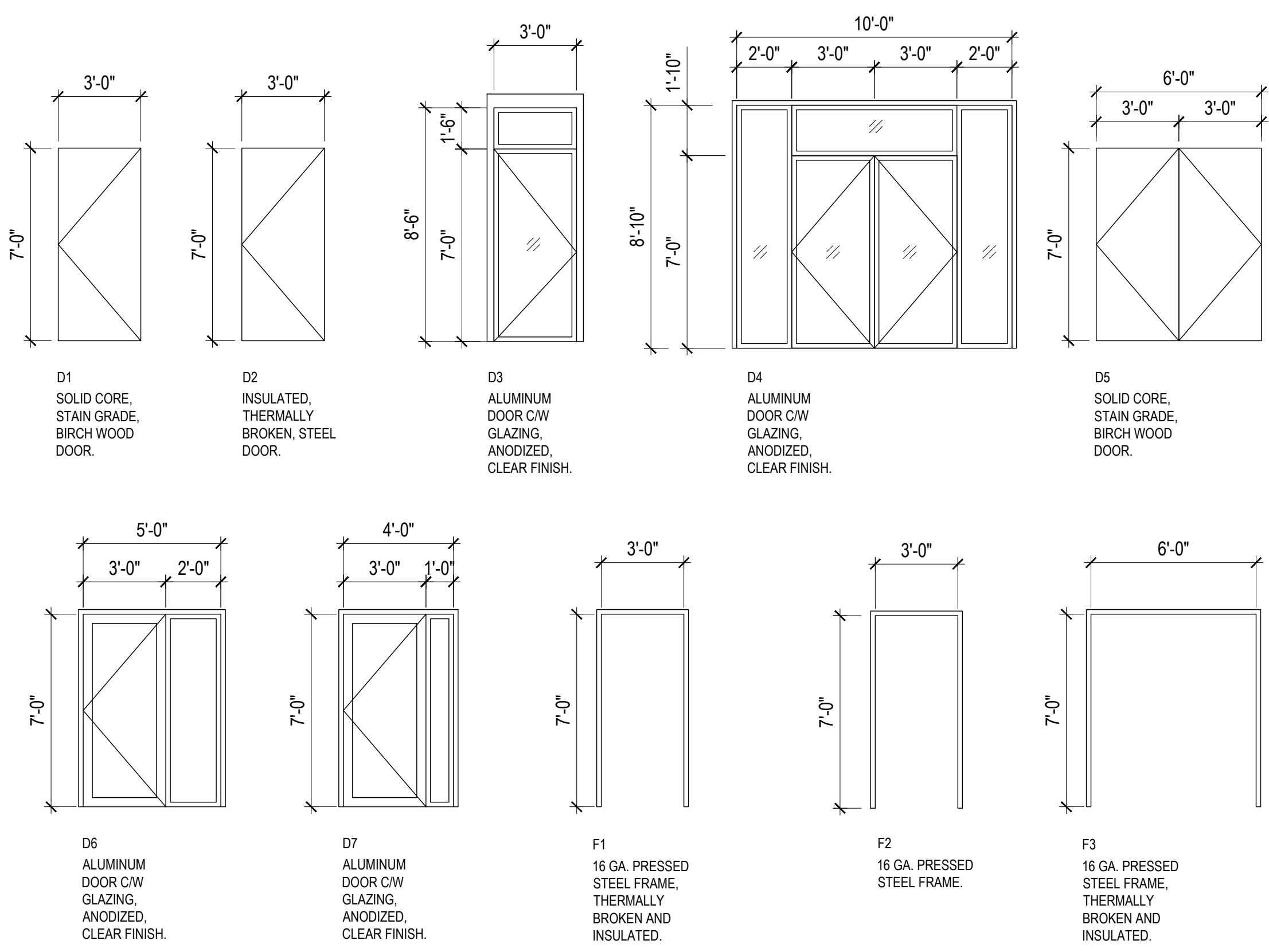
SECOND FLOOR		DOOR				FRAME			FIRE RATING	REMARKS
DOOR NO.	LOCATION	WIDTH X HEIGHT	DOOR TYPE	MATERIAL	FINISH	FRAME TYPE	MATERIAL	FINISH		
100.1	LOBBY 100 TO STAIR#2 105	36" X 84"	D1	WOOD	PAINTED	F1	STEEL	PAINTED	45M	-
100.3	LOBBY 100 TO EXTERIOR	120" X 106"	D4	ALUMINUM	CLEAR	-	ALUMINUM	CLEAR	-	-
101.1	LEASE OFFICE 01 101 TO STAIR#1 104	36" X 84"	D1	WOOD	PAINTED	F1	STEEL	PAINTED	45M	-
101.2	LEASE OFFICE 01 101 TO LOBBY 100	60" X 84"	D6	ALUMINUM	CLEAR	-	ALUMINUM	CLEAR	-	-
102.1	B.F. WASHROOM TO LOBBY 100	36" X 84"	D1	WOOD	PAINTED	F1	STEEL	PAINTED	-	-
103.1	JANITOR ROOM TO LOBBY 100	36" X 84"	D2	METAL	PAINTED	F2	STEEL	PAINTED	-	-
104.1	STAIR#1 104 TO EXTERIOR	36" X 102"	D3	ALUMINUM	CLEAR	-	ALUMINUM	CLEAR	-	-
105.1	STAIR#2 105 TO EXTERIOR	36" X 102"	D3	ALUMINUM	CLEAR	-	ALUMINUM	CLEAR	-	-

THIRD FLOOR		DOOR				FRAME			FIRE RATING	REMARKS
DOOR NO.	LOCATION	WIDTH X HEIGHT	DOOR TYPE	MATERIAL	FINISH	FRAME TYPE	MATERIAL	FINISH		
200.1	LOBBY 200 TO STAIR#2 204	36" X 84"	D1	WOOD	PAINTED	F1	STEEL	PAINTED	45M	-
201.1	LEASE OFFICE 02 201 TO STAIR#1 203	36" X 84"	D1	WOOD	PAINTED	F1	STEEL	PAINTED	45M	-
201.2	LEASE OFFICE 02 201 TO LOBBY 200	60" X 84"	D6	ALUMINUM	CLEAR	-	ALUMINUM	CLEAR	-	-
202.1	WASHROOM TO LOBBY 200	36" X 84"	D1	WOOD	PAINTED	F1	STEEL	PAINTED	-	-

FOURTH FLOOR		DOOR				FRAME			FIRE RATING	REMARKS
DOOR NO.	LOCATION	WIDTH X HEIGHT	DOOR TYPE	MATERIAL	FINISH	FRAME TYPE	MATERIAL	FINISH		
300.1	LOBBY 300 TO STAIR#2 306	36" X 84"	D1	WOOD	PAINTED	F1	STEEL	PAINTED	45M	-
301.1	LEASE OFFICE 03 301 TO STAIR#1 305	36" X 84"	D1	WOOD	PAINTED	F1	STEEL	PAINTED	45M	-
301.2	LEASE OFFICE 03 301 TO LOBBY 300	60" X 84"	D6	ALUMINUM	CLEAR	-	ALUMINUM	CLEAR	-	-
302.1	LOBBY 300 TO ELEC. 302	36" X 84"	D2	METAL	PAINTED	F2	STEEL	PAINTED	45M	-
303.1	LOBBY 300 TO MECH. 303	36" X 84"	D2	METAL	PAINTED	F2	STEEL	PAINTED	45M	-
304.1	WASHROOM TO LOBBY 200	36" X 84"	D1	WOOD	PAINTED	F1	STEEL	PAINTED	-	-



WALL ASSEMBLIES	
EW1	<ul style="list-style-type: none"> <li>EXTERIOR FINISH AS PER ELEVATIONS</li> <li>1 1/2" ENER-AIR RIGID INSULATION</li> <li>1/2" WOOD SHEATHING</li> <li>2 X 6 WOOD STUDS @ 16" O.C.</li> <li>BATT INSULATION</li> <li>6 MIL POLY VAPOUR BARRIER</li> <li>5/8" TYPE X GYPSUM BOARD</li> </ul>
EW2	<ul style="list-style-type: none"> <li>5/8" TYPE X GYPSUM BOARD</li> <li>2 X 6 WOOD STUDS @ 16" O.C.</li> <li>SOUND ABSORPTIVE MATERIAL</li> <li>5/8" TYPE X GYPSUM BOARD</li> </ul>
W1	<ul style="list-style-type: none"> <li>5/8" TYPE X GYPSUM BOARD</li> <li>2 X 6 WOOD STUDS @ 16" O.C.</li> <li>SOUND ABSORPTIVE MATERIAL</li> <li>5/8" TYPE X GYPSUM BOARD</li> </ul>
W1S	W1 WITH RESILIENT METAL CHANNEL
W2	<ul style="list-style-type: none"> <li>5/8" TYPE X GYPSUM BOARD</li> <li>2 X 4 WOOD STUDS @ 16" O.C.</li> <li>BATT INSULATION</li> <li>5/8" GYPSUM BOARD</li> </ul>

FLOOR ASSEMBLIES	
F1	<ul style="list-style-type: none"> <li>5" CONCRETE FLOOR SLAB</li> <li>10 MIL POLY VAPOUR BARRIER</li> <li>3" EXTRUDED POLY ISO INSULATION BOARD 4' PERIMETER</li> <li>6" GRAVEL</li> <li>COMPACTED OR UNDISTURBED EARTH SEE STRUCTURAL</li> </ul>
F2	<ul style="list-style-type: none"> <li>FINISH FLOORING</li> <li>3/4" OSB SHEATHING</li> <li>14" ENGINEERED T WOOD TRUSS @ 16" O/C MAX. AS PER STRUCTURAL</li> <li>ACOUSTIC BATT INSULATION</li> <li>RESILIENT CHANNEL @ 16" O/C MAX</li> <li>2-5/8" TYPE X GYPSUM BOARD</li> <li>PAINT FINISH UNLESS NOTED</li> </ul>
F3	<ul style="list-style-type: none"> <li>FINISH FLOORING</li> <li>4 1/2" CONCRETE</li> <li>STEEL DECKING</li> <li>STRUCTURAL STEEL FRAMING</li> </ul>

ROOF ASSEMBLIES	
R1	<ul style="list-style-type: none"> <li>METAL ROOFING</li> <li>SHEATHING WITH H-CLIPS (TYP.) (SEE STRUCTURAL)</li> <li>WOOD ROOF TRUSSES (SEE STRUCTURAL)</li> <li>MIN. R50 BLOWN CELLULOSE INSULATION</li> <li>6 MIL POLY VAPOUR BARRIER</li> <li>1 X 4 WOOD STRAPPING @ 16" O.C.</li> <li>5/8" TYPE X GYPSUM BOARD</li> </ul>
ATTIC FIRE BLOCK	
<ul style="list-style-type: none"> <li>5/8" GYPSUM BOARD APPLIED TO ONE SIDE OF ROOF TRUSSES</li> <li>ALL JOINTS IN G.W.B. TO BE FIRE TAPED AND BACKED WITH SOLID LUMBER.</li> </ul>	

**GENERAL NOTES:**

- SEE OVERALL FLOOR PLANS FOR LOCATIONS OF SHEAR WALLS AND WALL TYPES FOR UNIT DEMISING WALLS AND CORRIDOR WALLS.
- IN THE EVENT OF A CONFLICT BETWEEN THE INFORMATION ON THE ENLARGED PLAN AND THE OVERALL FLOOR PLANS, THE MORE STRINGENT REQUIREMENT SHALL BE FOLLOWED.
- PROVIDE FIRE BLOCKING IN THE CEILING CAVITY ABOVE EACH UNIT BETWEEN UNITS AND AT THE CORRIDORS AND STAIRS. SEE GENERAL NOTES ON SHEET A101 FOR MORE.
- GENERAL NOTES ON A101 APPLY TO THE ENLARGED PLANS AS WELL.
- INSTALL BLOCKING IN WALLS BEHIND KITCHEN CABINETS, BATHROOM VANITIES, GRAB BARS, CLOTHES RODS, SHELVING ETC AS REQUIRED FOR SOLID FASTENING TYPICAL.
- ALL AIR DUCTS, DRYER VENTS, KITCHEN & BATHROOM AND ERV/HRV'S VENTS ARE TO BE EQUIPPED WITH FIRE DAMPERS.
- ALL DUCT MATERIALS ARE TO BE NON-COMBUSTIBLE OR CLASS 1 ULC.
- ALL COMBUSTIBLE PIPING THAT PASSES THROUGH A HORIZONTAL OR VERTICAL FIRE SEPARATION ARE TO BE FITTED WITH A FIRE COLLAR AND/OR FIRE STOPPED TO NBCC REQUIREMENTS.

**KEY NOTES:**

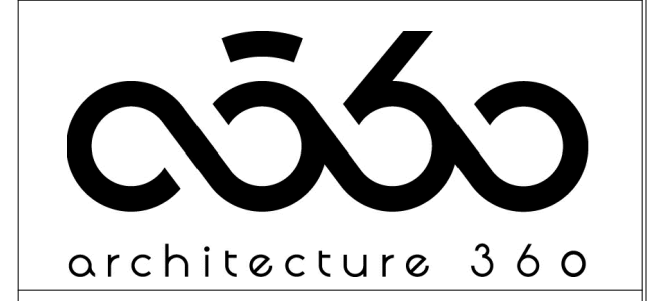
- CLOTHES ROD AND SHELF 3/4" MELAMINE C/W WALL AND EDGE SUPPORTS AS REQUIRED. SEE DETAIL ON MILLWORK DRAWINGS. ROD AND SHELF IN BARRIER-FREE UNITS TO BE MOUNTED BETWEEN 48"-54" A.F.F.
- INSTALL IN ALL UNIT BATHROOMS INCLUDING B.F. UNIT:
  - 1 24" TOWEL ROD (FINISH T.B.D.)
  - 1 TOILET TISSUE DISPENSER (FINISH T.B.D.)
  - 1 ROB HOOK (FINISH T.B.D.)
  - 1 24"x36" MIRROR
- INSTALL IN BARRIER-FREE UNIT BATHROOM:
  - 1 24" LONG GRAB BAR AT BACK OF TOILET
  - 1 18"x18" L-SHAPED GRAB BAR AT SIDE OF TOILET @ ROLL-IN SHOWER
  - 1 40" LONG GRAB BAR MOUNTED HORIZONTALLY AT BACK WALL
  - 1 30" LONG GRAB BAR MOUNTED VERTICALLY AT BACK WALL
  - 1 24" LONG GRAB BAR MOUNTED HORIZONTALLY AT SIDE WALL OPPOSITE FOLDING SEAT
  - 1 40" LONG GRAB BAR MOUNTED VERTICALLY
  - GRAB BARS TO BE 1 5/8" DIAMETER STAINLESS STEEL WITH PEENED GRIP SURFACE.
- STORAGE AND LINEN SHELVING 3/4" MELAMINE C/W WALL AND EDGE SUPPORTS AS REQUIRED. SEE DETAIL ON MILLWORK DRAWINGS.
- LOCATION OF ELECTRICAL PANEL, PHONE/INTERNET/TV CABINET TO BE MOUNTED BELOW ELECTRICAL PANEL.
- STACKING WASHER/DRYER. SIDE BY SIDE WASHER DRYER FOR BARRIER FREE UNIT.
- PROVIDE FLOOR DRAIN IN LAUNDRY AREAS. SEE MECHANICAL DRAWINGS.
- DECKS ON GROUND LEVEL ARE TYPICALLY CONCRETE W/O A GUARD RAIL. ALL DECKS ON THE SECOND, THIRD AND FOURTH LEVELS ARE FRAMED WITH SIENNA P.T. WOOD AND HAVE GLASS GUARD RAILS. SEE ELEVATIONS AND SECTIONS.
- ERV UNIT SHALL BE CEILING MOUNTED.
- ELECTRICAL CONDUIT VERTICAL SERVICE SPACE
  - VERTICAL SERVICE SPACE WALLS TO BE A FIRE SEPARATION WITH A MIN FIRE-RESISTANCE RATING OF 45 MIN. SEE WALL TYPE W3. GYPSUM BOARD TO LINE THE INTERIOR OF THE SHAFT AND SHALL BE ENCLOSED AT THE TOP WITH THE SAME CONSTRUCTION AS REQUIRED FOR VERTICAL SERVICE SPACE WALLS. ANY OPENINGS REQUIRED IN THESE WALLS ARE TO BE PROTECTED WITH LOCKING FIRE RATED ACCESS PANELS.
- INSTALL IN BARRIER-FREE PUBLIC WASHROOM:
  - 1 RECESSED PAPER TOWEL DISPENSER/ WASTE RECEPTACLE
  - 1 SOAP DISPENSER
  - 1 RECESSED TOILET TISSUE DISPENSER
  - 1 24"x36" MIRROR WITH STAINLESS STEEL FRAME
  - 1 ROB HOOK ON BACK OF DOOR
  - 1 24" LONG GRAB BAR AT BACK OF TOILET
  - 1 18"x18" L-SHAPED GRAB BAR AT SIDE OF TOILET
- GRAB BARS TO BE 1 5/8" DIAMETER STAINLESS STEEL WITH PEENED GRIP SURFACE.
  - MOUNTING HEIGHTS FOR ALL WASHROOM ACCESSORIES, LAVATORY AND GRAB BARS AS PER NBCC. PROVIDE ALL REQUIRED BLOCKING IN WALLS FOR MOUNTING ACCESSORIES AND GRAB BARS.
- ALL WASHROOM ACCESSORIES TO BE STAINLESS STEEL FINISH AND COMMERCIAL GRADE QUALITY. SUBMIT SHOP DRAWINGS FOR APPROVAL.
- ONE PIECE ACRYLIC TUB AND ENCLOSURE. U.N.O PROVIDE TRIM TO MATCH TYPICAL DOOR TRIM. SEE MECHANICAL FOR SPECIFICATION.
- WALL MOUNTED TV AT GYM. INSTALL WALL MOUNT KIT AND TV SUPPLIED (ONLY) BY OWNER. COORDINATE LOCATION OF CABLE, POWER DATA ETC AS INDICATED ON ELECTRICAL. PROVIDE BLOCKING 4 FT WIDE X 4 FT DEEP CENTRED ON THE PROPOSED LOCATION CENTRED 5 FT AFF. MOUNT TV SO THAT TOP OF TV IS APPROXIMATELY 1 FT BELOW CEILING LEVEL.
- WALL MOUNTED TV. INSTALL WALL MOUNT KIT AND TV SUPPLIED (ONLY) BY OWNER. COORDINATE LOCATION OF CABLE, POWER DATA ETC AS INDICATED ON ELECTRICAL. PROVIDE BLOCKING 4 FT WIDE X 4 FT DEEP CENTRED ON THE PROPOSED LOCATION CENTRED 5 FT AFF. MOUNT TV SO THAT TOP OF TV IS APPROXIMATELY 6 FT A.F.F.
- SUPPLY AND INSTALL SMOKE DETECTORS IN ALL BEDROOMS AND AREAS IMMEDIATELY OUTSIDE BEDROOMS.

NO.	REVISION	DATE	BY
03.	REMOVE OFFICE AND ENLARGE WINDOW	2026-05-04	F.L.
02.	ADDED SPRINKLER ROOM IN LOWER LEVEL	2026-04-30	F.L.
01.	REMOVE WINDOWS IN LOWER LEVEL	2026-04-30	F.L.
NO.	REVISION	DATE	BY
XXXX	MM-DD		

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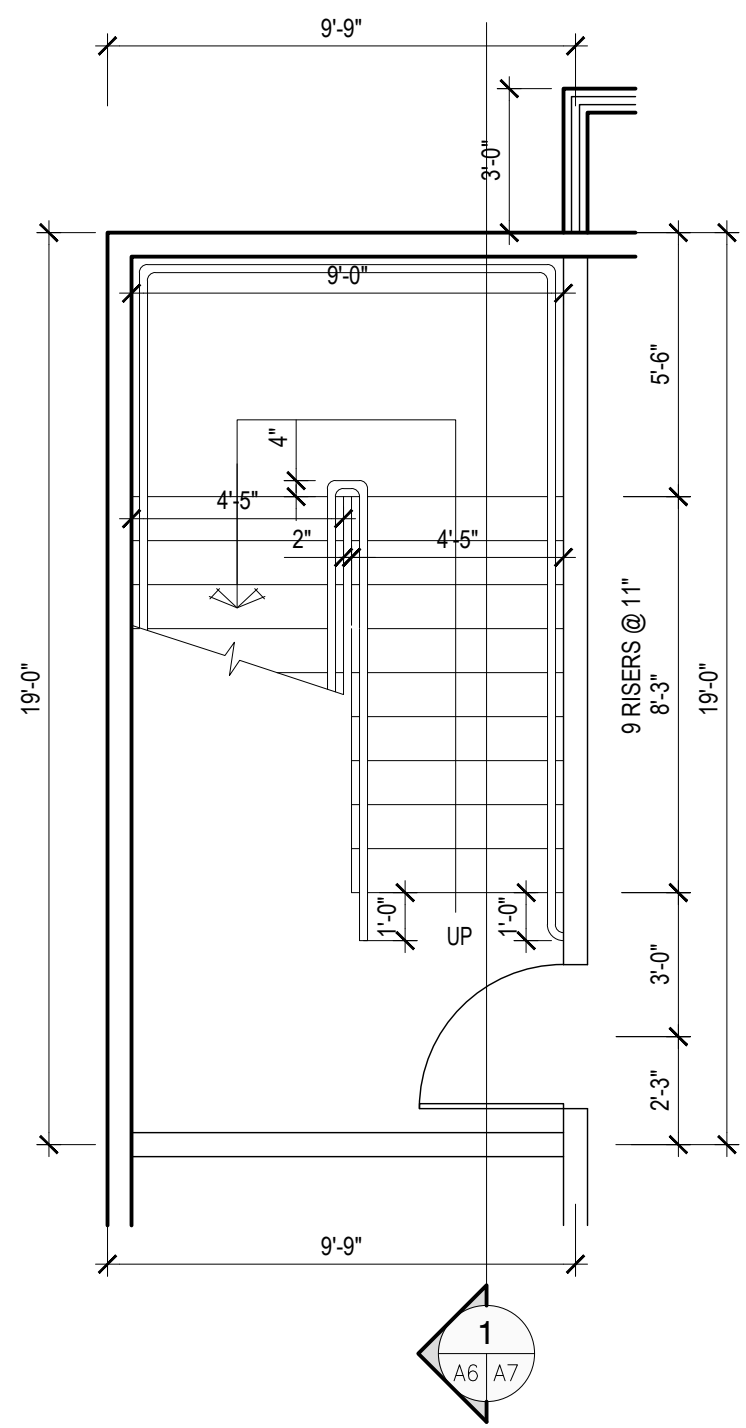
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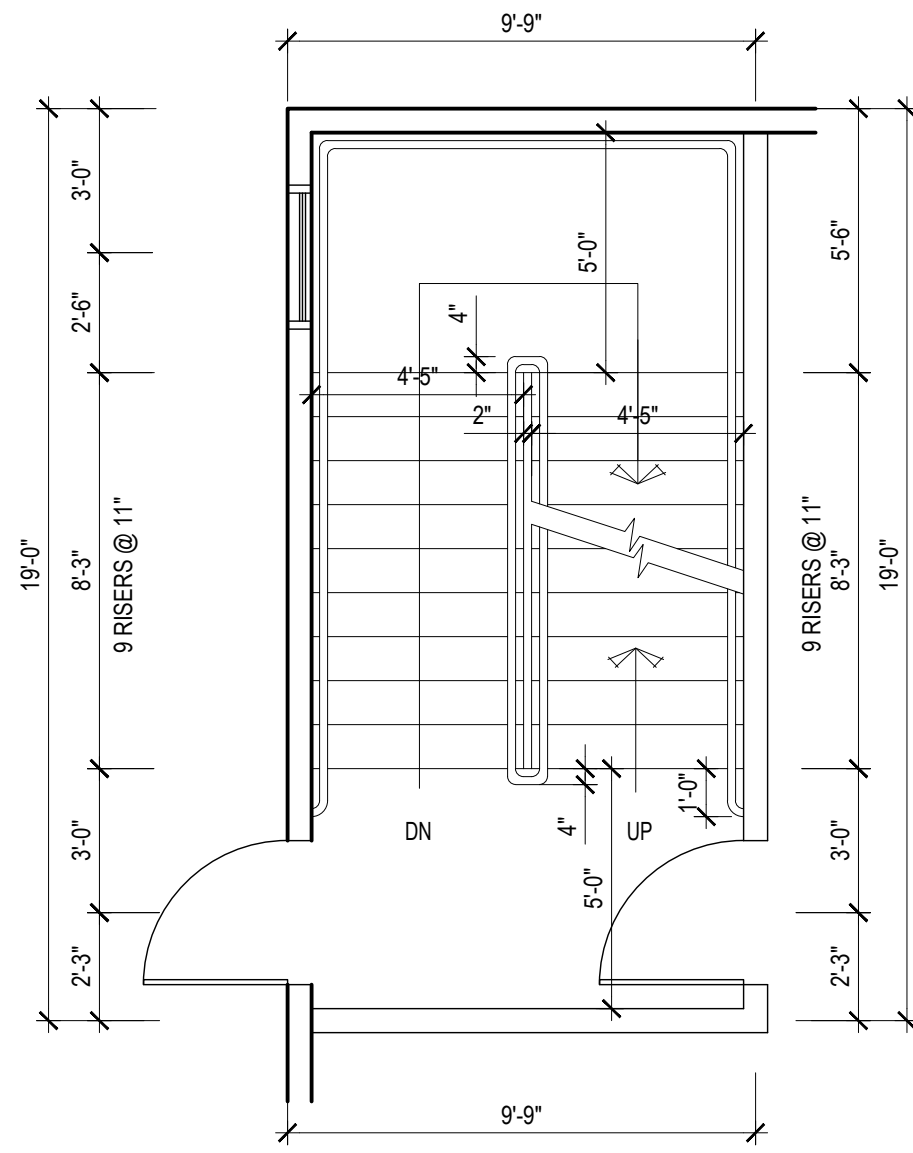
PROJECT:  
PEI MARTIAL ARTS CENTRE  
LOT25-1, SHAKESPEARE DR,  
STRATFORD, PE.

DRAWING TITLE:  
**BUILDING SECTION  
WINDOWS DETAILS  
DOOR SCHEDULE**

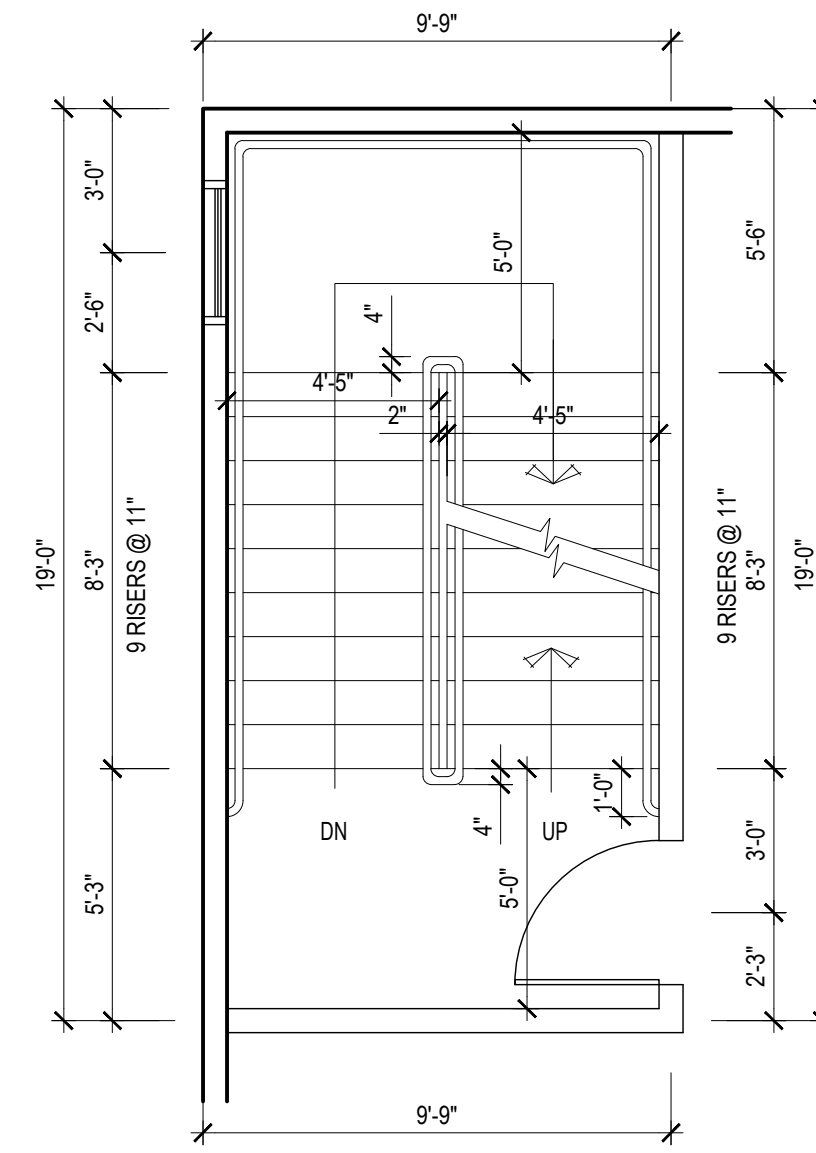
DATE:	2026-04-09
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CHECKED BY:	C.R.J.
FILE NO.:	2026-006
REV	03/01



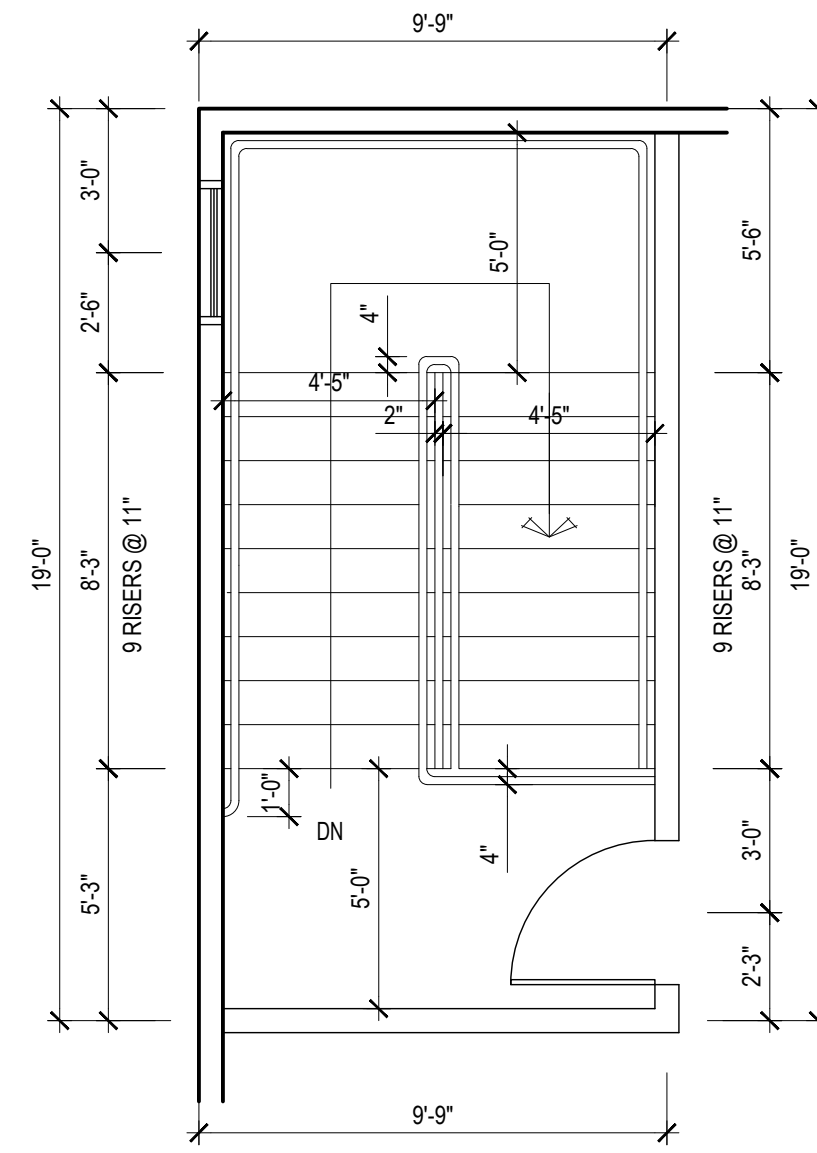
**1 ENLARGED STAIR#1 LOWER FLOOR**  
 A1 A6 SCALE: 1/4" = 1'-0"



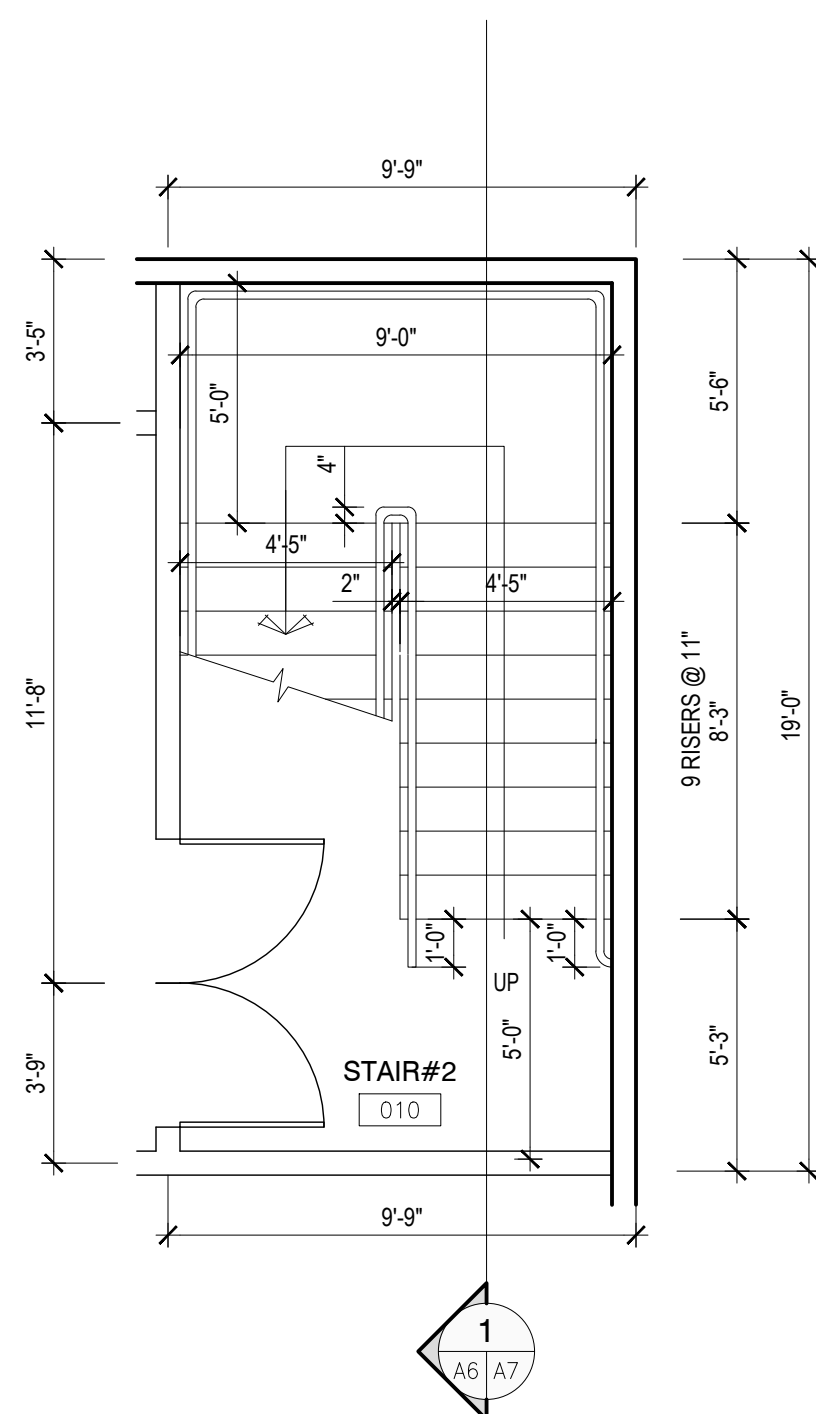
**2 ENLARGED STAIR#1 1ST FLOOR**  
 A1 A6 SCALE: 1/4" = 1'-0"



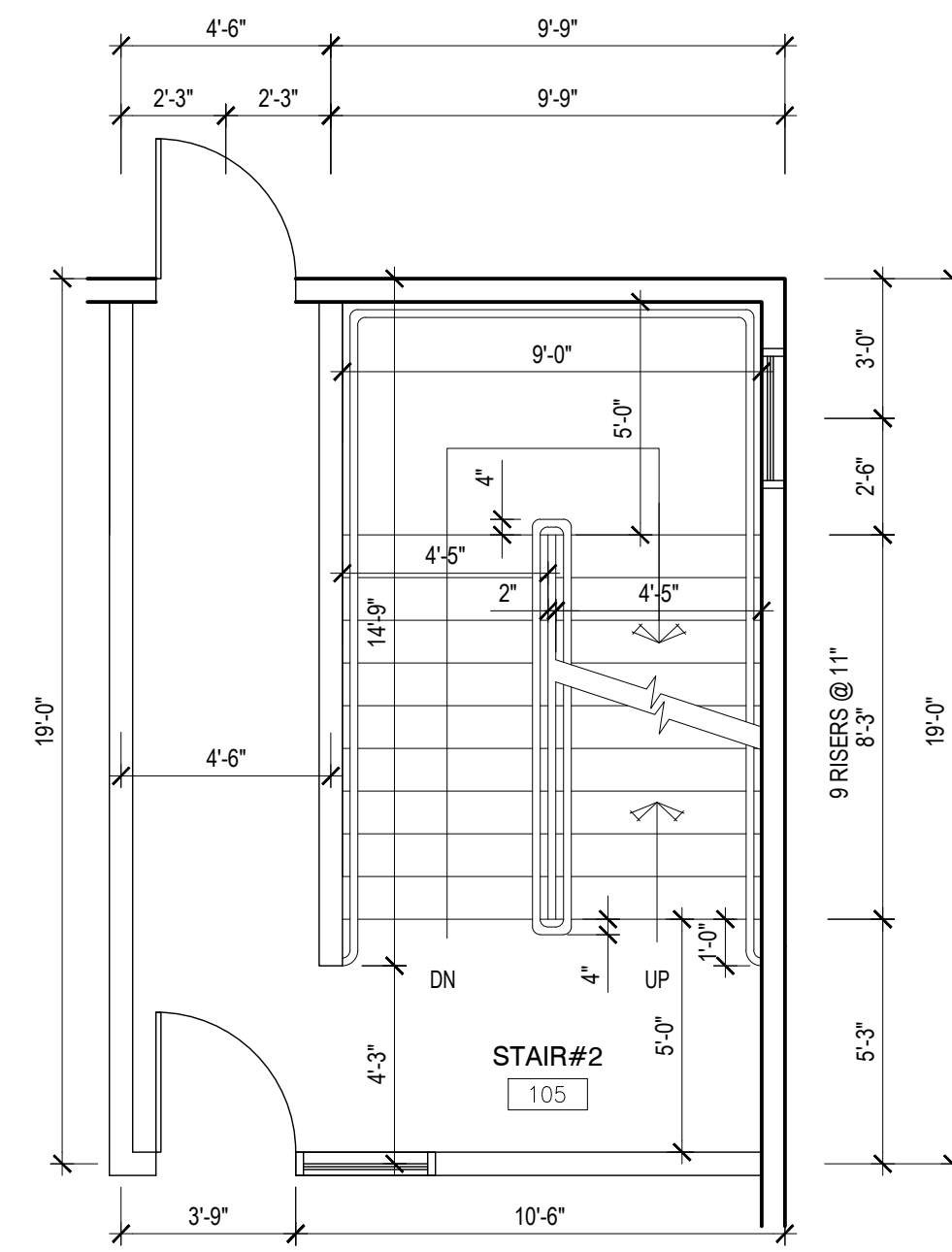
**3 ENLARGED STAIR#1 2ND FLOOR**  
 A2 A6 SCALE: 1/4" = 1'-0"



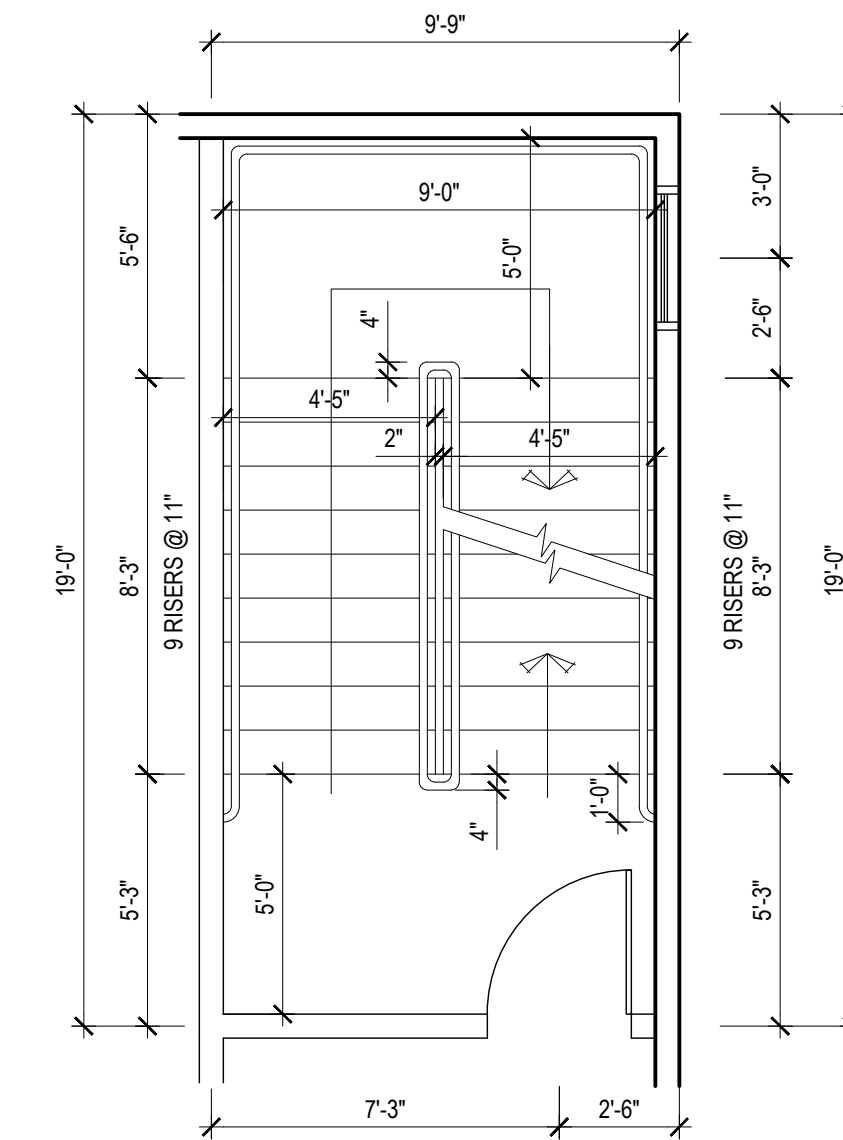
**4 ENLARGED STAIR#1 3RD FLOOR**  
 A2 A6 SCALE: 1/4" = 1'-0"



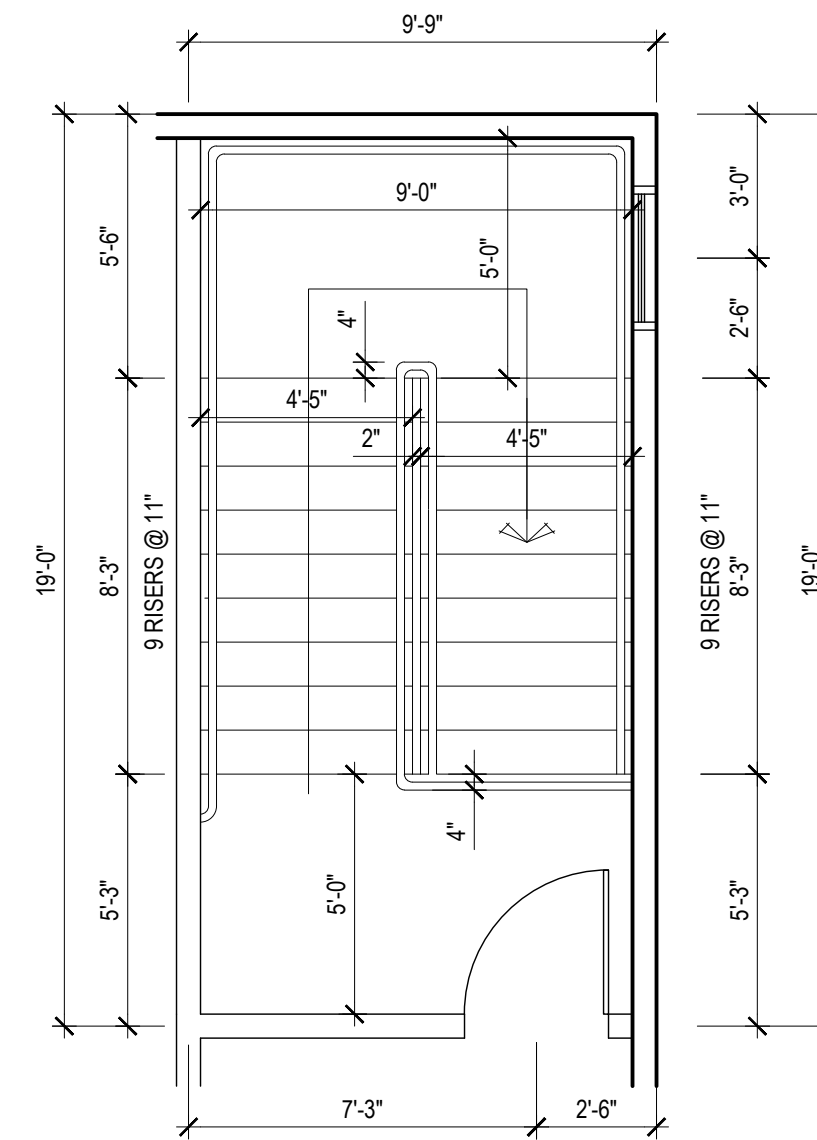
**5 ENLARGED STAIR#2 LOWER FLOOR**  
 A1 A6 SCALE: 1/4" = 1'-0"



**6 ENLARGED STAIR#2 1ST FLOOR**  
 A1 A6 SCALE: 1/4" = 1'-0"



**7 ENLARGED STAIR#2 2ND FLOOR**  
 A2 A6 SCALE: 1/4" = 1'-0"



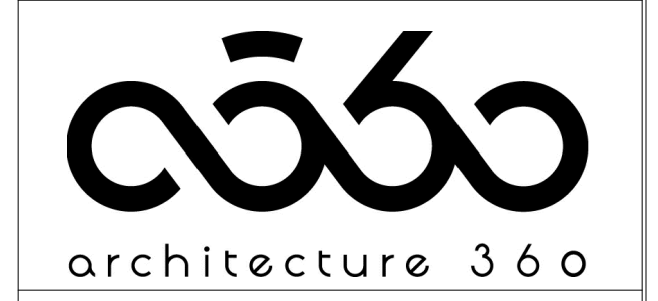
**8 ENLARGED STAIR#2 3RD FLOOR**  
 A2 A6 SCALE: 1/4" = 1'-0"

03.	REMOVE OFFICE AND ENLARGE WINDOW	2026-05-04	F.L.
02.	ADDED SPRINKLER ROOM IN LOWER LEVEL	2026-04-30	F.L.
01.	REMOVE WINDOWS IN LOWER LEVEL	2026-04-30	F.L.
NO.	REVISION	YYYY-MM-DD	DWN. BY

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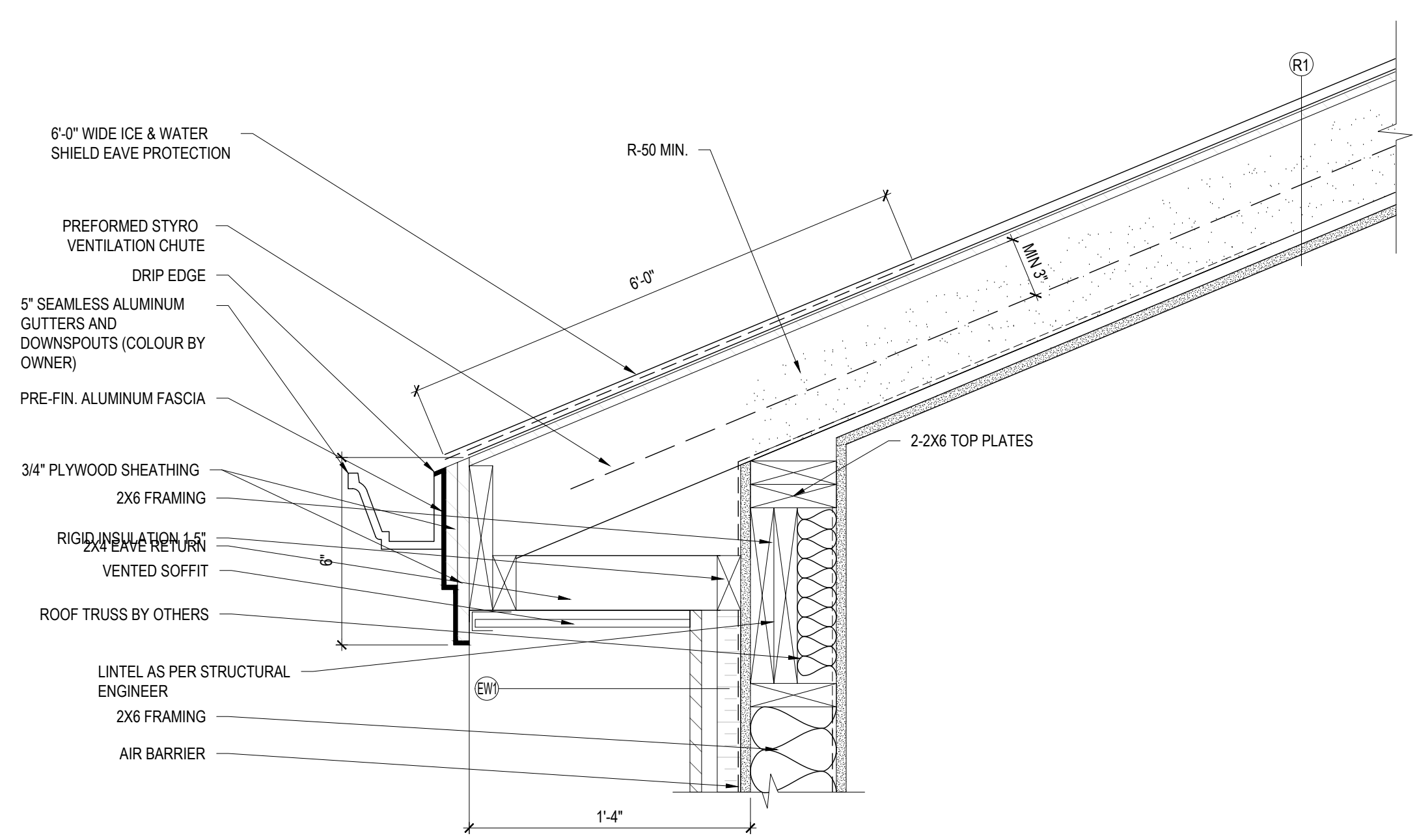
DRAWING TITLE:  
**STAIRS LAYOUT**

DATE:	2026-04-09
SCALE:	AS NOTED
DRAWN BY:	F.L.
CHECKED BY:	C.R.J.
FILE NO.:	2026-006
REV	03/01

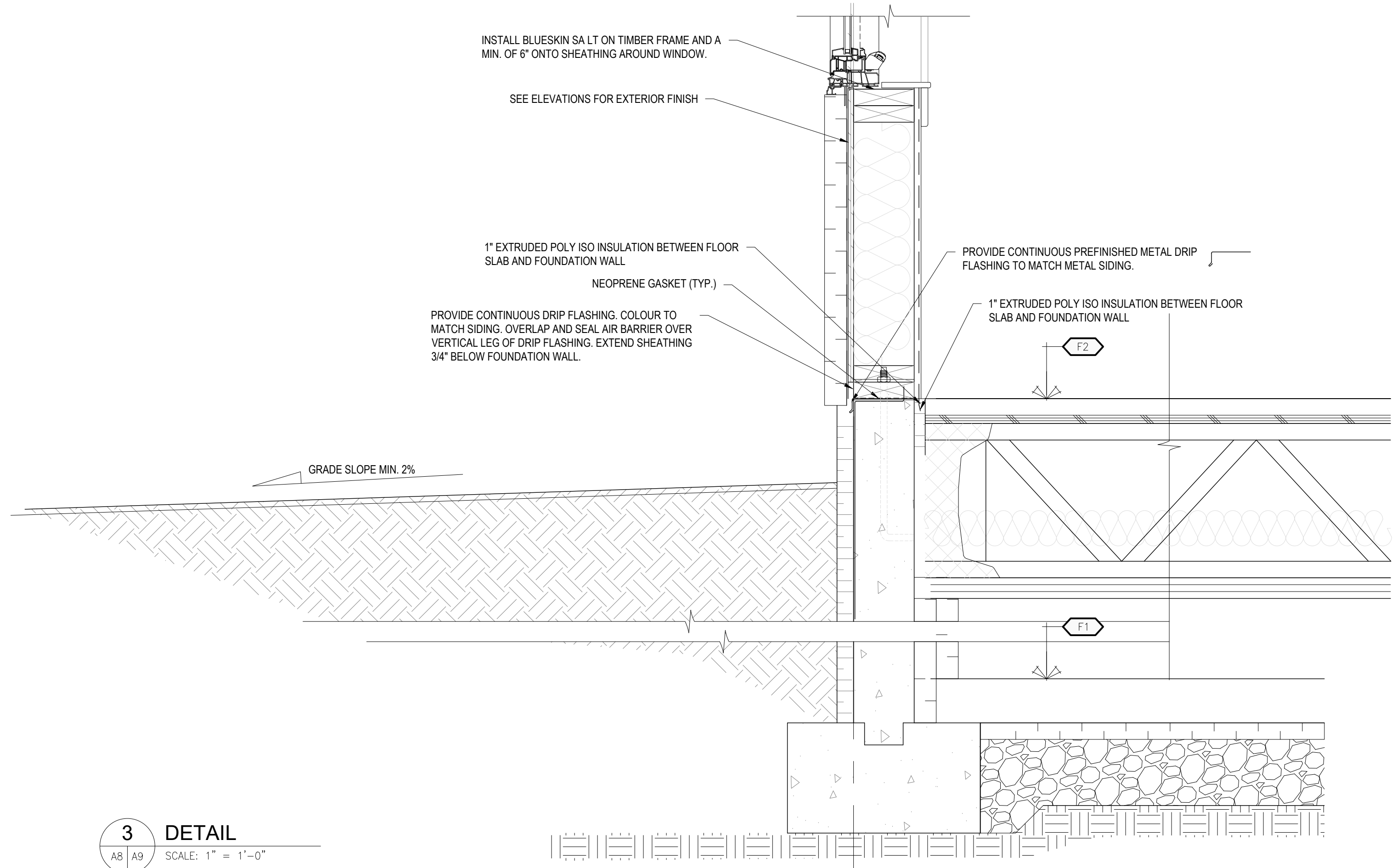
Agenda Item #12(c)

**A06**

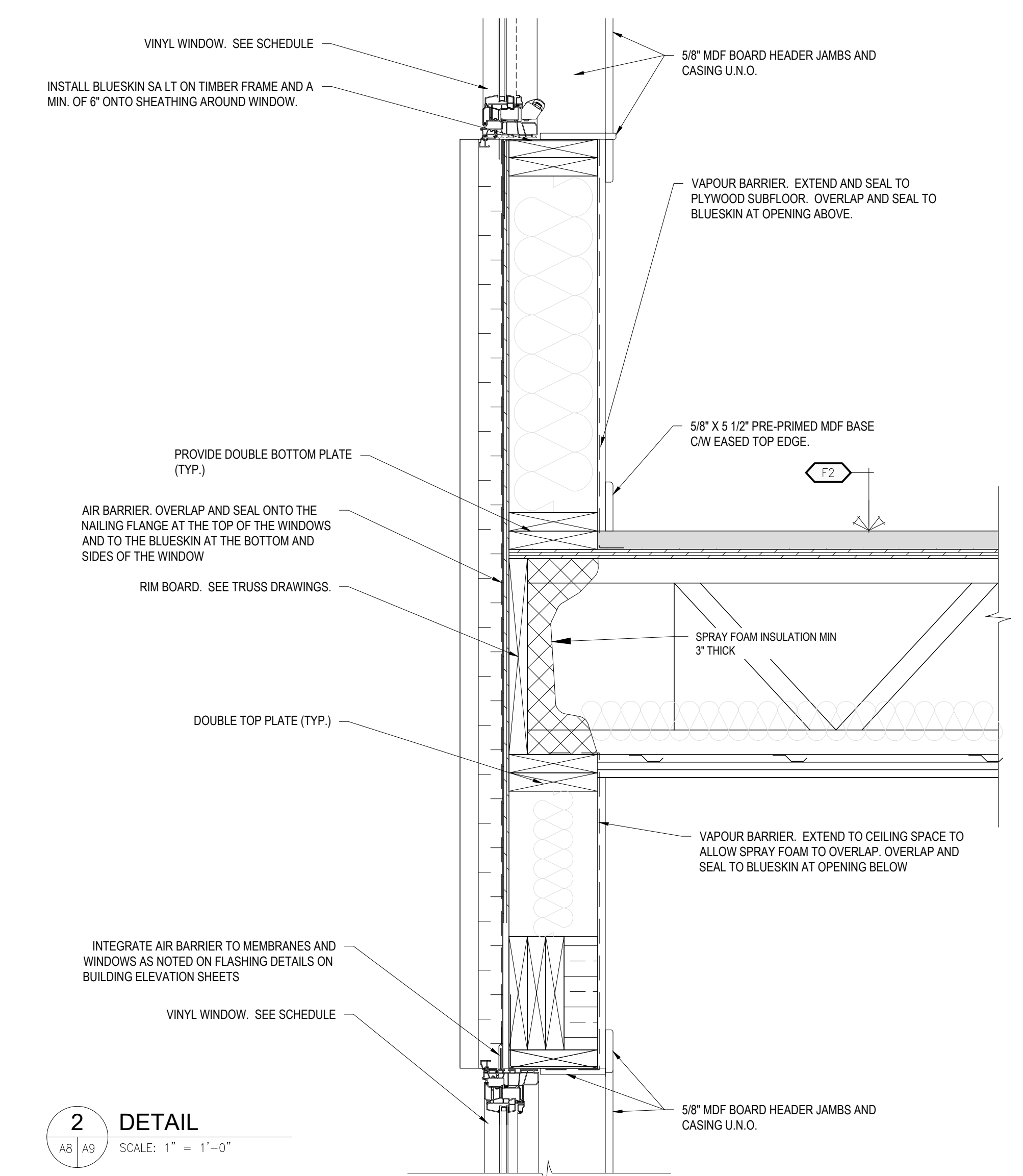




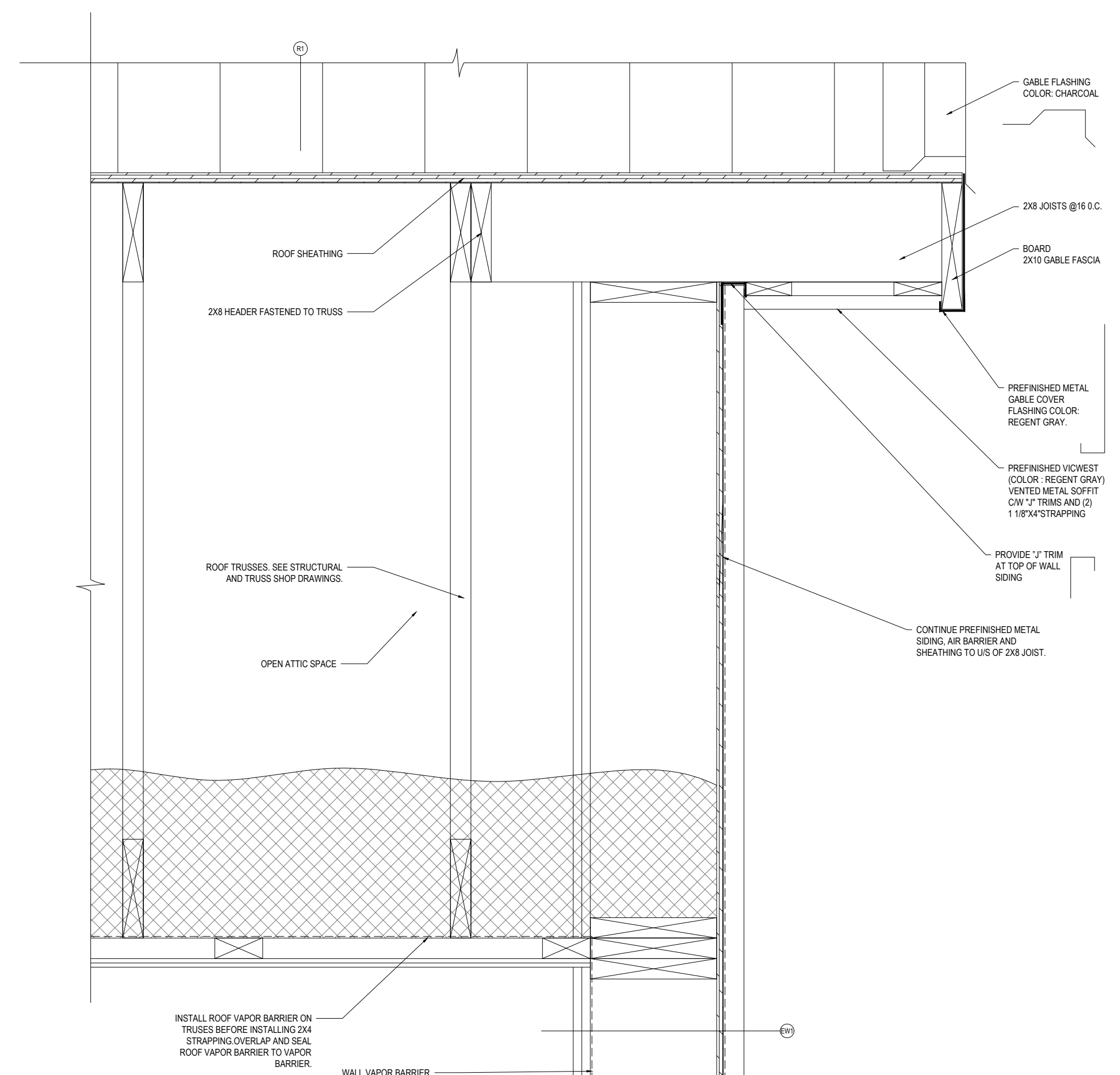
**1 DETAIL**  
SCALE: 1" = 1'-0"



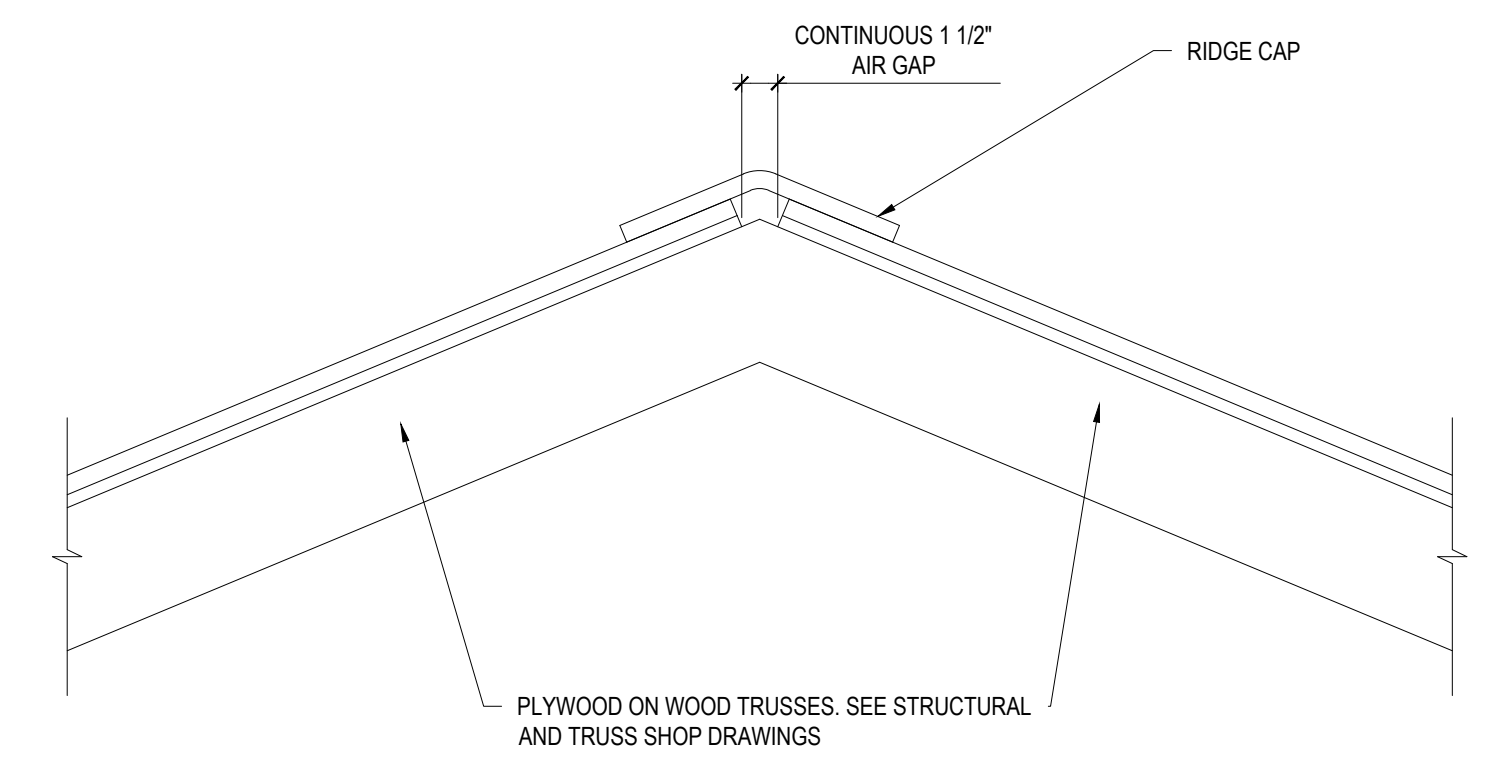
**3 DETAIL**  
SCALE: 1" = 1'-0"



**2 DETAIL**  
SCALE: 1" = 1'-0"



**4 DETAIL**  
SCALE: 1" = 1'-0"



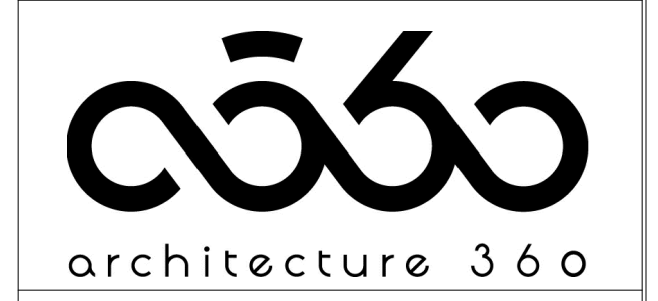
**5 DETAIL**  
SCALE: 1" = 1'-0"

03.	REMOVE OFFICE AND ENLARGE WINDOW	2026-05-04	F.L.
02.	ADDED SPRINKLER ROOM IN LOWER LEVEL	2026-04-30	F.L.
01.	REMOVE WINDOWS IN LOWER LEVEL	2026-04-30	F.L.
NO.	REVISION	YYYY-MM-DD	DWN. BY

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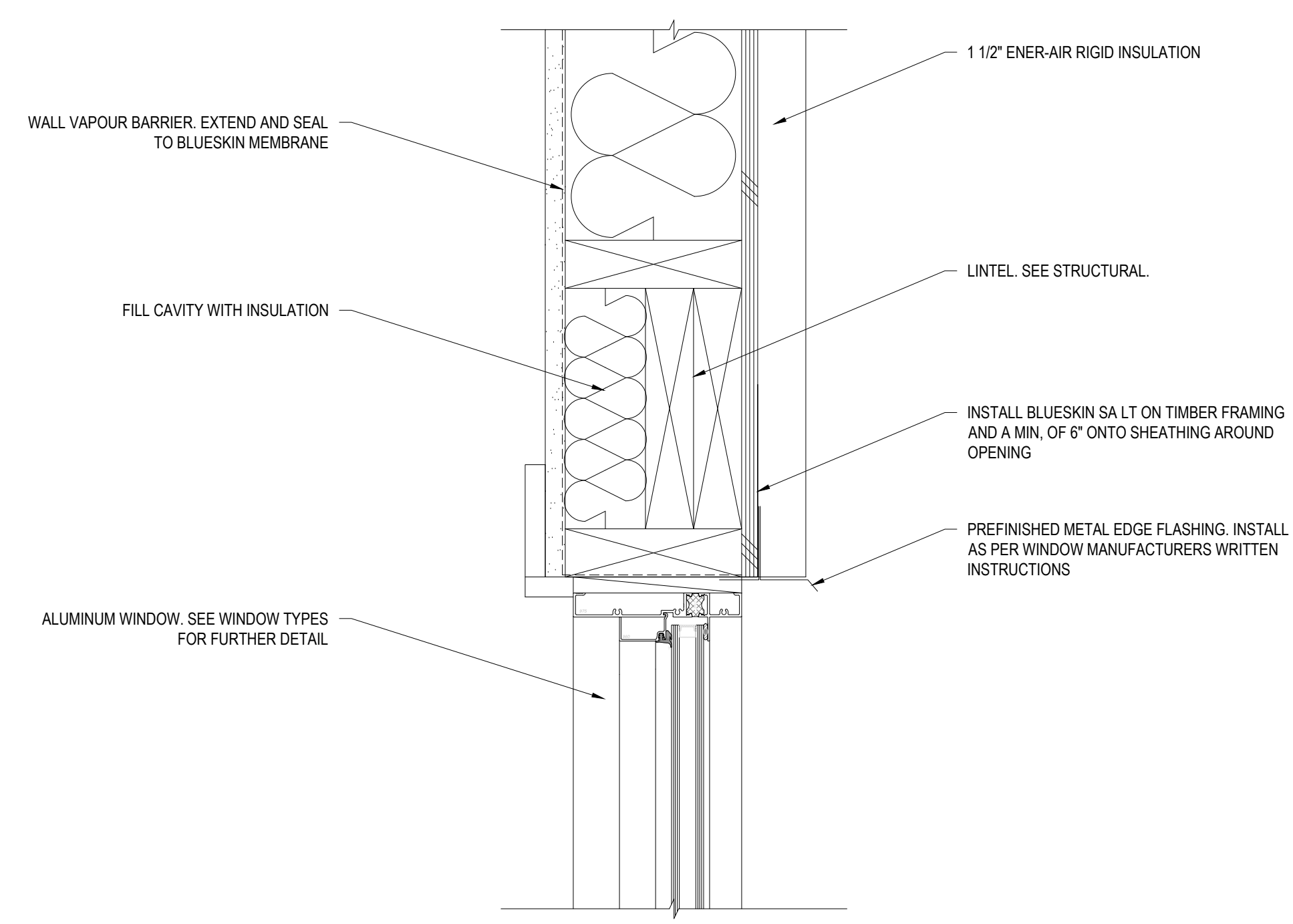
DRAWINGS SHALL NOT BE SCALED AND SHALL NOT BE USED FOR CONSTRUCTION UNTIL SIGNED BY THE OWNERS' REPRESENTATIVE.

STAMP:

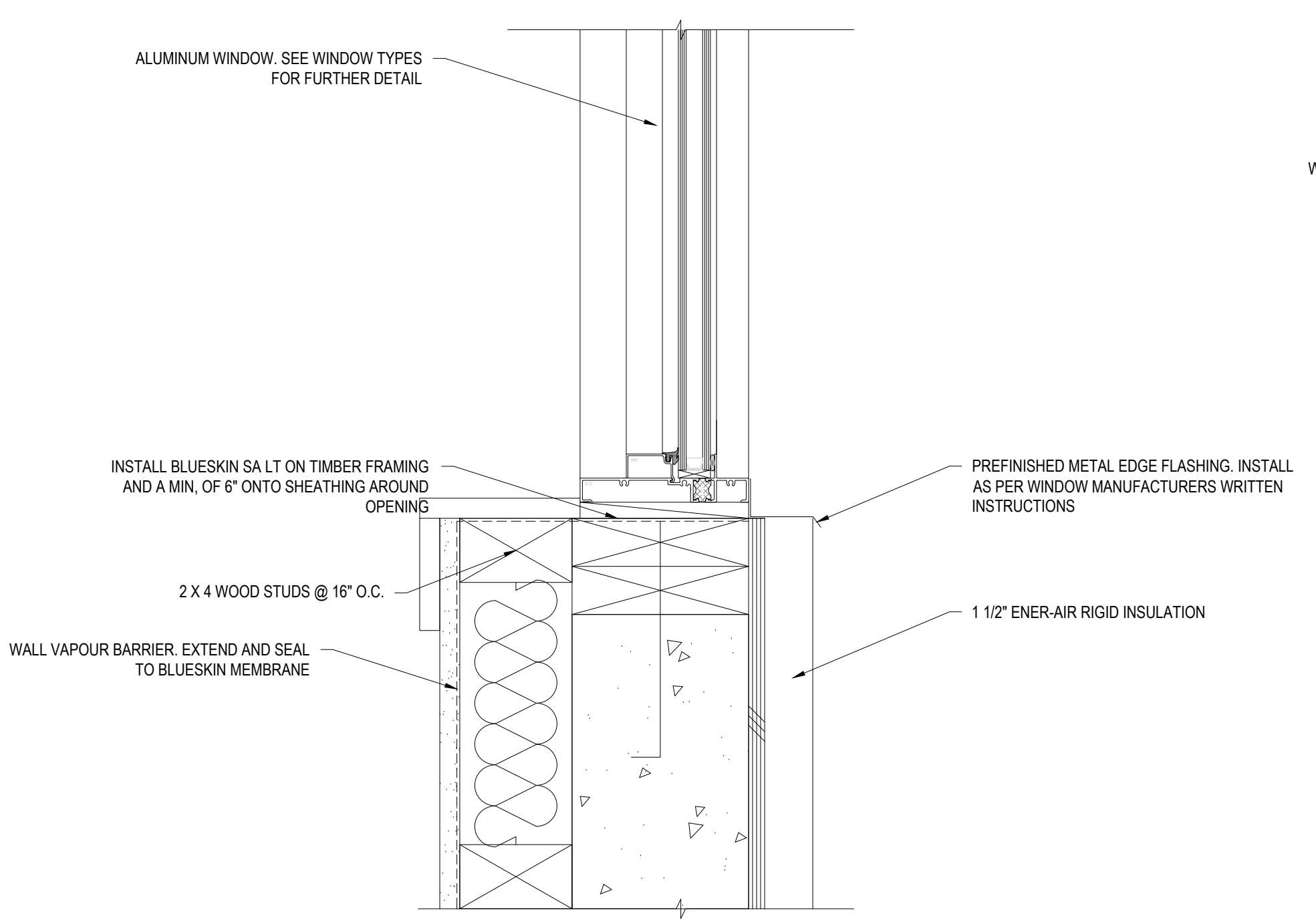


PROJECT:  
PEI MARTIAL ARTS CENTRE  
LOT25-1, SHAKESPEARE DR,  
STRATFORD, PE.

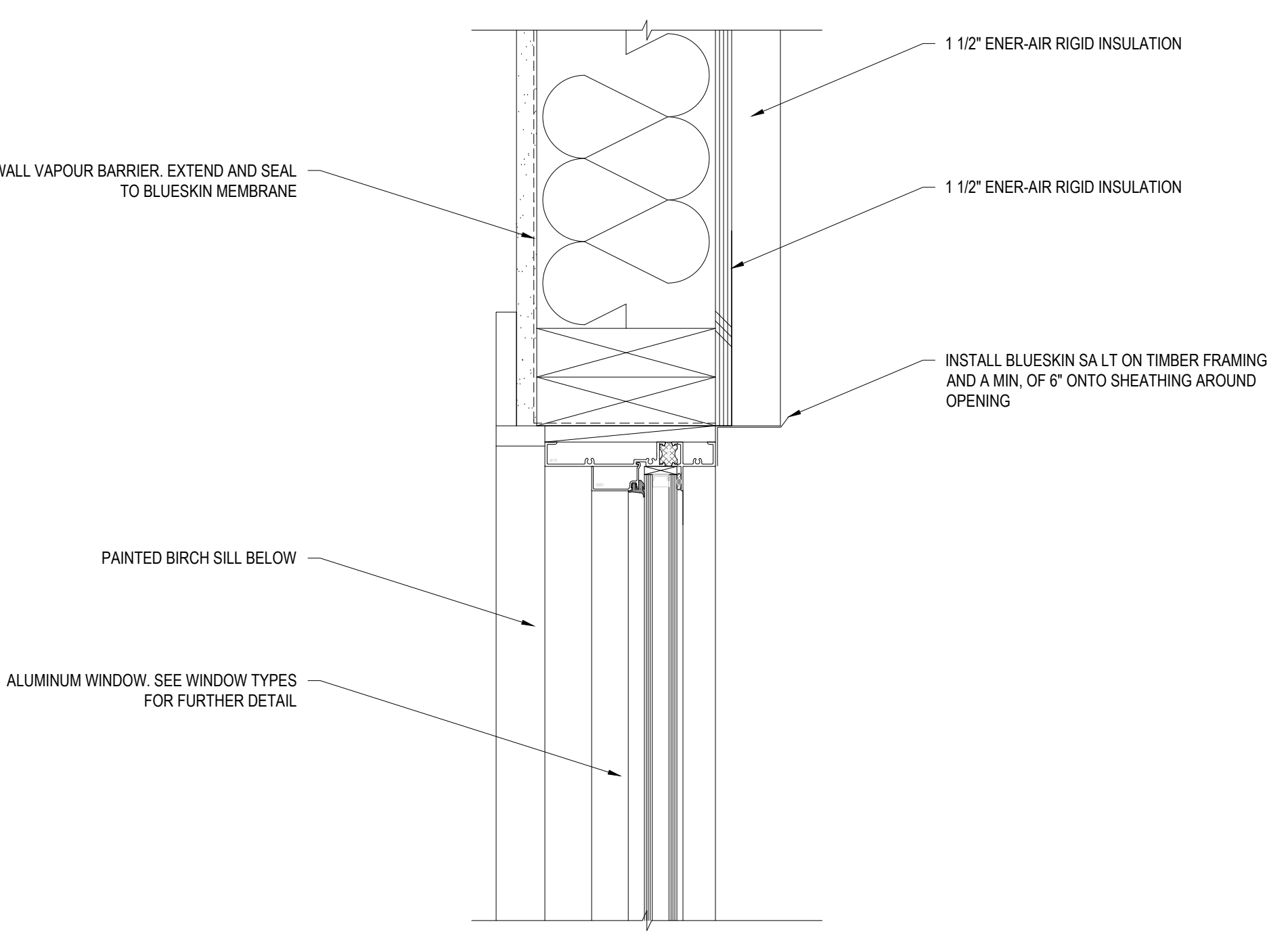
DRAWING TITLE: <b>WALL DETAILS</b>		<b>Agenda Item #120</b>
DATE:	2026-04-09	
SCALE:	AS NOTED	
DRAWN BY:	F.L.	
CHECKED BY:	C.R.J.	
FILE NO.:	2026-006	REV 03.01



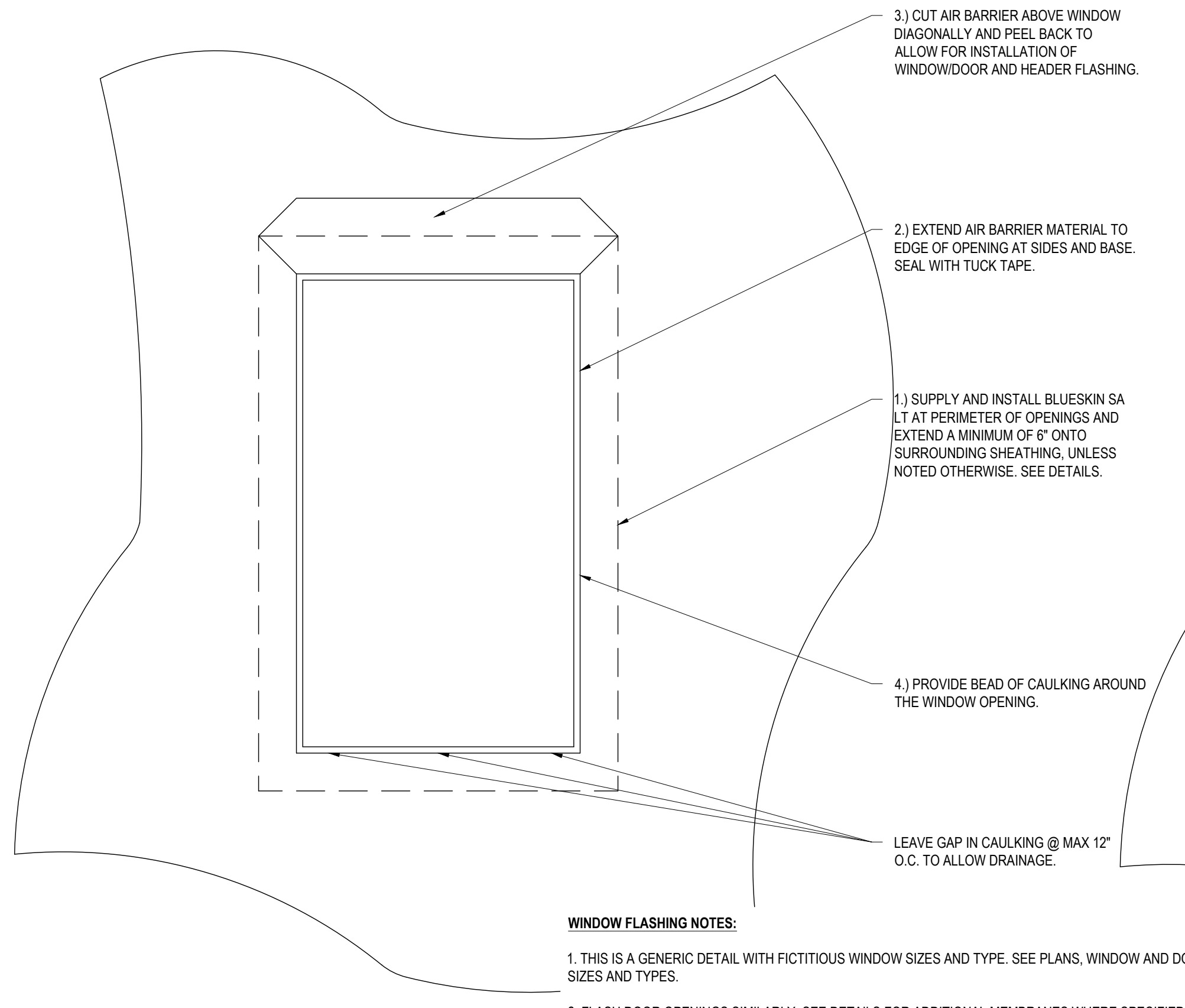
**1 WINDOW HEADER DETAIL**  
SCALE: 3" = 1'-0"



**2 WINDOW BASE DETAIL**  
SCALE: 3" = 1'-0"



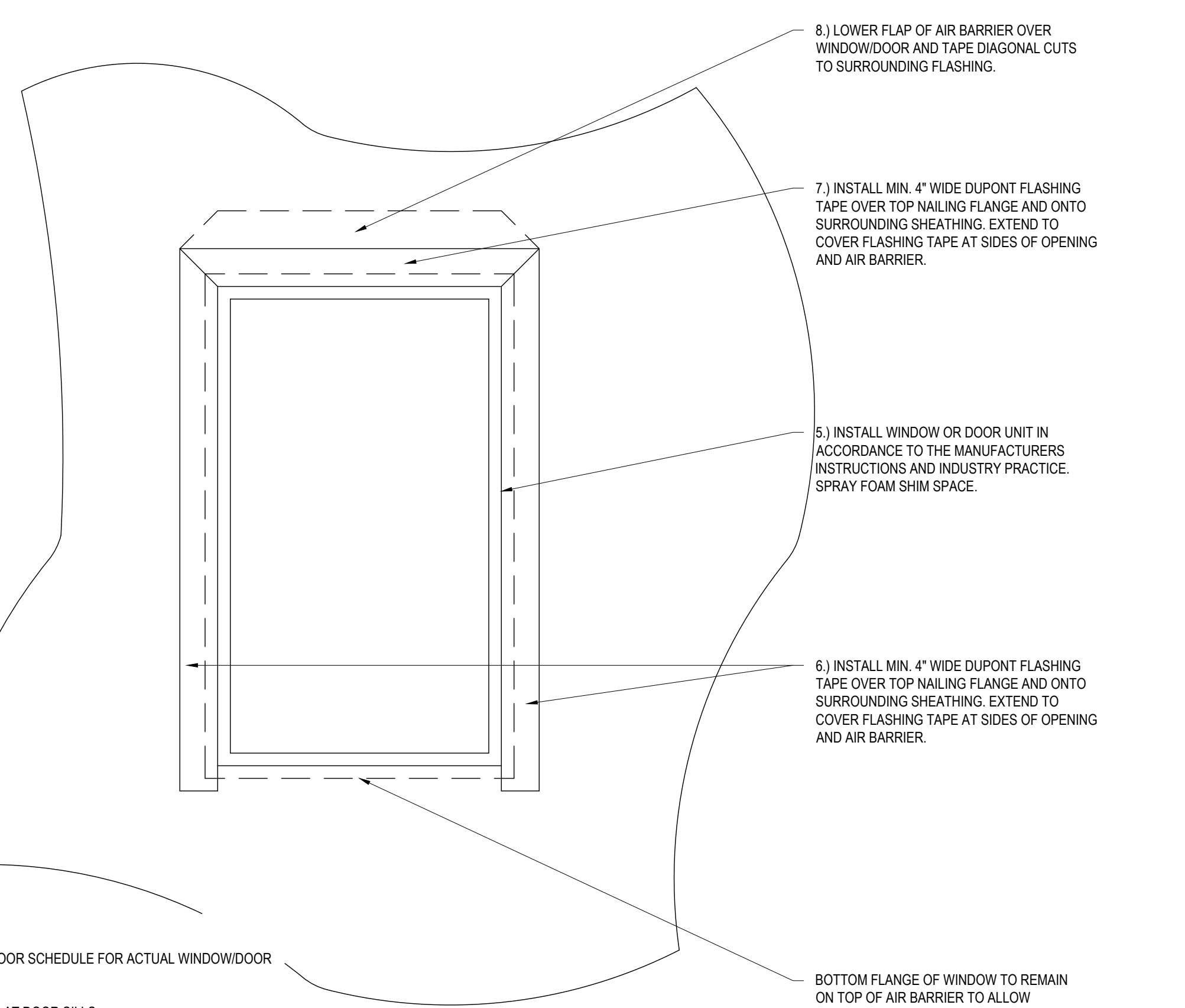
**3 WINDOW JAMB DETAIL**  
SCALE: 3" = 1'-0"



**WINDOW FLASHING NOTES:**

1. THIS IS A GENERIC DETAIL WITH FICTITIOUS WINDOW SIZES AND TYPE. SEE PLANS, WINDOW AND DOOR SCHEDULE FOR ACTUAL WINDOW/DOOR SIZES AND TYPES.
2. FLASH DOOR OPENINGS SIMILARLY. SEE DETAILS FOR ADDITIONAL MEMBRANES WHERE SPECIFIED AT DOOR SILLS.
3. SIDING MAY BE PERMITTED INTO THE INTEGRAL J - MOULD IF PRESENT IN VINYL WINDOWS AND DOORS.
4. SUPPLY A DRIP FLASHING AT TOP AND J FLASHINGS ON THE SIDES AND BOTTOM OF OPENINGS, IN ANY INSTANCES WHERE WINDOWS AND/OR DOORS ARE SUPPLIED WITHOUT INTEGRAL J MOULD. IN THESE INSTANCES APPLY FLASHING TAPE INTO THE INNER LEG OF THE FLASHING AND CAULK FLASHINGS TO WINDOW/DOOR.

**PRIOR TO WINDOW/DOOR INSTALLATION**  
SCALE: N.T.S.



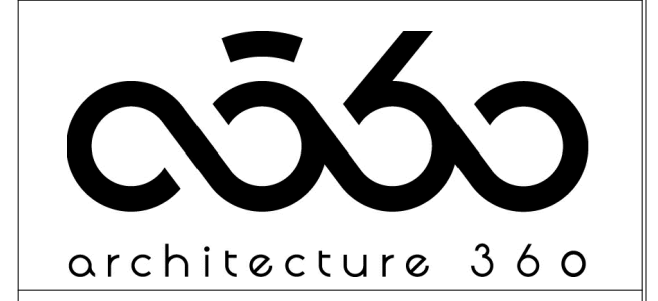
**AFTER WINDOW/DOOR INSTALLATION**  
SCALE: N.T.S.

03.	REMOVE OFFICE AND ENLARGE WINDOW	2026-05-04	F.L.
02.	ADDED SPRINKLER ROOM IN LOWER LEVEL	2026-04-30	F.L.
01.	REMOVE WINDOWS IN LOWER LEVEL	2026-04-30	F.L.
NO.	REVISION	YYYY-MM-DD	DWN. BY

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DRAWINGS SHALL NOT BE SCALED AND SHALL NOT BE USED FOR CONSTRUCTION UNTIL SIGNED BY THE OWNERS' REPRESENTATIVE.

STAMP:
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PROJECT:  
PEI MARTIAL ARTS CENTRE  
LOT25-1, SHAKESPEARE DR,  
STRATFORD, PE.

DRAWING TITLE:  
**WINDOWS DETAILS**

DATE:	2026-04-09
SCALE:	AS NOTED
DRAWN BY:	F.L.
CHECKED BY:	C.R.J.
FILE NO.:	2026-006
REV	03/01

Agenda Item #12(c)

**A10**



PH008-2026-04-126-PEI Martial Arts-301 Shakespeare-Part 3 Comm

# PEI MARTIAL ARTS



Page 114 of 152

Agenda Item #12.c)

**PLANNING, DEVELOPMENT AND HERITAGE**

**Regular Monthly Meeting**

**June 1, 2026**

**12:00 p.m.**

**AGENDA**

Page

**1 CALL TO ORDER**

**2 APPROVAL OF AGENDA**

**3 MINUTES**

9 - 13

- a) Planning & Heritage Committee Minutes, Minutes, Monday, May 4, 2026

**4 DECLARATION OF CONFLICT OF INTEREST**

**5 INVITED GUEST**

**6 REPORT FROM DIRECTOR OF PLANNING**

- a) Update on Regular Monthly Council Meeting, Wednesday, May 13, 2026

**PH005-2026 – SD004-25 – CMLMT Holdings Ltd – Conditional Use –Two (2) 10-Unit Stacked Townhouse Dwelling Buildings on the North Lot created by Subdivision SD004-25 - PID 190173 & 529545**

Council denied an application from CMLMT Holdings Ltd. in March 2026 to change the future conditional uses for the lots within Subdivision SD004-25.

**PH007-2026- DP017-26 - MRA Architecture + Design McDonald’s Restaurant at 9 Kinlock Road (PID 859637) Part 3 Commercial Development**

Council granted preliminary approval of the application submitted by MRA Architecture + Design to construct a MacDonal’s Restaurant (classified as a Part 3 Commercial development) at 9 Kinlock Road, located on PID 859637, zoned Town Centre Commercial (TCC), subject to conditions.

**7 DEVELOPMENT APPLICATIONS**

14 - 26

- a) **Part 3 Commercial/Assembly Building – DP041-26 – Mixed Commercial/Recreation Building on a portion of PID 1016377 at 301 Shakespeare Drive**

An application has been received from PEI Martial Arts Inc (C/O Jason Saggo) to construct a Mixed Use (Commercial/Recreation) Part 3 Commercial/Assembly building at 301 Shakespeare Drive (Portion of PID 1016377).

*(please refer to the attached Property Map as shown on the attached 7a-1).*

The subject property is located within the Town Centre Mixed Use (TCMU) zone. This development is proposed to contain a Martial Arts Gym in the basement and

3 floors of commercial office space. Under the TCMU Zone, Commercial and Recreational uses are listed as permitted uses.

The proposed Gym (Recreational Use) is classified an Assembly Occupancy (Group A, Division 2) which is regulated by the Part 3 of the National Building Code of Canada (NBCC). In accordance with subsection 1.5.1. Part 3 Commercial Buildings require preliminary approval from Council as the development falls outside the authority of a Development Officer.

**Summary of Bylaw Conformance:**

The proposed development, *as shown in the attached 7a-2*, meets lot requirements as outlined in Section 12.2.6.iii. of the Zoning and Development Bylaw #45 (the Bylaw) as summarized in the following table:

Standard	Requirement	Lot 25-1
<b>Min. Lot Area</b>	N/A	1,225.7 m <sup>2</sup> / 13,193.3 ft <sup>2</sup>
<b>Min. Frontage</b>	N/A	46.9 m / 154 ft
<b>Min. Front Yard Setback</b>	3 m / 10 ft	6 m / 21 ft
<b>Min. Rear Yard Setback</b>	3 m / 15 ft	14.9 m / 49 ft
<b>Min. Side Yard Setback</b>	0 m / 0 ft	3 m / 10 ft
<b>Min Building Height</b>	3 Storeys, 12 m (40 ft.)	3 Storeys, 40 ft

This zone is unique from those zones around it as it requires a minimum building height rather than a maximum building height for non residential buildings. When looking at the building from Shakespeare Drive, it will have a 10 ft side yard setback on its right side due the presence of the Maritime Electric Utility easement that services the Church Property.

**Parking Calculation and Configuration:**

The proposed parking for this property involves the combination of on-site parking spaces and shared off-site parking spaces with the adjacent Cornerstone Church property, further described in the table below:

Use	Standard	Requirement	Proposed Lot 25-2
<b>Office</b>	<b>1 Space per 28 m<sup>2</sup> (300 ft) floor area</b>	22 Parking Spaces based on Office Floor Space of 608 m <sup>2</sup> (6,552 ft <sup>2</sup> )	<b>29 Total Parking Spaces</b> <b>14 Parking Spaces (On Site)</b> <b>15 Parking Spaces (Off Site)</b>
<b>Assembly</b>	<b>1 Space per Seat or where no seats shown as per Fire Marshals (FMO) Seating Capacity</b>	N/A – FMO does not typically comment on occupant load or capacity calculations for new builds.	

The required parking spaces for this proposal is more awkward to determine than normal as the operating hours of the Commercial Uses and Recreational Uses differ from one another. The offices would normally be used between 8 am - 5 pm, whereas the Recreational Use would operate after 5 pm and on weekends when the

offices are closed. Additionally, the use of the Off-Site Parking Spaces by users of the Recreational Use will not impact the Cornerstone Church property as the hours of operation of these uses also differs from one another.

The Fire Marshall's Office (FMO) does not comment on occupant load of new buildings and relies on the expertise of a projects architect or design engineers. The FMO typically only gets involved in existing facilities, whereby they can conduct inspections and establish occupant loads in accordance with applicable codes and standards when requested. Under Section 10.1.3, Council may permit a different standard based on alternative parking plans based on the standards of the Institute of Transportation Engineers (ITE). Under Section 10.1 for uses not specifically listed in the required parking spaces table, parking must be provided at a ratio of 1 space per 20 m<sup>2</sup> (215 ft<sup>2</sup>). The recreational facility will be 2,200 ft<sup>2</sup> which would therefore only require 10 parking spaces.

The applicant has provided general information on the anticipated number of users of the recreational facility. Adult gym sessions range between 10-20 students while the children's sessions have between 10-15 students. Therefore based on these numbers, 29 parking spaces should be sufficient to accommodate this projected number of users of the facility.

The proposed development is to be accessed via the shared access with the Cornerstone Church property. The site design for this building places the parking area to the back of the lot offering several benefits including:

- Safer access onto Shakespeare Drive than a traditional driveway for vehicles entering and exiting the property by eliminating the need to back onto a public road.
- Safer active transportation travel by reducing the amount of driveway crossings over the existing AT path.
- Shields the view of vehicles and waste areas from the street.
- The configuration is in line with the overarching design standards for the Core Area with pedestrian scale focused streetscapes.

The proposed development is also subject to the Town Centre Design Standards as per Appendix E of the Bylaw. This includes provisions for pedestrian connections to adjacent street frontages and screening of site elements. The development will also be subject to all other provisions of the Bylaw including the preparation of a site servicing plan, stormwater management assessment, and erosion and sedimentation control plan.

**RECOMMENDATION:**

That Council grant approval to the application from PEI Martial Arts Inc (C/O Jason Saggo) to construct a Mixed Use (Commercial/Recreation) Part 3 Commercial/Assembly building, at 301 Shakespeare Drive (Portion of PID 1016377) in accordance with the following conditions:

1. The development shall be in accordance with the Site Plan and Building Plans prepared by Architecture 360 and MCA Consultants Inc, dated April 2026.
2. A detailed stormwater management plan shall be prepared by a qualified engineer and approved by both the Town of Stratford and DTI.
3. A detailed erosion and sedimentation control plan shall be prepared by a qualified engineer showing how erosion and sedimentation will be controlled and contained during construction and be approved by the Town of Stratford.
4. A detailed landscaping plan shall be prepared by a professional landscape architect outlining the details and quantities of the materials to be used and be approved by the Town of Stratford.
5. A detailed servicing plan shall be prepared by a qualified engineer and be approved by the Stratford Utility Corporation. All servicing shall be in accordance with the Stratford Utility Corporation’s Servicing Regulations including payment of all applicable fees.
6. That a copy of the signed joint access agreement between the PEI Martial Arts Inc and the Cornerstone Church be submitted to the Town
7. That a copy of the signed shared parking agreement between the PEI Martial Arts Inc and the Cornerstone Church be submitted to the Town
8. This development must adhere to the various Development Standards and Architectural guidelines as noted in the Town Centre Core Area Design Standards Appendix in the Zoning Bylaw
9. All other relevant provisions of the Town of Stratford Zoning and Development Bylaw, Bylaw #45.

27 - 35

b) **DP065-26 – Francistheriault Ventures Inc – 41 Hollis Avenue (Unit 1) - PID 1093814 – Special Permit Use (Auto Service)**

An application has been received from Francistheriault Ventures Inc to operate an Auto Detailing Business located at 41 Hollis Avenue (PID 398693) which is a Special Permit Use within the Business Park (M2) Zone.

The business will specialize in professional automotive detailing services designed to maintain and to restore vehicle appearance and cleanliness. The services provided include:

- Interior Detailing
- Exterior Detailing
- Ceramic Coating
- Engine Bay Detailing
- Headlight Restoration

In accordance with Section 8.16 Special Permit Uses of the Town of Stratford Zoning and Development Bylaw #45:

8.16 Prior to the issuance of a Development Permit for a Special Permit Use Council shall ensure that:

- (a) the Development is deemed appropriate and complements the scale of the existing adjacent development;
- (b) the Development has a sufficient Buffer Area along the periphery of the Property and existing wooded areas separating adjacent Uses are preserved;
- (c) in the opinion of Council, the Development does not cause any hardship to surrounding Property Owners due to excessive noise, traffic congestion, hours of operation, or any other potential nuisance;
- (d) Property Owners within 61 m (200 ft.) of the subject Property are notified in writing of details of the proposed Development and asked to provide their comments;
- (e) a public meeting shall be held to allow residents to provide their input prior to the development of a preliminary site plan; and
- (f) all other relevant provisions of this Bylaw are met.

This is a change of use permit application as the building has already been built. Since 2018, this specific unit (Unit #1) has hosted a number of different businesses. The building floor plans appear to indicate that this unit is not suitable for automobile related uses due to the quality of the cement floor in this unit. The Town’s Building Official has reviewed the plans and information submitted by the builder. They have confirmed that the cement floor of Unit 1 is constructed properly to accommodate auto uses.

**RECOMMENDATION:**

That Council shall hold a public meeting on a date to be determined by Staff, to provide an opportunity for the applicant to present the proposed Use to residents and obtain their input regarding this Special Permit Use.

**8 SUBDIVISION APPLICATIONS**

36 - 44

- a) **SD007-26 – Z & C Flourish – Major Subdivision Request – (PID 1160589 & 398552) – Approx. 130 Lot Subdivision for various Residential and Greenspace Uses, Permitted under the Sustainable Subdivision Overlay**

An application has been received from Z & C Flourish (the Developer) to subdivide parcel number 1160589 and 398552 (59.28 acres in total area), as part of Phase 3 of the Foxwood Subdivision, into approx. 130 lots for residential development and greenspace within the Low Density Residential (R1) Zone with a Sustainable Subdivision Overlay (SS) zones.

The breakdown of the proposed uses of this subdivision proposal are as follows:



**TOWN OF STRATFORD  
RESOLUTION**

**PH009-2026 – DP065-25 – Francistheriault Ventures Inc  
26 Hollis Avenue (PID 1093814) – Special Permit Use -  
Auto Detailing Business – Public Meeting**

Motion Carried \_\_\_\_\_  
Motion Lost \_\_\_\_\_  
Motion Withdrawn \_\_\_\_\_

Council Chambers  
Town Council

**June 10, 2026**

Committee Planning & Heritage  
Moved by Councilor Jeff MacDonald  
Seconded by Councilor \_\_\_\_\_

**WHEREAS** an application has been received from Francistheriault Ventures Inc to operate an Auto Detailing Business, at Unit 1, 26 Hollis Avenue (PID 1093814) which is a Special Permit Use within the Business Park (M2) Zone; and

**WHEREAS** pursuant to section 13.5.1.(b) in the Zoning and Development Bylaw #45, Council shall ensure that property owners within 61 m (200 ft.) of the subject property are notified in writing and asked to provide their comments; and ensure that a public meeting be held to allow residents to provide their input before making a decision.

**BE IT RESOLVED** that a public meeting be held on Tuesday, June 23, 2026, at 7:00 p.m. in order to provide an opportunity for the applicant to present the proposed use to residents and obtain their input regarding the Special Permit Use.

*This resolution bears the recommendation of the Planning, Development & Heritage Committee discussed at a meeting held on June 1, 2026.*

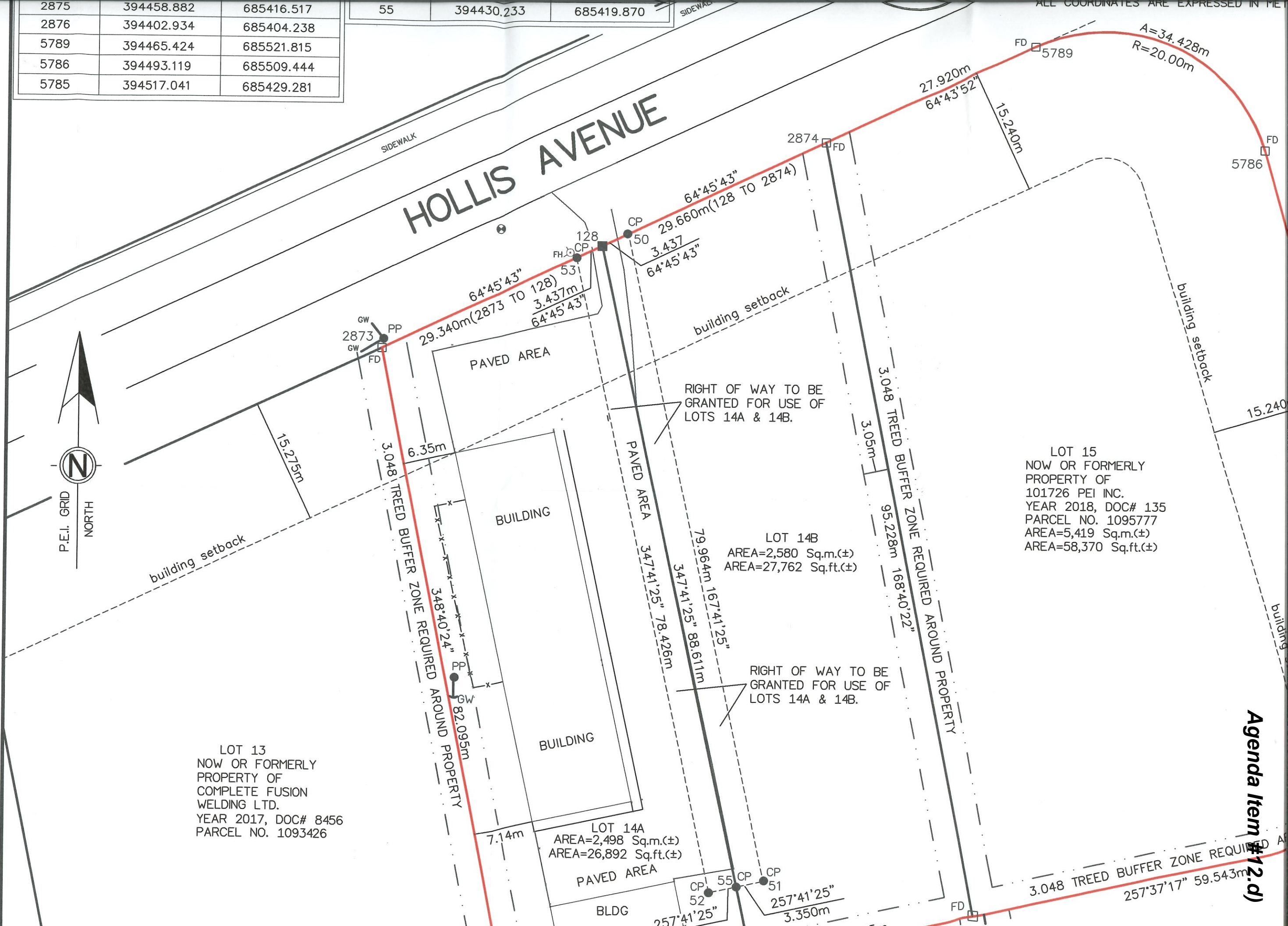
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5786	394493.119	685509.444
5785	394517.041	685429.281

55	394430.233	685419.870
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ALL COORDINATES ARE EXPRESSED IN METERS



# HOLLIS AVENUE



LOT 13  
NOW OR FORMERLY  
PROPERTY OF  
COMPLETE FUSION  
WELDING LTD.  
YEAR 2017, DOC# 8456  
PARCEL NO. 1093426

LOT 14A  
AREA=2,498 Sq.m.(±)  
AREA=26,892 Sq.ft.(±)

LOT 14B  
AREA=2,580 Sq.m.(±)  
AREA=27,762 Sq.ft.(±)

LOT 15  
NOW OR FORMERLY  
PROPERTY OF  
101726 PEI INC.  
YEAR 2018, DOC# 135  
PARCEL NO. 1095777  
AREA=5,419 Sq.m.(±)  
AREA=58,370 Sq.ft.(±)

Agenda Item #12.d

**PLAN NO. 847C CM**

WIDTH: 150'-0"  
DEPTH: 40'-0"

MAIN FLOOR AREA: 6000 sq.ft. (557.4 sq.m)

- UNIT #1: 1240 sq.ft.
- UNIT #2: 1230 sq.ft.
- UNIT #3: 2290 sq.ft.
- UNIT #4: 620 sq.ft.
- UNIT #5: 620 sq.ft.

TOTAL BUILDING AREA: 6000FT<sup>2</sup> (557.4 m<sup>2</sup>)

NBCC 1.3.3.3(b) PART 9 APPLIES.

OCCUPANCY: GROUP D- BUSINESS & PERSONAL SERVICES

**LIST OF DRAWINGS**

- S1. SITE PLAN
1. COVER PAGE
2. FRONT & RIGHT ELEVATION
3. REAR & LEFT ELEVATION
4. MAIN FLOOR PLAN
5. SECTION A-A
6. SECTION B-B
7. FOUNDATION PLAN

**D OCCUPANCY, 2 BUILDINGS**

**NOTES:** SPATIAL SEPARATION. 3.2.3.1

① EXPOSING BUDG FACE **\* EAST & WEST WALLS** FACING BOUNDARY LINES  
 45.72m x 3.05m = 139.45m<sup>2</sup>  
 RATIO. 1:15 OVER 10:1  
 LIMITING DISTANCE = 6m  
 3.2.3.1.B= 39% PERMITTED AREA OF UNPROTECTED OPENINGS

② **\*SOUTH FACING WALLS.**  
 EXPOSING BUILDING FACES= 12.19m x 3.05m= 37.18m<sup>2</sup>  
 LIMITING DISTANCE= 9.24m/2= 4.62m  
 3.2.3.1.B UNPROTECTED OPENING LIMITS=40%  
 3.2.3.7. MIN. CONSTRUCTION REQUIREMENTS:  
 - >25 to 50% MAXIMUM AREA OF UNPROTECTED OPENINGS PERMITTED  
 - MINIMUM REQUIRED FIRE-RESISTANCE RATING = 45 MINUTES EXTERIOR WALLS.  
 - NON-COMBUSTIBLE CLADDING REQUIRED



**- PLEASE NOTE -**

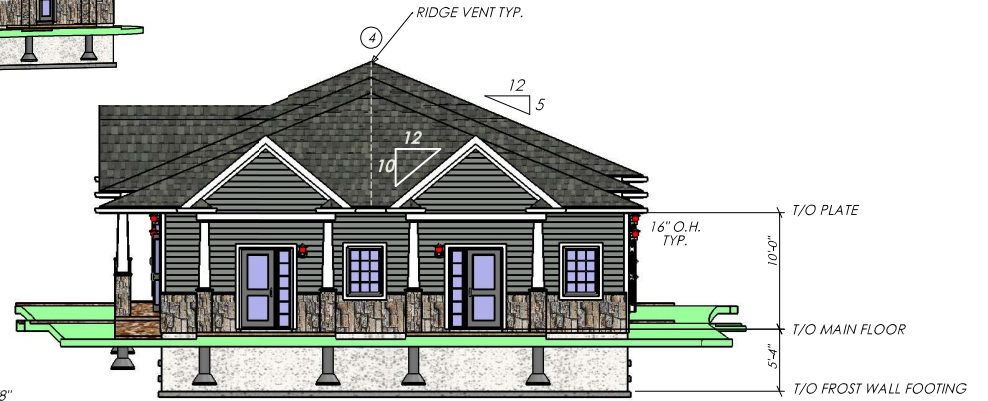
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Contractors to verify all dimensions on this plan before construction and notify designer of any modifications

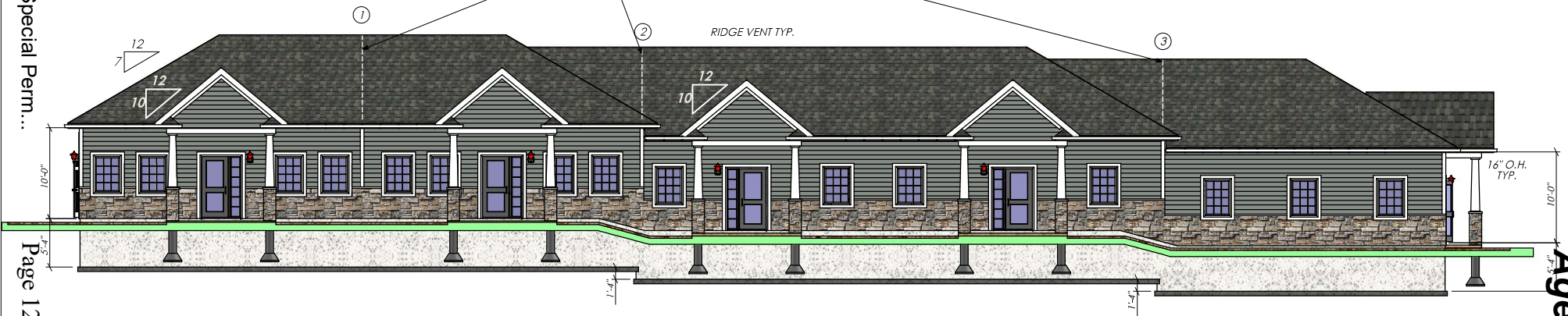
Construction shall comply with the current edition of the National Building Code

ARCHITECTURE 360 INC.  
 NORTH RUSTICO HOME CENTRE  
 PROJECT: FMT FRANCIS THERIAULT- 5 UNIT  
 TITLE: 1. COVER PAGE  
 SCALE: N.T.S  
 DATE: AUG 27/ 2017  
 DRAWN BY: 3D HOME DESIGN  
 REVISIONS: 5. MAY 22/ 2018



**RIGHT ELEVATION**

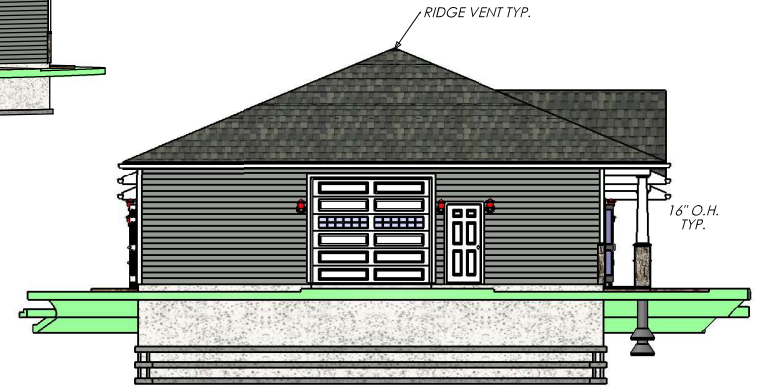
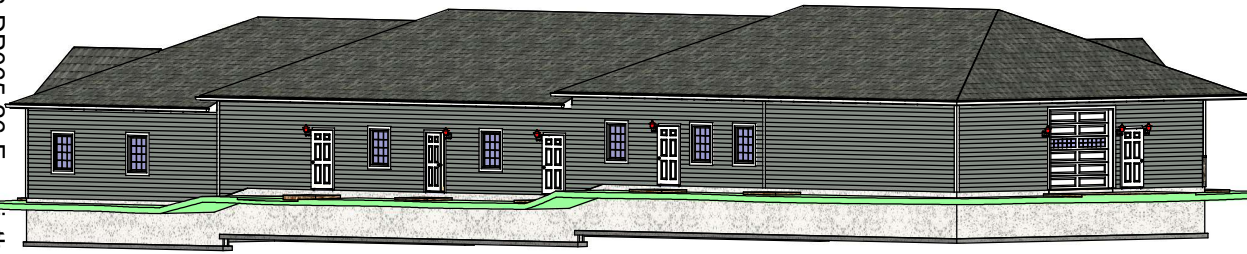
NOTE: ALLOW FOR A SINGLE LAYER OF 5/8" TYPE X GYPSUM BOARD ON ONE (MINIMUM) SIDE OF CENTRE TRUSS FOR FIRESTOP REQUIREMENTS ALL JOINTS TO BE TAPED & SEAM FILLED.



**FRONT ELEVATION**

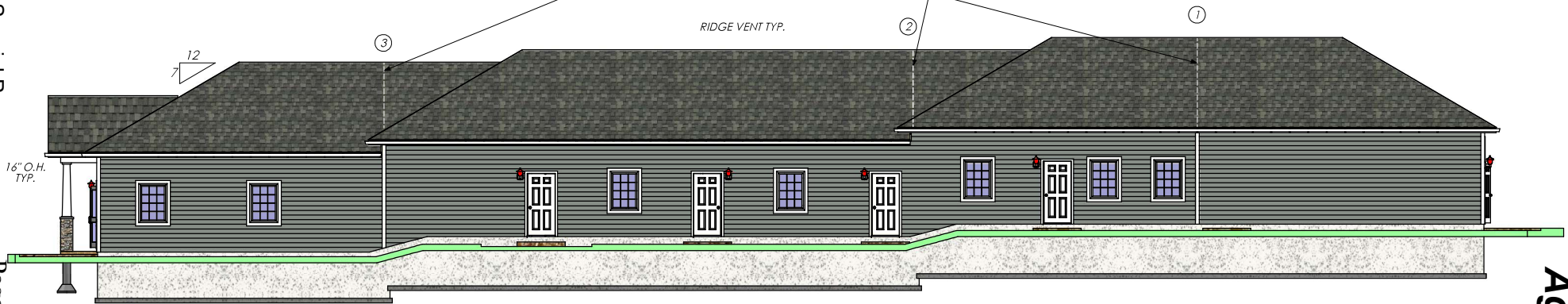
**- PLEASE NOTE -**  
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ARCHITECTURE 360 INC.  
 NORTH RUSTICO HOME CENTRE  
 PROJECT: FMT FRANCIS THERIAULT- 5 UNIT  
 TITLE: 2. FRONT & RIGHT ELEVATION  
 SCALE: 3/32" = 1'-0"  
 DATE: AUG 27/ 2017  
 DRAWN BY: 3D HOME DESIGN  
 REVISIONS: 5. MAY 22/ 2018



LEFT ELEVATION

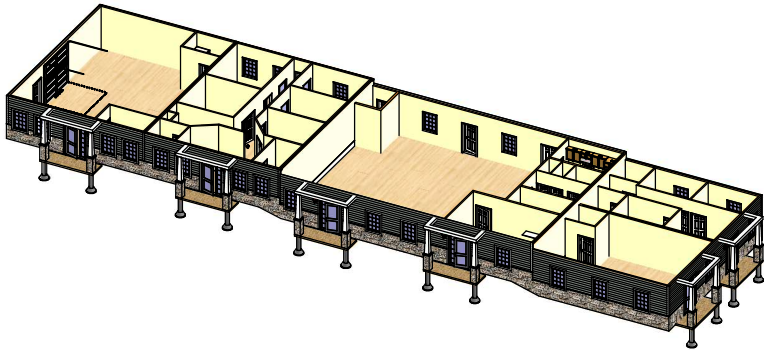
NOTE: ALLOW FOR A SINGLE LAYER OF 5/8" TYPE X GYPSUM BOARD ON ONE (MINIMUM) SIDE OF CENTRE TRUSS FOR FIRESTOP REQUIREMENTS ALL JOINTS TO BE TAPED & SEAM FILLED.



REAR ELEVATION

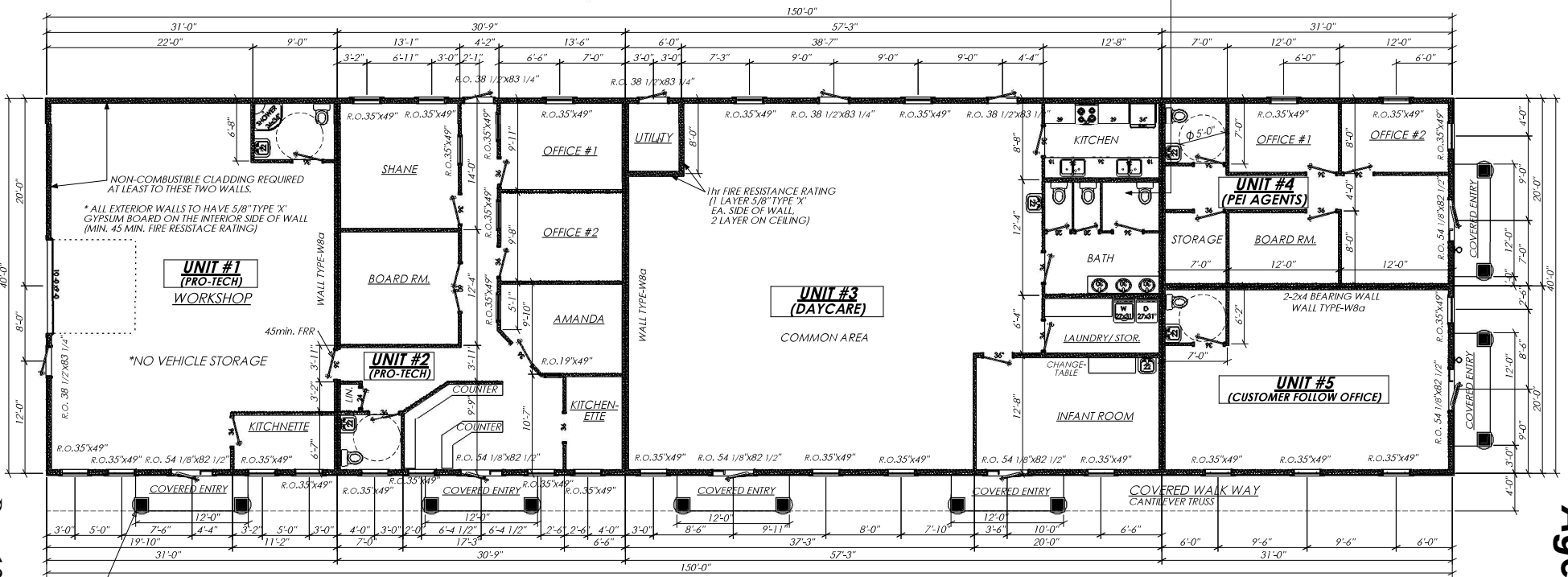
**- PLEASE NOTE -**  
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ARCHITECTURE 360 INC.  
NORTH RUSTICO HOME CENTRE  
PROJECT: FMT FRANCIS THERIAULT -5 UNIT  
TITLE: 3. REAR & LEFT ELEVATION  
SCALE: 3/32" = 1'-0"  
DATE: AUG 27/ 2017  
DRAWN BY: 3D HOME DESIGN  
REVISIONS: 5. MAY 22/ 2018



**WALL TYPE ( W8a) (1hr FRR, 52 STC)**

- TWO ROWS 2x4 WOOD STUDS EACH SPACED 24" o.c. STAGGERED ON COMMON 2x6 PALTE
- 3 1/2" THICK ABSORPTIVE MATERIAL ON ONE SIDE OF STUD CAVITY
- 1 LAYER 5/8" TYPE 'X' GYPSUM BOARD ONE SIDE
- 2 LAYERS 5/8" TYPE 'X' GYPSUM BOARD OTHER SIDE



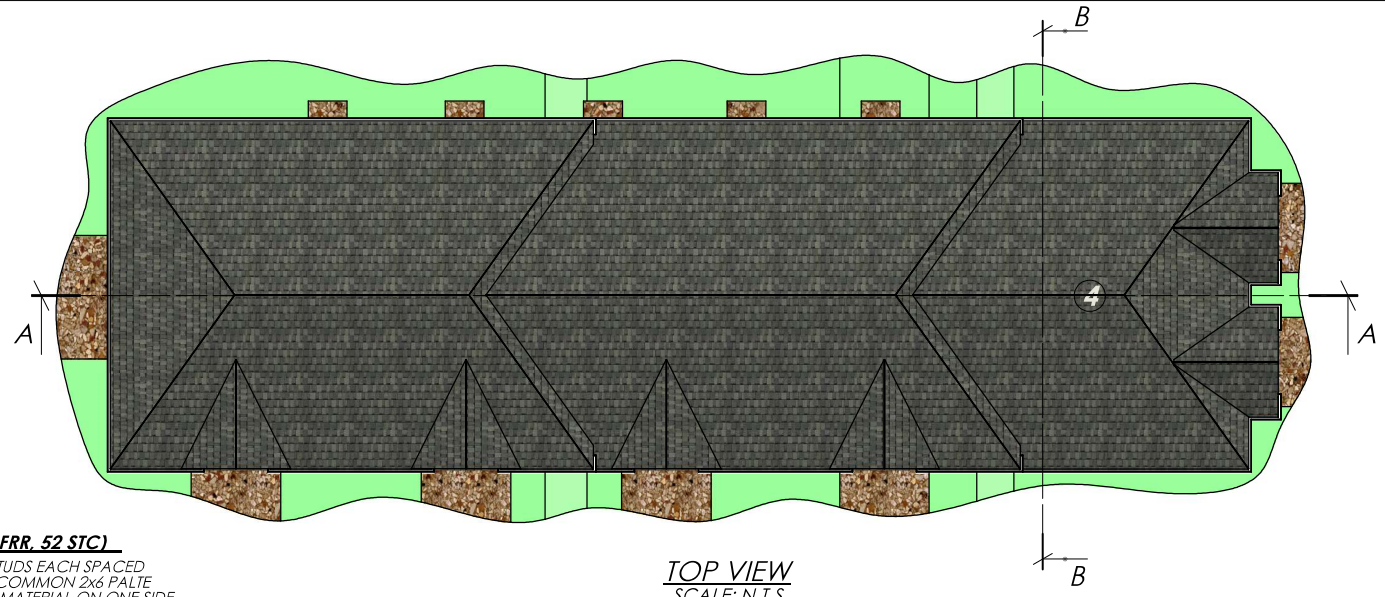
**SLAB-ON GRADE MAIN FLOOR PLAN - 6000 SQ.FT.**  
 - UNIT #1: 1240 sq.ft./- UNIT #2: 1230 sq.ft./- UNIT #3: 2290 sq.ft.  
 - UNIT #4: 620 sq.ft. /- UNIT #5: 620 sq.ft.

NOTE: EXTERIOR DOORS AND WINDOWS ARE RSO SIZES OF ALLSCO  
 IF OTHER COMPANY IS USED PLEASE CONFIRM RSO'S.  
 INTERIOR DOORS ARE 6'-8" HEIGHT.

\* NOTE: ALL FIRE-RATED DOORS ARE TO BE INSTALLED  
 IN FRAMES OF EQUIVALENT RATING  
 & EQUIPPED WITH DOOR CLOSERS

- PLEASE NOTE -  
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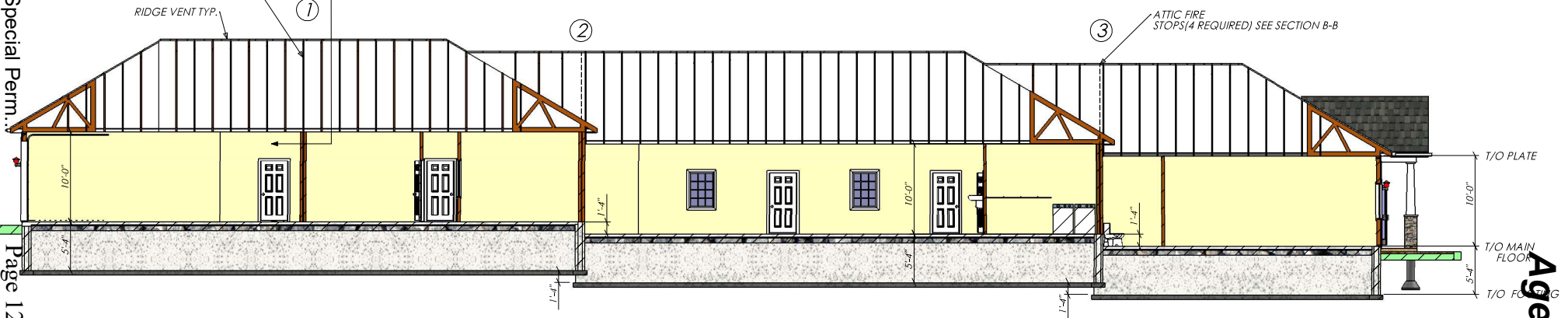
ARCHITECTURE 360 INC.  
 NORTH RUSTICO HOME CENTRE  
 PROJECT: FMT FRANCIST THERIAULT- 5 UNIT  
 SCALE: 4. MAIN FLOOR PLAN  
 TITLE: 3/32" = 1'-0"  
 DATE: AUG 27/ 2017  
 DRAWN BY: 3D HOME DESIGN  
 REVISIONS: 5. MAY 22/ 2018



**WALL TYPE ( W8a) (1hr FRR, 52 STC)**

- TWO ROWS 2x4 WOOD STUDS EACH SPACED 24" o.c. STAGGERED ON COMMON 2x6 PALTE
- 3 1/2" THICK ABSORPTIVE MATERIAL ON ONE SIDE OF STUD CAVITY
- 1 LAYER 5/8" TYPE 'X' GYPSUM BOARD ONE SIDE
- 2 LAYERS 5/8" TYPE 'X' GYPSUM BOARD OTHER SIDE

NOTE: ALLOW FOR A SINGLE LAYER OF 5/8" TYPE 'X' GYPSUM BOARD ON ONE (MIN.) SIDE OF CENTRE TRUSS FOR FIRESTOP REQUIREMENTS ALL JOINTS TO BE TAPED & SEAM FILLED



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ARCHITECTURE 360 INC.  
NORTH RUSTICO HOME CENTRE  
PROJECT: FMT FRANCIS THERIAULT- 5 UNIT  
TITLE: 5. SECTION A-A  
SCALE: 3/32" = 1'-0"  
DATE: AUG 27/ 2017  
DRAWN BY: 3D HOME DESIGN  
REVISIONS: 5. MAY 22/ 2018

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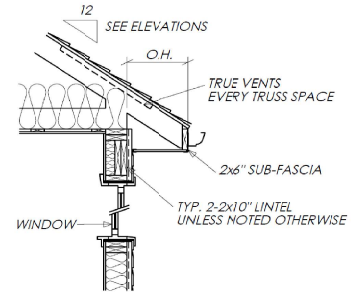
**TYP. TRUSS ROOF CONSTRUCTION**

- 25 YEAR FIBERGLASS SHINGLES
- EAVE PROTECTION MIN.36" WIDE & 12" FROM INSIDE FACE OF STUD
- 1/2" OSB SHEATHING & 'H' CLIPS
- PRE-ENGINEERED TRUSS @24"O.C. (SEE DESIGN BY OTHERS)
- R40 BLOWN-IN INSULATION
- 1X4 STRAPPING
- 6 mil POLY V.B.
- 5/8" TYPE X GYPSUM BOARD

NOTE: ALLOW FOR A SINGLE LAYER OF 5/8" TYPE X GYPSUM BOARD ON ONE SIDE OF CENTRE TRUSS FOR FIRESTOP REQUIREMENTS  
 ALL JOINTS TO BE TAPED AND SEAM FILLED

**WALL TYPE ( W8a) (1hr FRR, 52 STC)**

- TWO ROWS 2x4 WOOD STUDS EACH SPACED 24" o.c. STAGGERED ON COMMON 2x6 PALTE
- 3 1/2" THICK ABSORPTIVE MATERIAL ON ONE SIDE OF STUD CAVITY
- 1 LAYER 5/8" TYPE 'X' GYPSUM BOARD ONE SIDE
- 2 LAYERS 5/8" TYPE 'X' GYPSUM BOARD OTHER SIDE



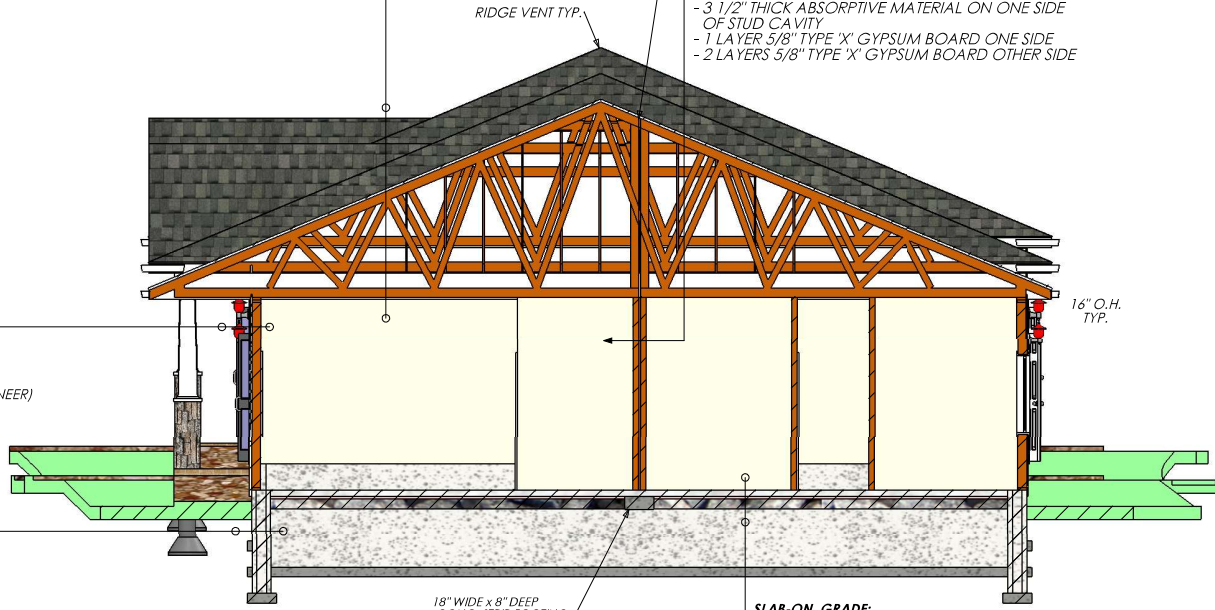
**EAVE & LINTEL DETAIL**  
 (SCALE: N.T.S)

**TYPICAL EXTERIOR WALL:**

- FINISHED SPECIFIED BY OWNER
- HOUSE WRAP
- 1/2" OSB SHEATHING
- 2x6 STUDS @ 16" O.C. (UNLESS SPECIFIED BY STRUCTURAL ENGINEER)
- R20 BATT INSULATION
- 6 mil POLY V.B.
- 5/8" TYPE X GYPSUM BOARD

**TYP. FROST WALL:**

- 1/2" x8" ANCHOR BOLTS @4' O.C.
- 2x6 P.T. SILL PLATE
- SILL GASKET
- 11 3/4"x5'-4" ICF WALL
- 1 1/2" FOUNDATION PLUS
- 8"x18" CONCRETE FOOTING (OPTIONAL FOOTING KEY)



18" WIDE x 8" DEEP CONC. STRIP FOOTING

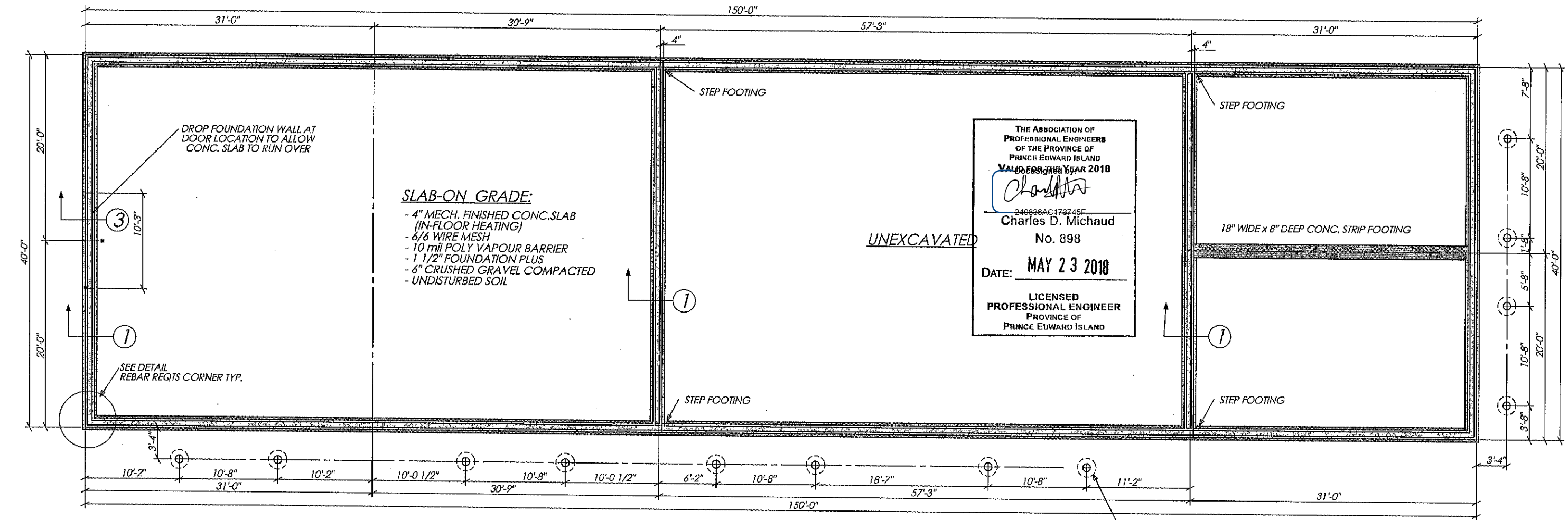
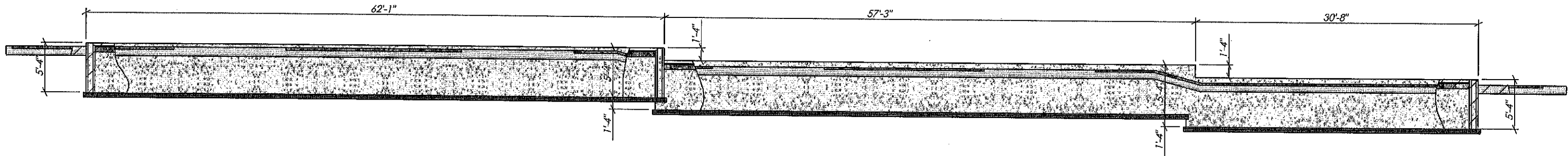
**SLAB-ON GRADE:**

- UNDISTURBED SOIL
- 6" CRUSHED GRAVEL COMPACTED
- 1 1/2" FOUNDATION PLUS
- 10 mil POLY VAPOUR BARRIER
- #6 WIRE MESH
- 4" MECH. FINISHED CONC. SLAB (IN-FLOOR HEATING)

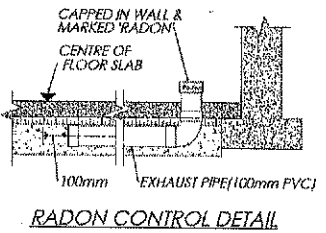
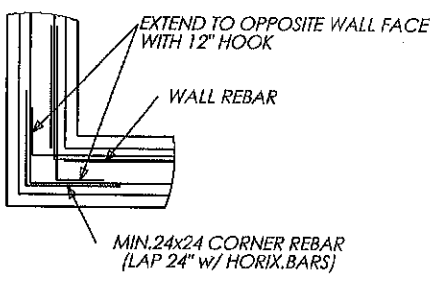
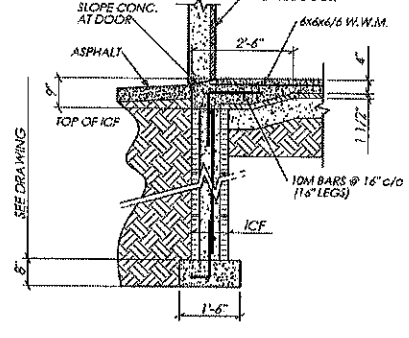
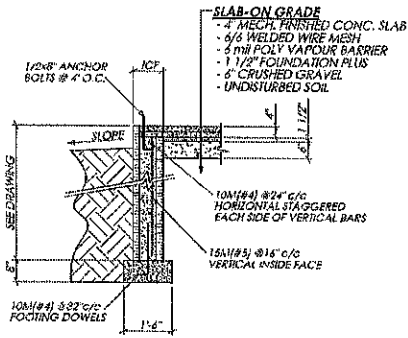
**SECTION B-B**

ARCHITECTURE 360 INC.  
 NORTH RUSTICO HOME CENTRE  
 PROJECT: FMT FRANCIS THERIAULT - 5 UNIT  
 TITLE: 6. SECTION B-B  
 SCALE: N.T.S  
 DATE: AUG 27/ 2017  
 DRAWN BY: 3D HOME DESIGN  
 REVISIONS: 5. MAY 22/ 2018

\* CONCRETE SLAB  
TYPICAL SAWCUT 1" DEEP  
MAX. SPACING 20 FT EACH DIRECTION



**FOUNDATION PLAN**



**- PLEASE NOTE -**  
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ARCHITECTURE 360 INC.  
NORTH RUSTICO HOME CENTRE  
PROJECT: FMT FRANCIS THERIAULT - 5 UNIT  
TITLE: 7. FOUNDATION PLAN  
SCALE: 3/32" = 1'-0"  
DATE: AUG 27/ 2017  
DRAWN BY: 3D HOME DESIGN  
REVISIONS: 5. MAY22/ 2018

Date: 22<sup>nd</sup> May, 2026

To Whom It May Concern,

I am writing in support of the business license application for my auto detailing business, REFINED AUTO SPA.

Our business specializes in professional automotive detailing services designed to maintain and restore vehicle appearance and cleanliness. The services we provide include:

- Interior Detailing
- Exterior Detailing
- Ceramic Coating
- Engine Bay Detailing
- Headlight Restoration

We are committed to providing high-quality, professional, and reliable services to our customers while operating in a safe and responsible manner.

Our proposed hours of operation are:

Monday – Friday: 8:00 AM – 6:00 PM

Saturday: 9:00 AM – 5:00 PM

Sunday: Closed

We respectfully request approval of our business license application so we may continue to serve the community and operate our business professionally.

If any additional information is required, please feel free to contact me directly.

Sincerely,

Raj Patel

Owner and operating manager

Refined Auto Spa.

**PLANNING, DEVELOPMENT AND HERITAGE**

**Regular Monthly Meeting**

**June 1, 2026**

**12:00 p.m.**

**AGENDA**

Page

**1 CALL TO ORDER**

**2 APPROVAL OF AGENDA**

**3 MINUTES**

9 - 13

- a) Planning & Heritage Committee Minutes, Minutes, Monday, May 4, 2026

**4 DECLARATION OF CONFLICT OF INTEREST**

**5 INVITED GUEST**

**6 REPORT FROM DIRECTOR OF PLANNING**

- a) Update on Regular Monthly Council Meeting, Wednesday, May 13, 2026

**PH005-2026 – SD004-25 – CMLMT Holdings Ltd – Conditional Use –Two (2) 10-Unit Stacked Townhouse Dwelling Buildings on the North Lot created by Subdivision SD004-25 - PID 190173 & 529545**

Council denied an application from CMLMT Holdings Ltd. in March 2026 to change the future conditional uses for the lots within Subdivision SD004-25.

**PH007-2026- DP017-26 - MRA Architecture + Design McDonald's Restaurant at 9 Kinlock Road (PID 859637) Part 3 Commercial Development**

Council granted preliminary approval of the application submitted by MRA Architecture + Design to construct a MacDonal's Restaurant (classified as a Part 3 Commercial development) at 9 Kinlock Road, located on PID 859637, zoned Town Centre Commercial (TCC), subject to conditions.

**7 DEVELOPMENT APPLICATIONS**

14 - 26

- a) **Part 3 Commercial/Assembly Building – DP041-26 – Mixed Commercial/Recreation Building on a portion of PID 1016377 at 301 Shakespeare Drive**

An application has been received from PEI Martial Arts Inc (C/O Jason Saggo) to construct a Mixed Use (Commercial/Recreation) Part 3 Commercial/Assembly building at 301 Shakespeare Drive (Portion of PID 1016377).

*(please refer to the attached Property Map as shown on the attached 7a-1).*

The subject property is located within the Town Centre Mixed Use (TCMU) zone. This development is proposed to contain a Martial Arts Gym in the basement and

3 floors of commercial office space. Under the TCMU Zone, Commercial and Recreational uses are listed as permitted uses.

The proposed Gym (Recreational Use) is classified an Assembly Occupancy (Group A, Division 2) which is regulated by the Part 3 of the National Building Code of Canada (NBCC). In accordance with subsection 1.5.1. Part 3 Commercial Buildings require preliminary approval from Council as the development falls outside the authority of a Development Officer.

**Summary of Bylaw Conformance:**

The proposed development, *as shown in the attached 7a-2*, meets lot requirements as outlined in Section 12.2.6.iii. of the Zoning and Development Bylaw #45 (the Bylaw) as summarized in the following table:

Standard	Requirement	Lot 25-1
<b>Min. Lot Area</b>	N/A	1,225.7 m <sup>2</sup> / 13,193.3 ft <sup>2</sup>
<b>Min. Frontage</b>	N/A	46.9 m / 154 ft
<b>Min. Front Yard Setback</b>	3 m / 10 ft	6 m / 21 ft
<b>Min. Rear Yard Setback</b>	3 m / 15 ft	14.9 m / 49 ft
<b>Min. Side Yard Setback</b>	0 m / 0 ft	3 m / 10 ft
<b>Min Building Height</b>	3 Storeys, 12 m (40 ft.)	3 Storeys, 40 ft

This zone is unique from those zones around it as it requires a minimum building height rather than a maximum building height for non residential buildings. When looking at the building from Shakespeare Drive, it will have a 10 ft side yard setback on its right side due the presence of the Maritime Electric Utility easement that services the Church Property.

**Parking Calculation and Configuration:**

The proposed parking for this property involves the combination of on-site parking spaces and shared off-site parking spaces with the adjacent Cornerstone Church property, further described in the table below:

Use	Standard	Requirement	Proposed Lot 25-2
<b>Office</b>	<b>1 Space per 28 m<sup>2</sup> (300 ft) floor area</b>	22 Parking Spaces based on Office Floor Space of 608 m <sup>2</sup> (6,552 ft <sup>2</sup> )	<b>29 Total Parking Spaces</b> <b>14 Parking Spaces (On Site)</b> <b>15 Parking Spaces (Off Site)</b>
<b>Assembly</b>	<b>1 Space per Seat or where no seats shown as per Fire Marshals (FMO) Seating Capacity</b>	N/A – FMO does not typically comment on occupant load or capacity calculations for new builds.	

The required parking spaces for this proposal is more awkward to determine than normal as the operating hours of the Commercial Uses and Recreational Uses differ from one another. The offices would normally be used between 8 am - 5 pm, whereas the Recreational Use would operate after 5 pm and on weekends when the

offices are closed. Additionally, the use of the Off-Site Parking Spaces by users of the Recreational Use will not impact the Cornerstone Church property as the hours of operation of these uses also differs from one another.

The Fire Marshall's Office (FMO) does not comment on occupant load of new buildings and relies on the expertise of a projects architect or design engineers. The FMO typically only gets involved in existing facilities, whereby they can conduct inspections and establish occupant loads in accordance with applicable codes and standards when requested. Under Section 10.1.3, Council may permit a different standard based on alternative parking plans based on the standards of the Institute of Transportation Engineers (ITE). Under Section 10.1 for uses not specifically listed in the required parking spaces table, parking must be provided at a ratio of 1 space per 20 m<sup>2</sup> (215 ft<sup>2</sup>). The recreational facility will be 2,200 ft<sup>2</sup> which would therefore only require 10 parking spaces.

The applicant has provided general information on the anticipated number of users of the recreational facility. Adult gym sessions range between 10-20 students while the children's sessions have between 10-15 students. Therefore based on these numbers, 29 parking spaces should be sufficient to accommodate this projected number of users of the facility.

The proposed development is to be accessed via the shared access with the Cornerstone Church property. The site design for this building places the parking area to the back of the lot offering several benefits including:

- Safer access onto Shakespeare Drive than a traditional driveway for vehicles entering and exiting the property by eliminating the need to back onto a public road.
- Safer active transportation travel by reducing the amount of driveway crossings over the existing AT path.
- Shields the view of vehicles and waste areas from the street.
- The configuration is in line with the overarching design standards for the Core Area with pedestrian scale focused streetscapes.

The proposed development is also subject to the Town Centre Design Standards as per Appendix E of the Bylaw. This includes provisions for pedestrian connections to adjacent street frontages and screening of site elements. The development will also be subject to all other provisions of the Bylaw including the preparation of a site servicing plan, stormwater management assessment, and erosion and sedimentation control plan.

**RECOMMENDATION:**

That Council grant approval to the application from PEI Martial Arts Inc (C/O Jason Saggo) to construct a Mixed Use (Commercial/Recreation) Part 3 Commercial/Assembly building, at 301 Shakespeare Drive (Portion of PID 1016377) in accordance with the following conditions:

1. The development shall be in accordance with the Site Plan and Building Plans prepared by Architecture 360 and MCA Consultants Inc, dated April 2026.
2. A detailed stormwater management plan shall be prepared by a qualified engineer and approved by both the Town of Stratford and DTI.
3. A detailed erosion and sedimentation control plan shall be prepared by a qualified engineer showing how erosion and sedimentation will be controlled and contained during construction and be approved by the Town of Stratford.
4. A detailed landscaping plan shall be prepared by a professional landscape architect outlining the details and quantities of the materials to be used and be approved by the Town of Stratford.
5. A detailed servicing plan shall be prepared by a qualified engineer and be approved by the Stratford Utility Corporation. All servicing shall be in accordance with the Stratford Utility Corporation’s Servicing Regulations including payment of all applicable fees.
6. That a copy of the signed joint access agreement between the PEI Martial Arts Inc and the Cornerstone Church be submitted to the Town
7. That a copy of the signed shared parking agreement between the PEI Martial Arts Inc and the Cornerstone Church be submitted to the Town
8. This development must adhere to the various Development Standards and Architectural guidelines as noted in the Town Centre Core Area Design Standards Appendix in the Zoning Bylaw
9. All other relevant provisions of the Town of Stratford Zoning and Development Bylaw, Bylaw #45.

27 - 35

b) **DP065-26 – Francistheriault Ventures Inc – 41 Hollis Avenue (Unit 1) - PID 1093814 – Special Permit Use (Auto Service)**

An application has been received from Francistheriault Ventures Inc to operate an Auto Detailing Business located at 41 Hollis Avenue (PID 398693) which is a Special Permit Use within the Business Park (M2) Zone.

The business will specialize in professional automotive detailing services designed to maintain and to restore vehicle appearance and cleanliness. The services provided include:

- Interior Detailing
- Exterior Detailing
- Ceramic Coating
- Engine Bay Detailing
- Headlight Restoration

In accordance with Section 8.16 Special Permit Uses of the Town of Stratford Zoning and Development Bylaw #45:

8.16 Prior to the issuance of a Development Permit for a Special Permit Use Council shall ensure that:

- (a) the Development is deemed appropriate and complements the scale of the existing adjacent development;
- (b) the Development has a sufficient Buffer Area along the periphery of the Property and existing wooded areas separating adjacent Uses are preserved;
- (c) in the opinion of Council, the Development does not cause any hardship to surrounding Property Owners due to excessive noise, traffic congestion, hours of operation, or any other potential nuisance;
- (d) Property Owners within 61 m (200 ft.) of the subject Property are notified in writing of details of the proposed Development and asked to provide their comments;
- (e) a public meeting shall be held to allow residents to provide their input prior to the development of a preliminary site plan; and
- (f) all other relevant provisions of this Bylaw are met.

This is a change of use permit application as the building has already been built. Since 2018, this specific unit (Unit #1) has hosted a number of different businesses. The building floor plans appear to indicate that this unit is not suitable for automobile related uses due to the quality of the cement floor in this unit. The Town’s Building Official has reviewed the plans and information submitted by the builder. They have confirmed that the cement floor of Unit 1 is constructed properly to accommodate auto uses.

**RECOMMENDATION:**

That Council shall hold a public meeting on a date to be determined by Staff, to provide an opportunity for the applicant to present the proposed Use to residents and obtain their input regarding this Special Permit Use.

**8 SUBDIVISION APPLICATIONS**

36 - 44

- a) **SD007-26 – Z & C Flourish – Major Subdivision Request – (PID 1160589 & 398552) – Approx. 130 Lot Subdivision for various Residential and Greenspace Uses, Permitted under the Sustainable Subdivision Overlay**

An application has been received from Z & C Flourish (the Developer) to subdivide parcel number 1160589 and 398552 (59.28 acres in total area), as part of Phase 3 of the Foxwood Subdivision, into approx. 130 lots for residential development and greenspace within the Low Density Residential (R1) Zone with a Sustainable Subdivision Overlay (SS) zones.

The breakdown of the proposed uses of this subdivision proposal are as follows:



# Memorandum

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**To:** Deputy Mayor Steve Gallant

**Date:** June 10, 2026

**From:** Infrastructure Department

**Re:** Infrastructure Report

---

Staff continue to be busy coordinating with consultants and contractors on the various projects underway throughout the town – and preparing for new projects and initiatives as approved in the 2026/27 budget.

Building condition assessments will be completed later this month for all three structures at Cotton Park and the town Municipal Complex. This assessment will determine the immediate, short-term and long-term needs of replacements and repairs of the building components.

Pedestrian access from the paved trail into the Stratford Emergency Services Centre will be underway by the end of the month. This will provide an accessible connector through the site and to the walkway along the front of the building.

The town hosted a public information session on May 26<sup>th</sup> led by the Department of Transportation, Infrastructure and Energy. This was the third annual session coordinated with the province, where we learned of upcoming work to be completed within the town and areas being reviewed for future upgrades. The session was well attended and very much appreciated.

Infrastructure Staff has also been busy with the following:

- Opening of seasonal buildings and sports fields which are all in use now;
- Grass cutting is in full swing by both our own resources and our contracted service;
- Most seasonal hiring is complete with just a few students remaining to come on board by the end of June;
- Speed hump installs and speed studies are continuing every week; there are speed humps installed on Emmalee Drive, Heron Drive, Kelly Heights, Harlandview Drive, MacDonald Road and Brookside Drive;
- Oversight of the additional hydrant installation project;
- Oversight of the new parking lot construction at Shepard Drive;
- Seasonal property water meter installs and turn-ons is still underway;
- Water and sewer inspections, meter installations and water turn-ons for new development are ongoing;
- Daily inspection and maintenance of water and sewer systems and facilities; and
- Managing ongoing customer and resident inquiries and concerns.

There were no sewer or water or facilities related emergencies during the month of April. There were two sewer lateral repairs required as follow-up to address prior blockages.

**INFRASTRUCTURE COMMITTEE  
REGULAR MONTHLY MEETING  
UNAPPROVED MINUTES**

**DATE:** Thursday, May 21, 2026

**TIME:** 12:07 p.m. to 1:18 p.m.

**PLACE:** Council Chambers, Stratford Town Hall

**PRESENT:** Councilor Gordie Cox (joined the meeting at 12:33 p.m.); Committee Members: Michael Fleischmann, Alex Dalziel, Kim Dudley, Nicole Phillips; Jeannie Woodard, Director of Infrastructure; Carter Livingstone, Project Manager; Joe Driscoll, Infrastructure Superintendent; Ronelda Peters, note-taker

**REGRETS:** Malcolm MacKenzie

**CHAIR:** Deputy Mayor Steve Gallant

**1. CALL TO ORDER**

Deputy Mayor Gallant called the meeting to order at 12:07 p.m.

**2. DECLARATION OF CONFLICT OF INTEREST**

Nil

**3. APPROVAL OF AGENDA**

It was moved, seconded, and carried that the agenda for the May 21, 2026 Infrastructure Committee regular monthly meeting be approved as presented.

**4. APPROVAL OF MINUTES**

It was moved, seconded, and carried that the minutes for the April 16, 2026 Infrastructure Committee regular monthly meeting be approved as presented.

**5. BUSINESS ARISING FROM THE MINUTES**

Nil

**6. INFRASTRUCTURE DEPARTMENT REPORT**

**a. Infrastructure Report**

The monthly Infrastructure Report was included in the agenda package.

**b. Project Updates**

The monthly Project Report was included in the agenda package.

Community Campus - Site Servicing

This project is essentially complete with only a few deficiencies to be addressed.

Community Campus - Wellness Centre

Staff are working on the design with the consultant for some of the early stages.

Community Campus – Outdoor Facilities Development

Outdoor amenities, fields, trails, and parking lots are nearing completion.

A deficiency tour of the sports fields is planned for late June. Recreation staff will decide when the fields will go into operation.

Work is still needed on the infield area of the cricket field, which is a narrow turf strip. The rest of the field is in good shape. There are no current plans to install netting in that area as there is no parking near the field.

The soccer association is not interested in moving over to the new fields mid-season, so those fields may not be in use this year.

Jordan's Pond Rehabilitation

Staff are looking for funding and will be working with the Watershed Group on this project.

Recurring Items

There are some placeholder items that are carried every year, pending construction, including Foxwood contributions, street lighting, traffic calming measures.

Aluminum Stairs for Beach Access

Staff will select a location with good public access where stairs are required. This was a Council initiative from a previous budget process some years ago.

Business Park Expansion

Staff will be preparing an RFP for design work in the next two months.

Waterfront Park Pavilion

Construction is underway with completion expected in November.

E-Watch Cameras

Cameras will be installed based on a priority list.

Shepard Drive Parking Lot

Work is underway with completion expected by July 1<sup>st</sup>.

Active Transportation Network Addition – Ducks Landing

The trail will extend from one end of Ducks Landing to the other. The contract has been awarded and work is expected to start in early July.

Waterfront Boardwalk Extension

Staff will look for another source of funding for this project.

Active Transportation Network Addition - Rosebank Road

Staff will look for another source of funding for this project.

Trans-Canada Highway Underpass Upgrades

The sidewalk between Glen Stewart Drive and the underpass is in poor condition and has been identified for replacement in the Active Transportation Plan. As the sidewalk is not on Town property and there is no easement, there will be some technicalities to work out before any work can be completed.

Crosswalk Landings Throughout the Town

Staff were notified that the funding application to the Federation of Canadian Municipalities' Safe and Active School Routes Program was unsuccessful. Although the application was strong, a funding representative explained that the funding is geared toward pilot projects that can be replicated in other municipalities across Canada.

Corish Force Main Extension

This project has been completed. There are some minor warranty deficiencies that the contractor will address in the next week or two.

Water station upgrades

This project includes work to decommission wells at Beacon Hill and Sundance and complete maintenance on water storage buildings.

Standby Generators at Lift Stations

Pads are being installed and generator delivery was originally scheduled for June. Staff will follow up to confirm. Staff are looking at adding an additional generator under this project for the Clearview lift station.

Inflow and infiltration

CIPP (cured-in-place pipe) lining work will be completed again this year.

Harbourview Sewer Redirection

This contract has been awarded to Island Coastal and is scheduled to start in August. The work will involve removing the Harborview lift station and redirecting that flow to the Waterfront lift station. It will require placing about 65 meters of new sanitary main.

Reeves Water Distribution Replacement

Staff have not received any word on the Canada Housing Infrastructure Fund (CHIF) funding application.

Aptos Lift Station Decommissioning

Design work has been completed. There is an application outstanding under the Municipal Strategic Component (MSC) of the Canada Community Building Fund (CCBF).

Keppoch Road Water

This will be the next stage of water servicing - work is contingent on funding.

Cable Heights Water Station Upgrades

This work is contingent on funding approval under the MSC component of the CCBF.

**7. CORRESPONDENCE**

**a. Request for Decision**

A homeowner has requested a reduction to a high water and sewer bill after two quarters of unusually high usage.

The homeowner appears to have missed the first high bill, so the issue was not noticed until about six months later. Although payments have been made on the account, the homeowner is seeking a refund or other assistance. Staff advised that the meter accurately recorded water used and that customers are responsible for monitoring usage and identifying leaks. The request was therefore brought forward for Committee review and recommendation.

Committee discussion focused on customer responsibility and the risk of setting a precedent. Members noted that customers are expected to monitor their meters, which can indicate continuous water use consistent with a leak. Because the homeowner missed two billing periods, the issue could have been identified earlier. The Committee reiterated that the Town has consistently declined compensation for water that has passed through the meter.

Staff reviewed the meter data and found that the high usage had returned to normal by December. By the time the homeowner was aware of the issue in February, the abnormal usage had already stopped.

The Committee also discussed improving customer education about the water metering system, including providing a notice with the quarterly utility bills. It was noted that staff will soon be implementing a new process to send out a Stratford Utility brochure to new homeowners/residents along with a welcome letter from the Mayor.

Everyone agreed that the Town is not responsible for the excess charges. The Committee did not support issuing a refund, noting that doing so would undermine the purpose of metered billing and water conservation.

The Committee moved to deny the request to reduce the utility bill and directed that a response should be sent to the homeowner to advise them that a payment plan option is available for the amount owing.

**8. NEW BUSINESS**

**a. Presentation from the Department of Transport Infrastructure and Energy.**

The PEI Department of Transportation will hold an information session for residents and staff at the Town Centre on Tuesday, May 26, 2026. Similar to previous years, staff from the Department of Transportation will present their plans for work currently taking place in Stratford, as well as upcoming projects that might impact the Town.

**b. Update on EV charging station**

The Province of PEI has approached the Town for a location to install a Level 3 EV charger. Staff looked at several options and decided the Town Hall parking lot would be the best location.

There are two types of charges that would be suitable, a 200-kilowatt system which would charge the average vehicle to 80 percent in about 40 minutes, or a 400-kilowatt system that would be significantly faster and allow for future expansion. Staff have responded to the Province to indicate that the preferred option would be the 400-kilowatt system with a condensed version of the equipment pad.

Both options will benefit the Town at no direct cost, as the Province would own, operate, and maintain the charging station and collect user fees. The Province will make the final decision on which version will be installed.

In response to the Province's request, staff reviewed several Town-owned properties for a suitable location, including Cotton Park, Community Campus, Pondside Park and the Emergency Services building. It was noted that other locations were considered, including private properties closer to amenities; however, the landowners that were approached were not interested.

Although the Town Hall parking area is not visible from the road, it was felt that the chargers would be used more by visitors who could easily find them on an app. A potential benefit of the Town Hall location is that it could serve nearby apartments where residents may not have access to home charging.

Fees may be based either on energy used or time connected. Staff confirmed the Town would not set or collect fees. The province would operate the charger, pay for electricity, and receive any revenue. Pricing is expected to be comparable to other public fast-charging providers such as FLO.

**c. Update on funding for crosswalks throughout the Town**

This was covered under section 6b (Project Updates).

**d. Lighting of trail to underpass**

The Town's capital budget includes funding for lighting in designated areas of the AT network. While not all paths will be lit, the trail between Shakespeare Avenue and Heron Drive, extending to the underpass, has been identified through a Request for Decision.

Staff are confirming whether Maritime Electric can access the paved trail to install poles. If access is available, yard lights may be used; otherwise, solar-powered light standards remain an option. In either case, some form of lighting will be installed in this area.

This is not intended to extend lighting to all natural or gravel park trails, but to address safety on a well-used through corridor.

**9. OTHER BUSINESS**

**a. Operation of the Waterfront Pavilion Building**

The pavilion includes a 4,000-square-foot building, a 2,000-square-foot covered patio, and a 1,500-square-foot uncovered stone patio. It was designed to support full food and beverage operations, with a commercial kitchen, bar millwork, wet bar, dishwasher hookup, and ice machine.

Council will be meeting today to review options for operating the pavilion. The discussion will focus on whether the pavilion should be programmed by the Recreation Department or leased to a private operator.

The general preference is for a commercial lease model, similar to a restaurant or hospitality operator. Another option would be to lease the space to a caterer or event operator who could manage bookings and run it as a venue.

Under a lease, the Town would still retain access to the sheltered outdoor area, washrooms, and selected indoor spaces for community events through a lease agreement.

It was noted that the funding proposal submission positioned the pavilion as an economic driver that would attract people to the area, which supports the case for commercial use. Some residents have noted a lack of sit-down restaurant options in Stratford, so a commercial operator could help address that need.

The Committee discussed the need to preserve access to community space. A community survey conducted some years ago identified demand for meeting and recreation space, so if the pavilion is leased commercially, the town should ensure volunteer and community groups are not displaced. While some groups currently use other town spaces successfully, Council should confirm whether there is still unmet demand for community-oriented meeting space before committing the pavilion to a third-party business. Reviewing the earlier space-use survey could help inform that decision.

The next step would be to issue a call for proposals for use of the space. An expression of interest could also reveal alternative uses for the pavilion, including destination-style event concepts the Town has not yet considered.

**10. DATE OF NEXT MEETING**

The next regular monthly Infrastructure Committee meeting is scheduled for Thursday, June 18, 2026.

**11. ADJOURNMENT**

There being no further business, it was moved that the meeting be adjourned at 1:18 p.m.

# Memorandum

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To: Stratford Town Council  
From: Wendy Watts and Madeleine Crowell  
Subject: Sustainability Updates  
Date: June 3, 2026

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The Sustainability Committee last met on May 6<sup>th</sup>. Additional updates of work underway in this area include:

## **Business Community Update**

Another well attended event was held on June 2<sup>nd</sup> with a Lunch and Learn for Stratford Businesses alongside the RCMP. Attendees learned a lot about fraud and had the opportunity to discuss and ask questions about a variety of related and unrelated topics as well. The Town's E-Watch Program was also presented and the opportunity for businesses to get involved shared. The last activity before taking a break for the summer will be held on Wednesday, June 24<sup>th</sup> with a Morning Mixer between 7:30am and 8:15am at Stratford Town Centre.

## **2026 Water School Program**

Water School began on April 13<sup>th</sup> and wrapped up April 28<sup>th</sup>, having successfully educated 18 classes of Grade 5 students on water conservation. This program is a cross-municipality collaboration as Stratford, Cornwall, and Charlottetown each host a week of Grade 5 classes, in collaboration with various watershed groups including primarily the Stratford Area Watershed Improvement Group. Following the end of the program this year, we will hold the annual Water School Art Contest and are looking forward to hosting the art contest winners during the award ceremony at the June council meeting.

## **Summer Tree Planting Work**

Four summer staff have recently begun work with the Town as Park Tree Technicians, focused on tree planting and maintenance, as well as some other work such as maintaining the Stratford Community Gardens. These seasonal staff have been trained in tree planting, identification, and pruning, and will work to carry out various tree-related projects for the Town. These staff members, as well as the various grants the Town is able to secure, are crucial to growing Stratford's urban canopy and greening parks and public spaces.

## **Diversity & Inclusion Sub-Committee**

The Diversity & Inclusion Sub-Committee met on June 4<sup>th</sup> with a presentation by CIFIPE (Coordination réseau en immigration francophone de l'Î-P-É/Francophone Immigration Network Coordination of PEI) about their responsibility for French immigration on PEI and how Stratford may begin to support their efforts. The approved review of the Town's Diversity & Inclusion plan was also discussed with staff working on an RFP to be put out in the near future.

**SUSTAINABILITY COMMITTEE  
REGULAR MONTHLY MEETING  
{UNAPPROVED OR APPROVED} MINUTES**

**DATE:** May 6, 2026  
**TIME:** 12:00 P.m.  
**PLACE:** Bunbury Room

**PRESENT:** Mayor Steve Ogden; Councillor Jill Chandler; Committee Members: Angela Banks; Andrew Doyle; Christina MacLeod; Jeremy Pierce, Acting CAO; Wendy Watts, Community and Business Engagement Manager; Maddy Crowell, Environmental Sustainability Coordinators; and Jodi Corcoran, recording clerk.

**REGRETS:** Councillor Gordie Cox; Dawn Binns; Devendra Dusane; Khidaf Aijaz

**CHAIR:**Councillor Jill Chandler

**1. CALL TO ORDER**

- a) Councillor Jill Chandler called the meeting to order at 12:06pm.

**2. APPROVAL OF AGENDA**

- a) It was moved and seconded that the agenda be approved as circulated.

**3. APPROVAL OF MINUTES**

It was moved and seconded that the minutes be approved as circulated.

- a) 2026.01.12-Unapproved Sustainability Minutes

**4. BUSINESS ARISING FROM THE MINUTES**

a) **Official Plan/Zoning and Development Bylaw – Verbal Update**

Town staff, council and the consultants continue to work together following the feedback received on the first draft of the proposed documents last fall. The second draft of the Official Plan has been reviewed by council and staff and we are hopeful to move forward with a public meeting by June 1st. We encourage the committee to stay informed and to provide feedback.

b) **Transit Agreement Negotiations – Verbal Update**

Jeremy informed the committee that legal counsel for all parties attended the most recent transit meeting. As a result, those parties were asked to review the latest documents in light of the legal implications. He also noted that two new minibuses have been added to the T3 fleet.

c) **Wellness Centre - Update**

The Town has received confirmation of funding from FCM through the Sustainable Municipal Buildings Program to carry out a feasibility study.

The Town's RFP for the Wellness Centre Design Services has been awarded. Acre and MJMA were selected to lead the project and, following kickoff meetings, provided initial feedback based on the RFP and site visit. Discussions focused on budget, building size, and scope, with scaled-down options presented. Although the current budget is \$68 million, rising material and labour costs could increase construction costs to about \$700 per square foot, significantly affecting the project. Consultants asked staff to review the information and reconsider the overall vision before a Council presentation on next steps. They have also provided strong sustainability ideas to support an energy-efficient building and site.

5. **NEW BUSINESS**

a) **Business Community – Update**

The Town expanded engagement with Stratford's business community through two events: a well-attended January networking mixer and a roundtable with local business representatives. Feedback was positive and focused on how the Town can better support and strengthen relationships with the business community. Businesses also identified key challenges related to transit, housing, and staffing. In response, Wendy developed options for future engagement, including a luncheon as the next planned event.

Planning for the luncheon is underway, including discussions with the RCMP about participating in a session on commercial safety, best practices, and scams affecting businesses. The event is tentatively scheduled for later in May, with a further engagement activity anticipated in June. Engagement will pause in July and August and resume in the fall.

b) **Community Campus update and discussion on Net-Zero and OJT student project – Discussion**

The town discussed how to achieve net zero for the campus. While the wellness centre is being designed to be net-zero ready, the site alone cannot generate enough renewable energy to make the full building net zero. An OJT student from Holland College completed a one-month research project to explore options.

His research looked at solar PV, battery storage, funding, locations, and regulations. One key finding was that rooftop solar could offset about 35% of the building's energy use, making solar the strongest option identified.

The project gave the town a starting point for future net-zero planning,

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though more study, funding, and coordination will still be required.

- c) **Tree planting in provincial right-of-way – Verbal Discussion**  
Staff explained that the town currently cannot plant street trees within provincial rights-of-way because those lands are owned by the province. To address this limitation, staff have drafted a Memorandum of Understanding (MOU) with the province that would permit tree planting in those areas. The draft MOU remains under provincial review. Committee members were invited to provide feedback and identify any concerns or considerations for future review of the agreement.
- d) **Water School / Fix a Leak Week (FALW) – Update**  
Fix a Leak Week took place from March 16-22. This is an annual initiative created by the U.S. EPA to promote water conservation. The Town hosted a pop-up booth at Stratford Home Hardware on March 16 where staff shared water saving tips, promoted our water conservation programs and gave away a few prizes. We also held our annual contest to win water saving prizes including low-flow fixtures and a low-flow toilet. We had a record number of contest entries this year, with 75 participants from Charlottetown, Stratford and Cornwall.
- Water School ran from April 13-27. The program provided Grade 5 students with an opportunity to learn about watersheds, water conservation, and the importance of protecting local water resources. The first week of the program focused on Stratford schools, followed by Charlottetown schools in the second week. Stratford and Charlottetown staff work together to deliver this program, along with watershed coordinators from across both municipal regions.
- e) **Diversity & Inclusion Sub-Committee**  
Mayor Ogden provided an update on the Provincial Immigration Partnership Council and noted that communities are being asked to identify data needs related to immigration and newcomer support. Discussion included the value of timely and accurate immigration data and projections for municipal planning.

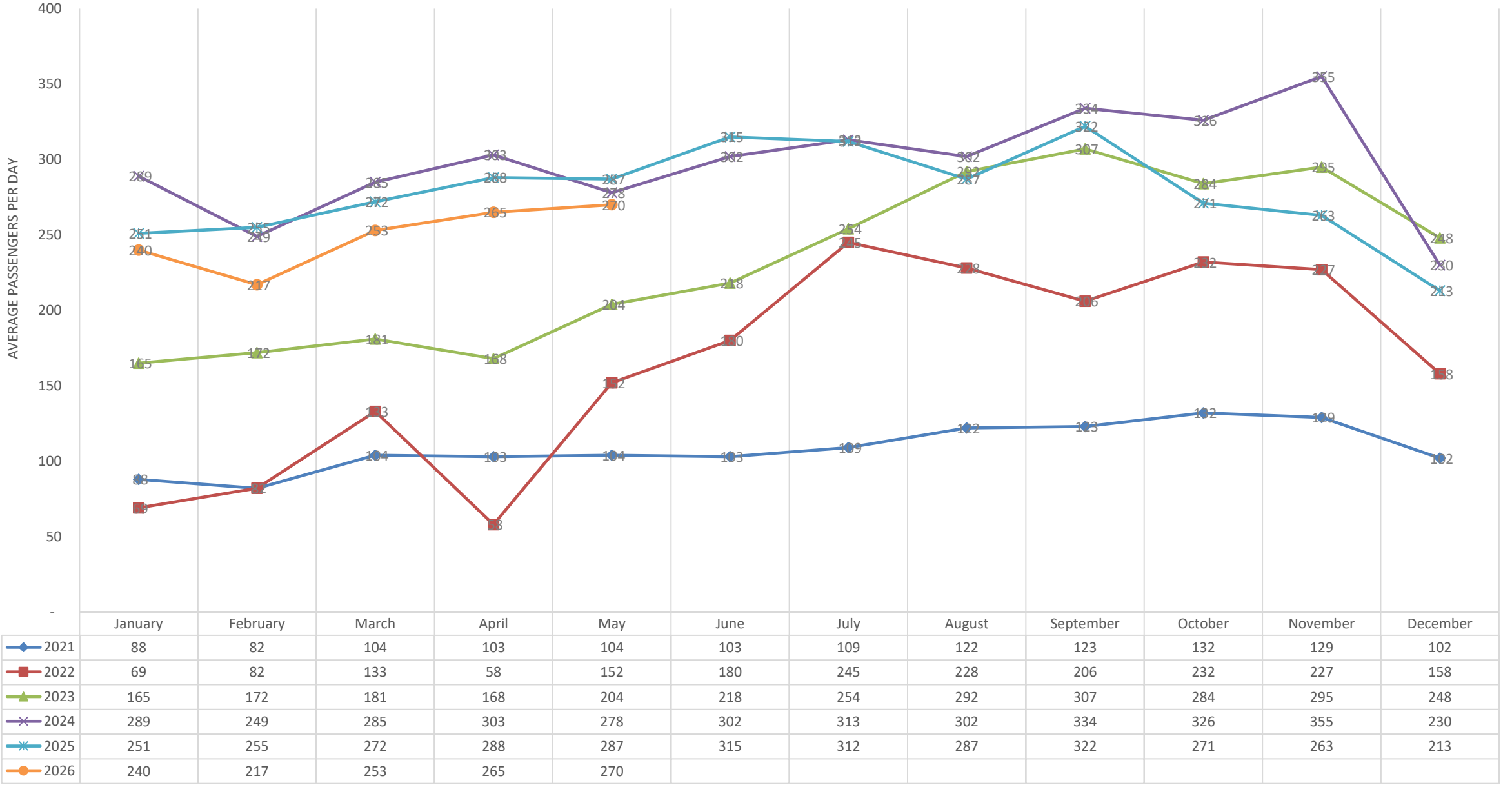
**6. DATE OF NEXT MEETING**

- a) The next meeting will be held on Wednesday, August 5th at 12 PM.

**7. ADJOURNMENT**

- a) The meeting was adjourned at 1:14pm.

### STRATFORD TRANSIT SUMMARY



**STRATFORD RIDERSHIP MAY 2026**

Sum of Stratford Ridership		Route #		Grand Total	
Date	Day	7	8 123S		
05/01/2026	Fri	134	66	9	209
05/02/2026	Sat	72	0	0	72
05/03/2026	Sun	0	0	0	0
05/04/2026	Mon	174	105	14	293
05/05/2026	Tue	140	104	8	252
05/06/2026	Wed	154	113	14	281
05/07/2026	Thu	151	113	12	276
05/08/2026	Fri	136	122	17	275
05/09/2026	Sat	76	0	0	76
05/10/2026	Sun	0	0	0	0
05/11/2026	Mon	158	131	10	299
05/12/2026	Tue	111	127	10	248
05/13/2026	Wed	172	118	10	300
05/14/2026	Thu	204	113	8	325
05/15/2026	Fri	183	97	4	284
05/16/2026	Sat	77	0	0	77
05/17/2026	Sun	0	0	0	0
05/18/2026	Mon	98	16	4	118
05/19/2026	Tue	148	115	14	277
05/20/2026	Wed	166	131	14	311
05/21/2026	Thu	189	119	9	317
05/22/2026	Fri	138	86	17	241
05/23/2026	Sat	62	0	0	62
05/24/2026	Sun	0	0	0	0
05/25/2026	Mon	153	98	12	263
05/26/2026	Tue	176	111	21	308
05/27/2026	Wed	164	103	17	284
05/28/2026	Thu	157	86	15	258
05/29/2026	Fri	126	106	15	247
05/30/2026	Sat	82	0	0	82
05/31/2026	Sun	0	0	0	0
<b>Grand Total</b>		<b>3,601</b>	<b>2,180</b>	<b>254</b>	<b>6,035</b>

Route # (Multiple Items)

**STRATFORD RIDERSHIP MAY 2026**

Day	Values		Stratford System
	Non Paying	Paying Ridership	
Mon		0	0
Tue		973	973
Wed		1085	1,085
Thu		1176	1,176
Fri		1176	1,176
Sat		1256	1,256
Sun		369	369
<b>Grand Total</b>		<b>6035</b>	<b>6,035</b>

		2026	2025	2024
Total Ridership		6,035	6,770	6,748
Monday - Friday	Paying	5,666	6,321	6,396
	Non - Paying	-	-	-
	Working Days	21	22	23
	Average	270	287	278
Saturday	Paying	369	449	352
	Non - Paying	-	-	-
	Working Days	5	5	4
	Average	74	90	88

## Agenda Item #15.b)

Date	Day	10:00 AM	11:00 AM	12:00 PM	1:00 PM	2:00 PM	3:00 PM	Total/day
05/01/2026	Fri	11	3	14	9	15	19	71
05/02/2026	Sat							0
05/03/2026	Sun							0
05/04/2026	Mon	9	5	8	6	8	15	51
05/05/2026	Tues	5	4	12	11	5	10	47
05/06/2026	Wed	9	7	15	8	9	6	54
05/07/2026	Thurs	13	3	4	10	7	5	42
05/08/2026	Fri	16	10	16	8	21	17	88
05/09/2026	Sat							0
05/10/2026	Sun							0
05/11/2026	Mon	10	10	5	14	7	9	55
05/12/2026	Tues	10	6	6	7	4	1	34
05/13/2026	Wed	8	6	11	14	8	9	56
05/14/2026	Thurs	16	15	10	14	12	6	73
05/15/2026	Fri	16	5	14	13	22	21	91
05/16/2026	Sat							0
05/17/2026	Sun							0
05/18/2026	Mon	12	7	16	13	8	3	59
05/19/2026	Tues	9	6	9	12	12	18	66
05/20/2026	Wed	11	5	13	14	16	15	74
05/21/2026	Thurs	7	7	11	6	10	7	48
05/22/2026	Fri	11	13	14	19	15	9	81
05/23/2026	Sat							0
05/24/2026	Sun							0
05/25/2026	Mon	13	6	10	13	9	21	72
05/26/2026	Tues	7	9	14	12	12	6	60
05/27/2026	Wed	7	8	14	14	10	16	69
05/28/2026	Thurs	8	3	9	10	9	12	51
05/29/2026	Fri	13	7	15	12	20	21	88
05/30/2026	Sat							0
05/31/2026	Sun							0
		221	145	240	239	239	246	1330

# Memorandum

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To: Stratford Town Council  
From: Town Staff  
Subject: Intergovernmental Affairs & Accountability Report  
Date: June 3, 2026

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The Intergovernmental Affairs & Accountability Committee meets next in July. Here are some updates from this area:

- Ongoing meetings and/or regular communication is taking place with both MP Kent MacDonald and MLA's Burrige and Redmond on a wide range of topics.
- A variety of meetings are taking place with other community partners and government levels in the area of intergovernmental relations
- The Annual Resident Survey is complete with a presentation scheduled for June 18<sup>th</sup> to staff and council presenting the results of the 2026 survey, before they are publicly released.
- The annual KPI collection is nearing completion with the web portal to be updated soon after to report back to residents and stakeholders.



# Memorandum

## Seniors Committee

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**To:** Councillor Steve Gallant

**Date:** June 5, 2026

**From:** Seniors Committee

**Re:** Seniors Committee Report

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The following is an overview of projects and items being worked on within the Seniors Committee.

- Quote for paving closed on June 5<sup>th</sup>, currently being reviewed by infrastructure.
- Sustainability, Infrastructure and Finance staff met to discuss funding opportunities through FCM program LLCA(Local Leadership for Climate Adaptation) to look into feasibility of heat pumps as a cooling solution.
- 2025 Draft financial statements are being presented to Seniors committee next week.
- Seniors Committee meeting on June 10<sup>th</sup> will be held at Seniors Complex to meet with tenants and have new board members see the building.
- Spring maintenance is underway by Chris and his team.
- Concrete patios are being completed in back of building.
- Contractor will be in to spray outside of building for ants once patios are complete.
- Staff and the Management Committee are reviewing the Management Committee Policy for potential updates.
- There are currently 38 people on the waiting list. (5 on the list are waiting for a 2 bedroom unit. 2 on the list asked to be moved to the bottom, 1 person is not a Senior yet).

Respectfully submitted,

Kim O'Connell