

# PLANNING, DEVELOPMENT AND HERITAGE

## Regular Monthly Meeting

June 29, 2026

12:00 p.m.

### AGENDA

Page

**1 CALL TO ORDER**

**2 APPROVAL OF AGENDA**

**3 MINUTES**

7 - 17

- a) Planning & Heritage Committee Minutes, June 1, 2026

**4 DECLARATION OF CONFLICT OF INTEREST**

**5 INVITED GUEST**

**6 REPORT FROM DIRECTOR OF PLANNING**

- a) Update on Regular Monthly Council Meeting, Wednesday, June 10, 2026

**PH008-2026 - DP041-26 – PEI Martial Arts Inc. - Mixed Commercial/Recreation Building – 301 Shakespeare Drive (portion of PID 1016377) - Part 3 Commercial/Assembly Development**

Council granted preliminary approval to DP041-26, subject to the recommended conditions.

**PH009-2026 – DP065-25 – Francistheriault Ventures Inc - 26 Hollis Avenue (PID 1093814) – Special Permit Use - Auto Detailing Business – Public Meeting**

Council granted approval to hold a public meeting on Tuesday, June 23, 2026, to provide the applicant with an opportunity to present the proposed use to residents and receive their input regarding the special permit use.

**7 DEVELOPMENT APPLICATIONS**

18 - 31

- a) **DP065-26 – Francistheriault Ventures Inc – 41 Hollis Avenue (Unit 1) - PID 1093814 – Special Permit Use (Auto Service)**

An application has been received from Francistheriault Ventures Inc to operate an Auto Detailing Business located at 41 Hollis Avenue (PID 398693) which is a Special Permit Use within the Business Park (M2) Zone.

The business will specialize in professional automotive detailing services designed to maintain and restore vehicle appearance and cleanliness. The services provided include:

- Interior Detailing
- Exterior Detailing

- Ceramic Coating
- Engine Bay Detailing
- Headlight Restoration.

In accordance with Section 8.16 Special Permit Uses of the Town of Stratford Zoning and Development Bylaw #45:

*8.16 Prior to the issuance of a Development Permit for a Special Permit Use Council shall ensure that:*

- (a) the Development is deemed appropriate and complements the scale of the existing adjacent development;*
- (b) the Development has a sufficient Buffer Area along the periphery of the Property and existing wooded areas separating adjacent Uses are preserved;*
- (c) in the opinion of Council, the Development does not cause any hardship to surrounding Property Owners due to excessive noise, traffic congestion, hours of operation, or any other potential nuisance;*
- (d) Property Owners within 61 m (200 ft.) of the subject Property are notified in writing of details of the proposed Development and asked to provide their comments;*
- (e) a public meeting shall be held to allow residents to provide their input prior to the development of a preliminary site plan; and*
- (f) all other relevant provisions of this Bylaw are met.*

This is a change of use permit application as the building has already been built. Since 2018, this specific unit (Unit #1) has hosted a number of different businesses. The building floor plans appeared to indicate that this unit is not suitable for automobile related uses due to the quality of the cement floor in this unit. The Town's Building Official has reviewed the plans and information submitted by the builder. The builder provided information that confirm that the cement floor of Unit 1 is constructed properly to accommodate auto uses.

### **Public Notification**

Notification of this proposed Special Permit use was dealt with in accordance with the Zoning Bylaw in the following manner:

- Letters were sent to the 4 adjacent landowners that are located within a 61 m (200 ft.) radius of the subject property
- Notice was also posted on the Town's Facebook page.

No comments were received from adjacent landowners

### **Public Meeting**

The Public Meeting for this proposed development was held on June 23, 2026. Aside from the applicants there were 2 people in attendance (a councillor and a planning committee member). The applicants made a presentation of their business proposal. There were no comments or input from those attending the meeting. There will be some upgrades to the building for this proposed development such as

improved ventilation and the installation of a new floor drain with an oil separator.

**Planning Review**

Section 8.16.1 of the Zoning Bylaw outlines the various criteria that Council needs to consider prior to the issuance of a Special Permit Use permit. These are:

- Whether the development is appropriate and complements the scale of the existing adjacent development
- The development has a significant buffer/separation from adjacent uses/properties
- Whether the proposed development will cause undue hardship for surrounding property owners due to excessive noise, traffic, congestion, hours of operation or any other potential nuisance.

The building unit where this proposed business will be located in an existing building and was used for a previous commercial use. There are not anticipated impacts on the other business operations on this property. This operation will only have 1 vehicle bay for operation purposes and will operate during similar hours as surrounding business. The movement of vehicles on this property will not interfere with the existing childcare operations on the property and adjacent property. The existing building has a landscaped buffer zone from the neighbouring properties, which is a standard requirement within the Business Park (M2) Zone.

**RECOMMENDATION:**

That Council grant approval to the application (DP065-26) from Francistheriault Ventures Inc to operate an Auto Detailing Business located at 41 Hollis Avenue (PID 398693) as a Special Permit Use within the Business Park (M2) Zone subject to the following conditions:

1. That his Development shall not interfere with the parking requirements of other users of the Lot on which the Development will be located;
2. That a new floor drain with an oil separator be installed in Unit 1 for this development.
3. That there must not be any outdoor storage of goods or products related to this proposed business, notwithstanding customer's vehicles.
4. That this permit is only for a change of use of the Unit 1 in this building. If a new structure is required for this business, then a separate development permit is required.
5. That all other relevant provisions of the Town of Stratford Zoning and Development Bylaw #45 and Town Centre Core Area Design Standards are met.

b) **DP076-26 – APM Commercial – 14 Irving Avenue - PID 610550– Special Permit Use (Car Wash)**

An application has been received from APM Commercial to construct a Car Wash at 14 Irving Avenue (PID 610550). The property is located within the Mason Road Commercial (MRC) Zone and any automotive related uses are Special Permit

Uses.

This proposed development will be a 4,500 ft<sup>2</sup> building with 6 bays for vehicle washing purposes and will be accessible from Irving Avenue. Four (4) of the bays will be for self-washing of vehicles, while the other two (2) larger bays will be automatic washing bays. The 2 automatic bays will be through bays, where as the self washing ones will only be accessible from the front of the building.

In accordance with Section 8.16 Special Permit Uses of the Town of Stratford Zoning and Development Bylaw #45:

*8.16 Prior to the issuance of a Development Permit for a Special Permit Use Council shall ensure that:*

- (a) the Development is deemed appropriate and complements the scale of the existing adjacent development;*
- (b) the Development has a sufficient Buffer Area along the periphery of the Property and existing wooded areas separating adjacent Uses are preserved;*
- (c) in the opinion of Council, the Development does not cause any hardship to surrounding Property Owners due to excessive noise, traffic congestion, hours of operation, or any other potential nuisance;*
- (d) Property Owners within 61 m (200 ft.) of the subject Property are notified in writing of details of the proposed Development and asked to provide their comments;*
- (e) a public meeting shall be held to allow residents to provide their input prior to the development of a preliminary site plan; and*
- (f) all other relevant provisions of this Bylaw are met.*

This application was originally proposed back in 2023 but due to market changes, was withdrawn by the applicant. All developments within the Mason Road Commercial Zone are subject to specific design standards. The parking area for this proposed development will be situated an appropriate distance from the side property line that abuts the residential development along Irving Avenue.

**RECOMMENDATION:**

That Council shall hold a public meeting on a date to be determined by Staff, to provide an opportunity for the applicant to present the proposed Use to residents and adjacent landowners and obtain their input regarding this Special Permit Use.

**8 SUBDIVISION APPLICATIONS**

**9 OFFICIAL PLAN, POLICY AND BYLAW**

**10 OTHER BUSINESS**

a) **CMLMT Holdings Ltd - Rescind Council's Approval for 2-5 Unit Townhouse Buildings on North Lot Fronting Along the New Swallow Drive Extension**

Regarding the recent IRAC Appeal from CMLMT Holdings Ltd. based on Council's decision to deny the proposed 2-10 unit stacked townhouse buildings on the North Lot fronting along the new Swallow Drive extension, the Town's legal

counsel has brought the following matter to the attention planning staff:

That in accordance with the Town of Stratford Zoning and Development Bylaw # 45, it states the following:

**Section 8.24 Main Building,**

*8.24.1 Except in a R1, R1L, or R2 Zone, more than one (1) main Building may be placed on a lot on any zone, provided all other provisions of this Bylaw are met including frontage on a public street.*

*Based on the above Bylaw provision, both development proposals consisting of the 2- 10 unit stacked townhouse buildings (denied by Council) and the 2-5 unit townhouse buildings (approved by Council) should*

- not have been processed by planning staff;
- should not have been brought to the Planning Committee for a recommendation to Council; and
- should not have been brought forward to Council for a decision.

The Director of Planning and Development and the Town Planner met with the Town’s legal counsel on June 11, 2026, to discuss this matter in more detail. At a previous meeting between the Town’s legal counsel and the legal counsel for CMLMT Holdings Ltd determined that it would be prudent for the Town to rescind the approval granted by Council for the 2-5 unit townhouse buildings considering there was no ability for Council to grant such approval under the Bylaw.

The Director of Planning and Development met with the CMLMT Holdings Ltd. developers on Monday, June 22, 2026, to present this information to them. The Director expressed his disappointment that this unfortunate circumstance had occurred and also conveyed his sincere apologies to each of the 3 developers on his behalf and the Town’s.

As disappointed as they were, the developers were very respectful and understanding that mistakes do happen and asked what the next steps are. The Director I explained that he would be contacting the Town’s legal counsel as a follow-up, whereby the Town’s legal counsel will contact the legal counsel for CMLMT Holdings Ltd for further discussion regarding how IRAC (“Commission”) will address this matter under the CMLMT Holdings Ltd. appeal. At this time, it is assumed that this will become a matter for discussion involving the Town’s legal counsel, CMLMT Holding Ltd legal counsel, and the Commission.

**RECOMMENDATION:**

That Council rescind the approval granted by Council for the 2-5 unit townhouse buildings located on the North Lot fronting along the new Swallow Drive extension under Resolution PH054-2025 considering there was no ability for Council to grant such approval under the Bylaw.

**11 HERITAGE SUB-COMMITTEE**

- a) The Heritage Sub Committee meeting is scheduled for Tuesday, July 28, 2026, at 4:30 p.m.

**12 DATE OF NEXT MEETING**

- a) The next Planning Board meeting has been rescheduled for Monday, July 27, 2026 at 12:00 p.m. (noon).

**13 ADJOURNMENT**

**PLANNING, DEVELOPMENT AND HERITAGE  
REGULAR MONTHLY MEETING  
{UNAPPROVED OR APPROVED} MINUTES**

**DATE:** June 1, 2026  
**TIME:** 12:00 P.m.  
**PLACE:** Bunbury Room

**PRESENT:** Councillor Ron Dowling, Adam Ramsay, Derek Kronemeyer, Alexandra Boyd, Dale McKeigan-Director of Planning, Phil Rough-Town Planner, Sarah Kennedy-Development Officer, Janae Knowles-Planning Technician, Veronica Arredondo-Planning/Recording Clerk.

**REGRETS:** Mayor Steve Ogden, Jeremy Pierce-Acting CAO, Scott Carnall-Long-Range Planner, Daniel Neuffer, Alex O’Hara

**CHAIR:** Councillor Jeff MacDonald

**1. CALL TO ORDER**

a) The meeting was called to order at 12:00 p.m.

**2. APPROVAL OF AGENDA**

a) The agenda for the June 1, 2026, meeting was approved as presented.

**3. MINUTES**

a) Planning & Heritage Committee Minutes, Monday, May 4, 2026

**4. DECLARATION OF CONFLICT OF INTEREST**

a) Nil.

**5. INVITED GUEST**

a) Nil.

**6. REPORT FROM DIRECTOR OF PLANNING**

a) Update on Regular Monthly Council Meeting, Wednesday, May 13, 2026

**PH005-2026 – SD004-25 – CMLMT Holdings Ltd – Conditional Use –Two (2) 10-Unit Stacked Townhouse Dwelling Buildings on the North Lot created by Subdivision SD004-25 - PID 190173 & 529545**

Council denied an application from CMLMT Holdings Ltd. in March 2026 to change the future conditional uses for the lots within Subdivision SD004-25.

**PH007-2026- DP017-26 - MRA Architecture + Design McDonald’s Restaurant at 9 Kinlock Road (PID 859637) Part 3 Commercial Development**

Council granted preliminary approval of the application submitted by MRA Architecture + Design to construct a MacDonal’s Restaurant (classified as a Part 3 Commercial development) at 9 Kinlock Road, located on PID 859637, zoned Town Centre Commercial (TCC), subject to conditions.

**7. DEVELOPMENT APPLICATIONS**

a) **Part 3 Commercial/Assembly Building – DP041-26 – Mixed Commercial/Recreation Building on a portion of PID 1016377 at 301 Shakespeare Drive**

An application has been received from PEI Martial Arts Inc (C/O Jason Saggo) to construct a Mixed Use (Commercial/Recreation) Part 3 Commercial/Assembly building at 301 Shakespeare Drive (Portion of PID 1016377).

*(please refer to the attached Property Map as shown on the attached 7a-1).*

The subject property is located within the Town Centre Mixed Use (TCMU) zone. This development is proposed to contain a Martial Arts Gym in the basement and 3 floors of commercial office space. Under the TCMU Zone, Commercial and Recreational uses are listed as permitted uses.

The proposed Gym (Recreational Use) is classified an Assembly Occupancy (Group A, Division 2) which is regulated by the Part 3 of the National Building Code of Canada (NBCC). In accordance with subsection 1.5.1. Part 3 Commercial Buildings require preliminary approval from Council as the development falls outside the authority of a Development Officer.

**Summary of Bylaw Conformance:**

The proposed development, *as shown in the attached 7a-2*, meets lot requirements as outlined in Section 12.2.6.iii. of the Zoning and Development Bylaw #45 (the Bylaw) as summarized in the following table:

Standard	Requirement	Lot 25-1
<b>Min. Lot Area</b>	N/A	1,225.7 m <sup>2</sup> / 13,193.3 ft <sup>2</sup>
<b>Min. Frontage</b>	N/A	46.9 m / 154 ft
<b>Min. Front Yard Setback</b>	3 m / 10 ft	6 m / 21 ft
<b>Min. Rear Yard Setback</b>	3 m / 15 ft	14.9 m / 49 ft
<b>Min. Side Yard Setback</b>	0 m / 0 ft	3 m / 10 ft
<b>Min Building Height</b>	3 Storeys, 12 m (40 ft.)	3 Storeys, 40 ft

This zone is unique from those zones around it as it requires a minimum building height rather than a maximum building height for non residential buildings. When looking at the building from Shakespeare Drive, it will have a 10 ft side yard setback on its right side due the presence of the Maritime Electric Utility easement that services the Church Property.

**Parking Calculation and Configuration:**

The proposed parking for this property involves the combination of on-site parking spaces and shared off-site parking spaces with the adjacent Cornerstone Church property, further described in the table below:

Use	Standard	Requirement	Proposed Lot 25-2
Office	1 Space per 28 m <sup>2</sup> (300 ft) floor area	22 Parking Spaces based on Office Floor Space of 608 m <sup>2</sup> (6,552 ft <sup>2</sup> )	<b>29 Total Parking Spaces</b> <b>14 Parking Spaces (On Site)</b> <b>15 Parking Spaces (Off Site)</b>
Assembly	1 Space per Seat or where no seats shown as per Fire Marshals (FMO) Seating Capacity	N/A – FMO does not typically comment on occupant load or capacity calculations for new builds.	

The required parking spaces for this proposal is more awkward to determine than normal as the operating hours of the Commercial Uses and Recreational Uses differ from one another. The offices would normally be used between 8 am - 5 pm, whereas the Recreational Use would operate after 5 pm and on weekends when the offices are closed. Additionally, the use of the Off-Site Parking Spaces by users of the Recreational Use will not impact the Cornerstone Church property as the hours of operation of these uses also differs from one another.

The Fire Marshall’s Office (FMO) does not comment on occupant load of new buildings and relies on the expertise of a projects architect or design engineers. The FMO typically only gets involved in existing facilities, whereby they can conduct inspections and establish occupant loads in accordance with applicable codes and standards when requested. Under Section 10.1.3, Council may permit a different standard based on alternative parking plans based on the standards of the Institute of Transportation Engineers (ITE). Under Section 10.1 for uses not specifically listed in the required parking spaces table, parking must be provided at a ratio of 1 space per 20 m<sup>2</sup> (215 ft<sup>2</sup>). The recreational facility will be 2,200 ft<sup>2</sup> which would therefore only require 10 parking spaces.

The applicant has provided general information on the anticipated number of

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users of the recreational facility. Adult gym sessions range between 10-20 students while the children's sessions have between 10-15 students. Therefore based on these numbers, 29 parking spaces should be sufficient to accommodate this projected number of users of the facility.

The proposed development is to be accessed via the shared access with the Cornerstone Church property. The site design for this building places the parking area to the back of the lot offering several benefits including:

- Safer access onto Shakespeare Drive than a traditional driveway for vehicles entering and exiting the property by eliminating the need to back onto a public road.
- Safer active transportation travel by reducing the amount of driveway crossings over the existing AT path.
- Shields the view of vehicles and waste areas from the street.
- The configuration is in line with the overarching design standards for the Core Area with pedestrian scale focused streetscapes.

The proposed development is also subject to the Town Centre Design Standards as per Appendix E of the Bylaw. This includes provisions for pedestrian connections to adjacent street frontages and screening of site elements. The development will also be subject to all other provisions of the Bylaw including the preparation of a site servicing plan, stormwater management assessment, and erosion and sedimentation control plan.

**RECOMMENDATION:**

That Council grant approval to the application from PEI Martial Arts Inc (C/O Jason Saggo) to construct a Mixed Use (Commercial/Recreation) Part 3 Commercial/Assembly building, at 301 Shakespeare Drive (Portion of PID 1016377) in accordance with the following conditions:

1. The development shall be in accordance with the Site Plan and Building Plans prepared by Architecture 360 and MCA Consultants Inc, dated April 2026.
2. A detailed stormwater management plan shall be prepared by a qualified engineer and approved by both the Town of Stratford and DTI.
3. A detailed erosion and sedimentation control plan shall be prepared by a qualified engineer showing how erosion and sedimentation will be controlled and contained during construction and be approved by the Town of Stratford.
4. A detailed landscaping plan shall be prepared by a professional landscape architect outlining the details and quantities of the materials to be used and be approved by the Town of Stratford.

5. A detailed servicing plan shall be prepared by a qualified engineer and be approved by the Stratford Utility Corporation. All servicing shall be in accordance with the Stratford Utility Corporation's Servicing Regulations including payment of all applicable fees.
6. That a copy of the signed joint access agreement between the PEI Martial Arts Inc and the Cornerstone Church be submitted to the Town
7. That a copy of the signed shared parking agreement between the PEI Martial Arts Inc and the Cornerstone Church be submitted to the Town
8. This development must adhere to the various Development Standards and Architectural guidelines as noted in the Town Centre Core Area Design Standards Appendix in the Zoning Bylaw
9. All other relevant provisions of the Town of Stratford Zoning and Development Bylaw, Bylaw #45.

**DISCUSSION:**

Committee members agreed that there is a need for additional office space within the Town, noting that the proposed project aligns well with the current zoning requirements.

Furthermore, the Committee expressed support for the shared parking arrangement, noting that the differing peak-use hours between the office, gym, and church spaces create an efficient, complementary use of the available parking.

The Committee moved to recommend that Council grant approval for an application received from PEI Martial Arts Inc (C/O Jason Saggo) to construct a Mixed Use (Commercial/Recreation) Part 3 Commercial/Assembly building, at 301 Shakespeare Drive (Portion of PID 1016377).

b) **DP065-26 – Francistheriault Ventures Inc – 26 Hollis Avenue (Unit 1) - PID 1093814 – Special Permit Use (Auto Service)**

An application has been received from Francistheriault Ventures Inc to operate an Auto Detailing Business located at 26 Hollis Avenue (PID 398693) which is a Special Permit Use within the Business Park (M2) Zone.

The business will specialize in professional automotive detailing services designed to maintain and to restore vehicle appearance and cleanliness. The services provided include:

- Interior Detailing
- Exterior Detailing
- Ceramic Coating
- Engine Bay Detailing
- Headlight Restoration

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In accordance with Section 8.16 Special Permit Uses of the Town of Stratford Zoning and Development Bylaw #45:

8.16 Prior to the issuance of a Development Permit for a Special Permit Use Council shall ensure that:

- (a) the Development is deemed appropriate and complements the scale of the existing adjacent development;
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- (c) in the opinion of Council, the Development does not cause any hardship to surrounding Property Owners due to excessive noise, traffic congestion, hours of operation, or any other potential nuisance;
- (d) Property Owners within 61 m (200 ft.) of the subject Property are notified in writing of details of the proposed Development and asked to provide their comments;
- (e) a public meeting shall be held to allow residents to provide their input prior to the development of a preliminary site plan; and
- (f) all other relevant provisions of this Bylaw are met.

This is a change of use permit application as the building has already been built. Since 2018, this specific unit (Unit #1) has hosted a number of different businesses. The building floor plans appear to indicate that this unit is not suitable for automobile related uses due to the quality of the cement floor in this unit. The Town's Building Official has reviewed the plans and information submitted by the builder. They have confirmed that the cement floor of Unit 1 is constructed properly to accommodate auto uses.

**RECOMMENDATION:**

That Council shall hold a public meeting on a date to be determined by Staff, to provide an opportunity for the applicant to present the proposed Use to residents and obtain their input regarding this Special Permit Use.

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**DISCUSSION:**

Town Planner Phil Rough answered technical questions regarding the vehicle access point to the building. He noted potential interior modifications, such as the installation of a floor drain equipped with an oil catchment filter; however, the applicant intends to maintain the unit substantially in its current condition.

The Planning and Heritage Committee recommend that Council grant approval to hold a public meeting on in order to provide an opportunity for the applicant to present the proposed use to residents and obtain their input regarding this Special Permit Use.

**8. SUBDIVISION APPLICATIONS**

a) **SD007-26 – Z & C Flourish – Major Subdivision Request – (PID 1160589 & 398552) – Approx. 130 Lot Subdivision for various Residential and Greenspace Uses, Permitted under the Sustainable Subdivision Overlay**

An application has been received from Z & C Flourish (the Developer) to subdivide parcel number 1160589 and 398552 (59.28 acres in total area), as part of Phase 3 of the Foxwood Subdivision, into approx. 130 lots for residential development and greenspace within the Low Density Residential (R1) Zone with a Sustainable Subdivision Overlay (SS) zones.

The breakdown of the proposed uses of this subdivision proposal are as follows:

Use	Lots	Units
Single Detached	54	54
Semi-Detached	64	128
Townhouse	3	12
Stacked Townhouse	1	92
Office/Show Home	1	1
<b>Totals</b>	<b>123</b>	<b>287</b>

The other seven (7) lots will be greenspace areas for park space, trails, stormwater ponds and will include the former shale pit.

**Background:**

This proposed subdivision is the new revised Final Phase (Phase 3) of the Foxwood’s Sustainable Subdivision. The original Phase 3 subdivision was granted a 3-year preliminary approval in 2022, which expired in June 2025. The original proposal for Phase 3 called for the creation of 157 lots for a total of 204 dwelling units. There were to be

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110 single dwelling lots and 47 semi-detached dwelling lots

This property is located within the Sustainable Subdivision Overlay (SS) Zone and the Low Density Residential (R1) Zone. Where a parcel of land is located within an Overlay zone, any of the standards or requirements of the Overlay zone supersede those of the base zone.

The aim of the SS zone is to:

- preserve the natural environment and ecology.
- improve social amenities and cultural inclusion.
- increase energy efficiency and reduce fossil fuel energy consumption.
- improve the Town's active transportation network; and
- reduce the cost of building and maintaining the Town's Infrastructure

#### **Preliminary Review Comments**

This application is coming to the Committee for information/preliminary discussion purposes only. At this time only a preliminary subdivision layout has been submitted to the Town for review. Section 4.13 outlines some of supporting reports or plans that might be required by the Town for proper assessment of the impact or compatibility of any subdivision. These potential reports include:

- (a) A written assessment addressing any potential environmental impacts.
- (b) A written assessment addressing any access, transportation, or pedestrian issues.
- (c) A stormwater management plan from a Professional Engineer
- (d) A Conceptual Servicing Plan
- (e) Other studies that may be suitable to adequately assess the impact of the proposed subdivision

The developer is working with CBCL on the drafting of a Servicing and Stormwater Management Plan and the Province has indicated that at minimum a Traffic Impact Statement (TIS) would need to be submitted. A TIS differs from a full Traffic Impact Assessment (TIA). A TIS focuses on site access, parking compliances, and basic traffic generation whereas a full TIA involves an in-depth analysis of intersection reviews, traffic surveys, and future growth scenarios.

The proposed lot and subdivision layout have a number of issues that will need to be addressed. For example, at several road corners and in the proposed cul-de-sac, there are various lots proposed to have

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panhandles or greatly reduced frontages.

The Zoning Bylaw does not consider or allow for panhandle lots. In the past the Town did permit this subdivision to contain such lots by allowing them in accordance with Provincial Subdivision and Development Regulations. However, upon closer reading of these regulations, they are not applicable to municipalities that have their own Zoning and Official Plan documents. So therefore, these lots will need to be redesigned to meet the general lot standards in the Zoning Bylaw

This subdivision proposal incorporates various large tracts of greenspace lands. However, access to the greenspace is limited, apart from old shale pit. The reclamation status of this Excavation Pit is unknown at this time and might require further investigation. Land for parkland purposes should be easily accessible and usable as such but are often an afterthought or have limited access. In additional lands required for the purposes of stormwater management do not qualify as parkland dedication. So, the large parcel of land, which is shown to contain a lake, might not be fully park/natural area and further review of the specifics of this parcel are required.

As this property is located within the Sustainable Subdivision Overlay zone, this subdivision requires a review of the proposal using certain performance criteria to determine if it qualifies as a Sustainable Subdivision. This performance criteria covers elements around:

- Natural Environment Conservation – tree, wetland, steep slope protection
- Social and Cultural Amenities – public transit, parks, gathering areas.
- Building Efficiency – green buildings, wastewater management
- Renewable Energy – energy efficiency
- Built Environment – active transportation, street design.

The Zoning bylaw does contain a scoring system that addresses these above criteria. Currently, the developer has not yet submitted details on how this proposed subdivision addresses the specific criteria.

**RECOMMENDATION:**

The Planning Committee shall recommend that the following information be provided by the application for this subdivision to be properly assessed before making a recommendation to Council for preliminary approval.

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1. Details on how the proposed subdivision addresses the Sustainable Subdivision Performance Criteria
  2. At minimum, a Traffic Impact Statement that addresses the potential traffic generation impacts of this proposal.
  3. A preliminary servicing plan for the whole subdivision
  4. A preliminary stormwater management plan for the whole subdivision
  5. A redesign of the lots to eliminate the panhandle lots and bring these lots into closer conformance with the proposed sizes of the similar lots in the subdivision.
  6. More information on the proposed design/layout for the Stacked Townhouse Development Lot.
  7. Details on the proposed amount of parkland to be dedicated. This parkland must not include the area for the shale pit and stormwater management.

**DISCUSSION:**

The Committee members noted that the proposed subdivision plan includes a diverse mix of residential housing types. Because it is a new development, purchasers will have clear expectations regarding the neighborhood's composition from the outset.

Regarding parkland dedication for this and future subdivisions, the Committee emphasized the importance of evaluating existing neighborhood amenities to ensure green spaces are allocated strategically.

Councillor Jeff MacDonald emphasized the importance of requiring a qualified traffic impact assessment, completed by a professional engineer, for a subdivision proposals of this scale. He noted that traffic impacts are a frequent source of concern and inquiry for local residents. In response, the Town Planner confirmed that Section 4.13 of the Zoning and Development Bylaw outlines the supporting reports and impact studies that the Town may require to properly assess the compatibility and overall impact of a proposed subdivision.

A question was raised regarding the developer's intentions to extend the sidewalk along Flourish Heights from Phase I, noting the community benefit of connecting the existing sidewalk to the newly proposed subdivision. The Town Planner clarified that the applicable zoning regulations require a minimum of one multi-use public access path to connect the proposed subdivision to the Town's active transportation network. Consequently, the developer will be required to install a multi-use pathway or a continuous sidewalk link to satisfy this connection requirement.

Finally, the Planning and Heritage Committee acknowledged that this is a preliminary plan and that the applicant will be required to provide additional, detailed information as the process moves forward.

**9. OFFICIAL PLAN, POLICY AND BYLAW**

**10. OTHER BUSINESS**

**11. HERITAGE SUB-COMMITTEE**

- a) Heritage Sub-Committee Meeting Minutes, May 26, 2026 @ 4:30 p.m.

**12. DATE OF NEXT MEETING**

- a) Monday, June 29, 2026 @ 12:00 pm (noon)

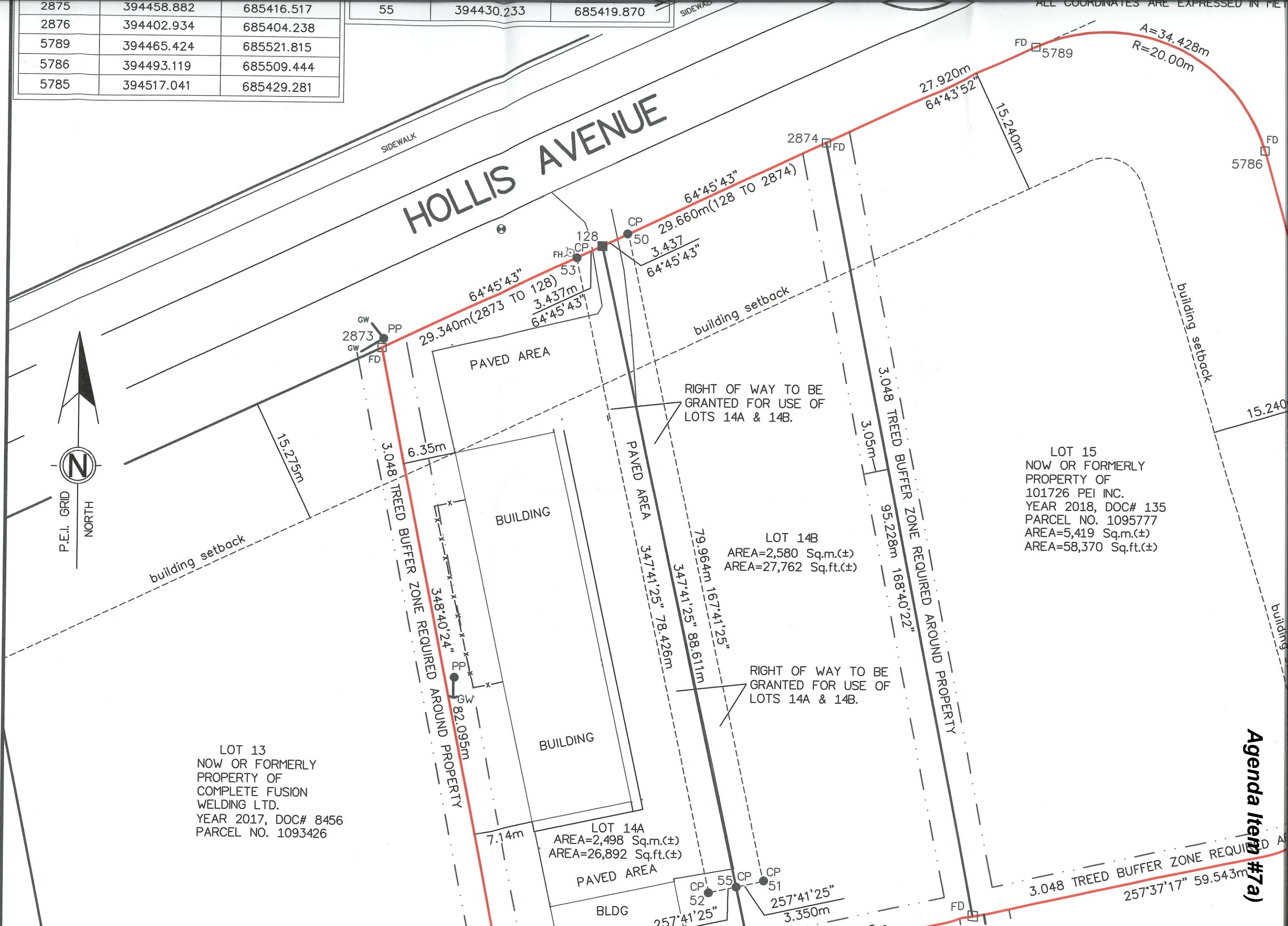
**13. ADJOURNMENT**

- a) The meeting was adjourned at 1:11 p.m.

2875	394458.882	685416.517
2876	394402.934	685404.238
5789	394465.424	685521.815
5786	394493.119	685509.444
5785	394517.041	685429.281

55	394430.233	685419.870
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ALL COORDINATES ARE EXPRESSED IN METERS



PLAN NO. 847C CM

WIDTH: 150'-0"  
DEPTH: 40'-0"

MAIN FLOOR AREA: 6000 sq.ft. (557.4 sq.m)

- UNIT #1: 1240 sq.ft.
- UNIT #2: 1230 sq.ft.
- UNIT #3: 2290 sq.ft.
- UNIT #4: 620 sq.ft.
- UNIT #5: 620 sq.ft.

TOTAL BUILDING AREA: 6000FT<sup>2</sup> (557.4 m<sup>2</sup>)

NBCC 1.3.3.3(b) PART 9 APPLIES.

OCCUPANCY: GROUP D- BUSINESS & PERSONAL SERVICES

LIST OF DRAWINGS

- S1. SITE PLAN
1. COVER PAGE
2. FRONT & RIGHT ELEVATION
3. REAR & LEFT ELEVATION
4. MAIN FLOOR PLAN
5. SECTION A-A
6. SECTION B-B
7. FOUNDATION PLAN

D OCCUPANCY, 2 BUILDINGS

**NOTES:** SPATIAL SEPARATION. 3.2.3.1

① EXPOSING BUDG FACE **\*EAST & WEST WALLS** FACING BOUNDARY LINES  
 45.72m x 3.05m = 139.45m<sup>2</sup>  
 RATIO: 1:15 OVER 10:1  
 LIMITING DISTANCE = 6m  
 3.2.3.1.B= 39% PERMITTED AREA OF UNPROTECTED OPENINGS

② **\*SOUTH FACING WALLS.**  
 EXPOSING BUILDING FACES= 12.19m x 3.05m= 37.18m<sup>2</sup>  
 LIMITING DISTANCE= 9.24m/2= 4.62m  
 3.2.3.1.B UNPROTECTED OPENING LIMITS=40%  
 3.2.3.7. MIN. CONSTRUCTION REQUIREMENTS:  
 - >25 to 50% MAXIMUM AREA OF UNPROTECTED OPENINGS PERMITTED  
 - MINIMUM REQUIRED FIRE-RESISTANCE RATING = 45 MINUTES EXTERIOR WALLS.  
 - NON-CONBUSTIBLE CLADDING REQUIRED



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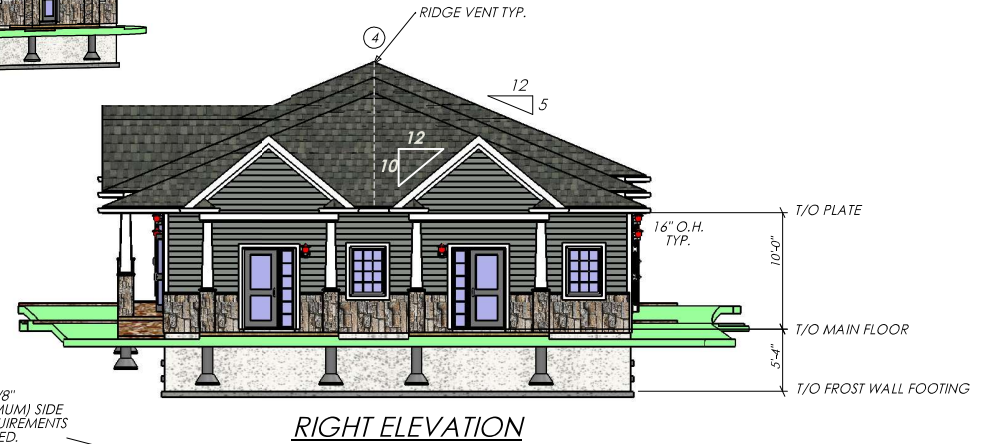
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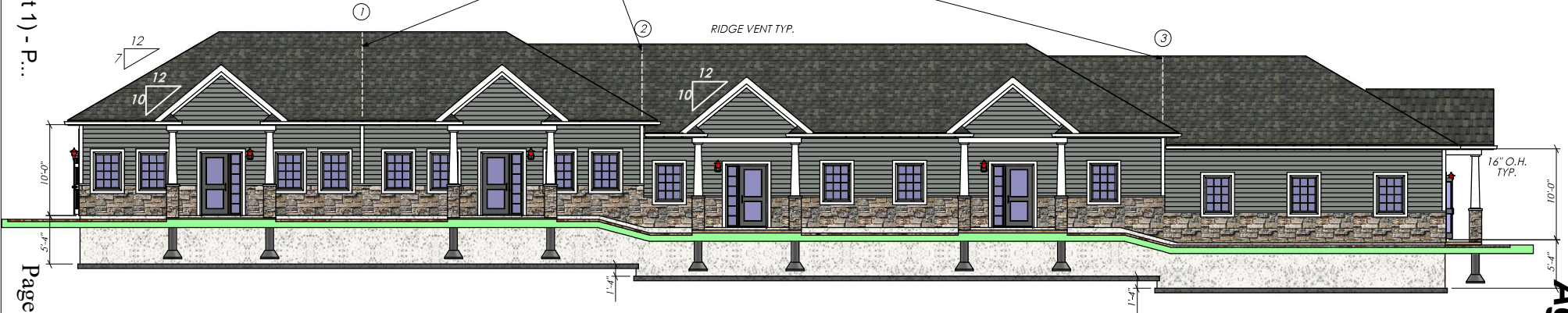
Construction shall comply with the current edition of the National Building Code

ARCHITECTURE 360 INC.  
NORTH RUSTICO HOME CENTRE

PROJECT: FMT FRANCIS THERIAULT- 5 UNIT  
TITLE: 1. COVER PAGE  
SCALE: N.T.S  
DATE: AUG 27/ 2017  
DRAWN BY: 3D HOME DESIGN  
REVISIONS: 5. MAY 22/ 2018



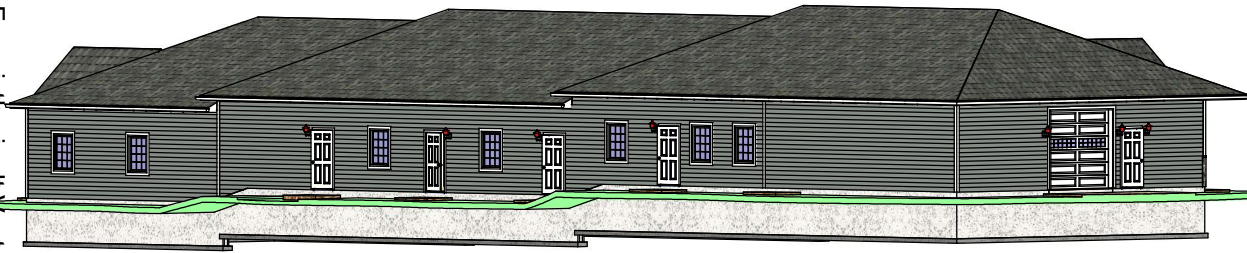
NOTE: ALLOW FOR A SINGLE LAYER OF 5/8" TYPE X GYPSUM BOARD ON ONE (MINIMUM) SIDE OF CENTRE TRUSS FOR FIRESTOP REQUIREMENTS ALL JOINTS TO BE TAPED & SEAM FILLED.



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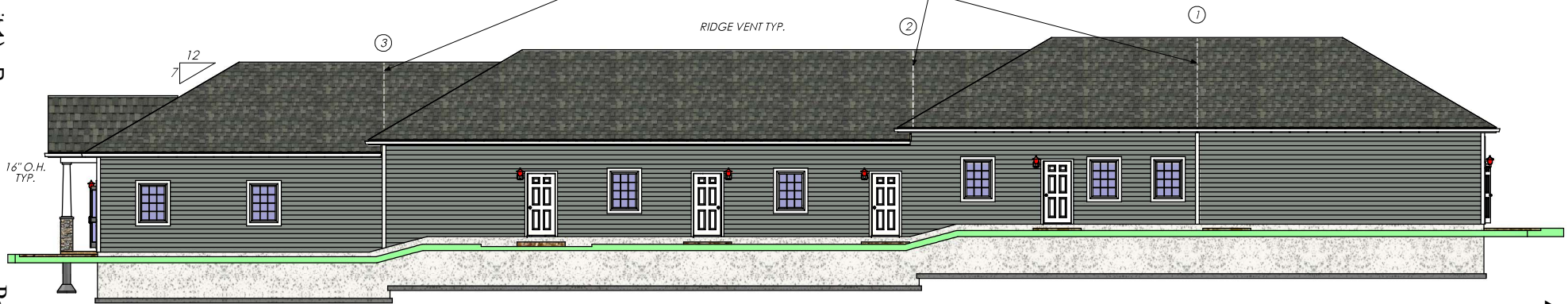
ARCHITECTURE 360 INC.  
 NORTH RUSTICO HOME CENTRE  
 PROJECT: FMT FRANCIS THERIAULT- 5 UNITS  
 TITLE: 2. FRONT & RIGHT ELEVATION  
 SCALE: 3/32" = 1'-0"  
 DATE: AUG 27/ 2017  
 DRAWN BY: 3D HOME DESIGN  
 REVISIONS: 5. MAY 22/ 2018

Agenda Item #7a)



LEFT ELEVATION

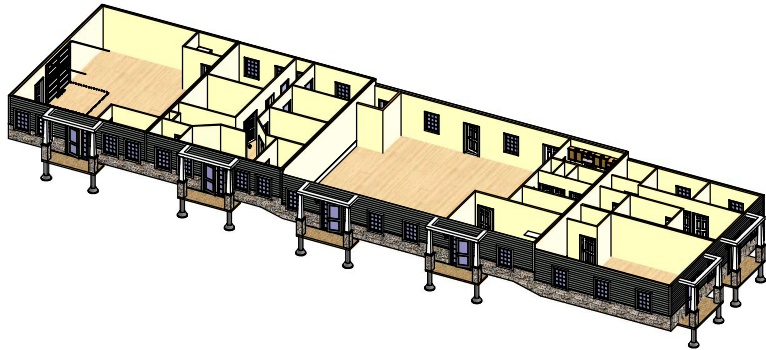
NOTE: ALLOW FOR A SINGLE LAYER OF 5/8" TYPE X GYPSUM BOARD ON ONE (MINIMUM) SIDE OF CENTRE TRUSS FOR FIRESTOP REQUIREMENTS ALL JOINTS TO BE TAPED & SEAM FILLED.



REAR ELEVATION

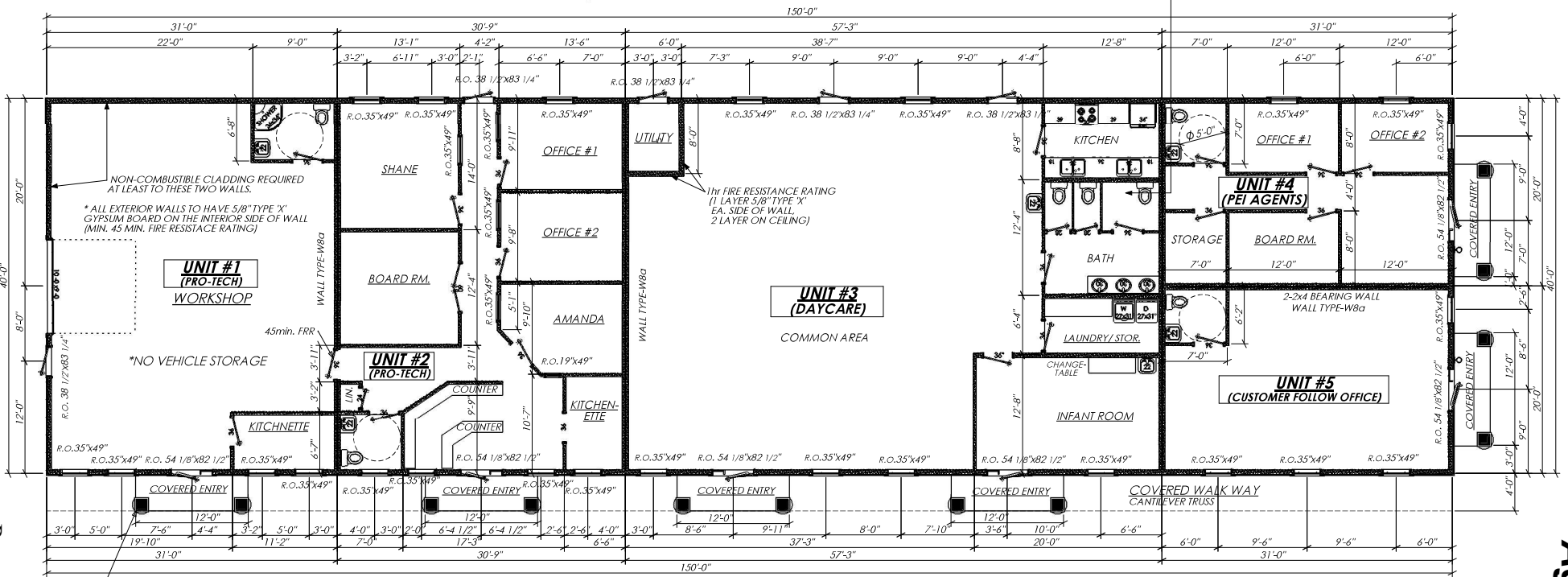
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ARCHITECTURE 360 INC.  
 NORTH RUSTICO HOME CENTRE  
 PROJECT: FMT FRANCIS THERIAULT -5 UNIT  
 TITLE: 3. REAR & LEFT ELEVATION  
 SCALE: 3/32" = 1'-0"  
 DATE: AUG 27/ 2017  
 DRAWN BY: 3D HOME DESIGN  
 REVISIONS: 5. MAY 22/ 2018



**WALL TYPE ( W8a) (1hr FRR, 52 STC)**

- TWO ROWS 2x4 WOOD STUDS EACH SPACED 24" o.c. STAGGERED ON COMMON 2x6 PALTE
- 3 1/2" THICK ABSORPTIVE MATERIAL ON ONE SIDE OF STUD CAVITY
- 1 LAYER 5/8" TYPE 'X' GYPSUM BOARD ONE SIDE
- 2 LAYERS 5/8" TYPE 'X' GYPSUM BOARD OTHER SIDE



\* NOTE: ALL FIRE-RATED DOORS ARE TO BE INSTALLED IN FRAMES OF EQUIVALENT RATING & EQUIPPED WITH DOOR CLOSERS

**SLAB-ON GRADE MAIN FLOOR PLAN - 6000 SQ.FT.**

- UNIT #1: 1240 sq.ft./- UNIT #2: 1230 sq.ft./- UNIT #3: 2290 sq.ft.
- UNIT #4: 620 sq.ft. /- UNIT #5: 620 sq.ft.

NOTE: EXTERIOR DOORS AND WINDOWS ARE RSO SIZES OF ALLSCO IF OTHER COMPANY IS USED PLEASE CONFIRM RSO'S. INTERIOR DOORS ARE 6'-8" HEIGHT.

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ARCHITECTURE 360 INC.  
NORTH RUSTICO HOME CENTRE

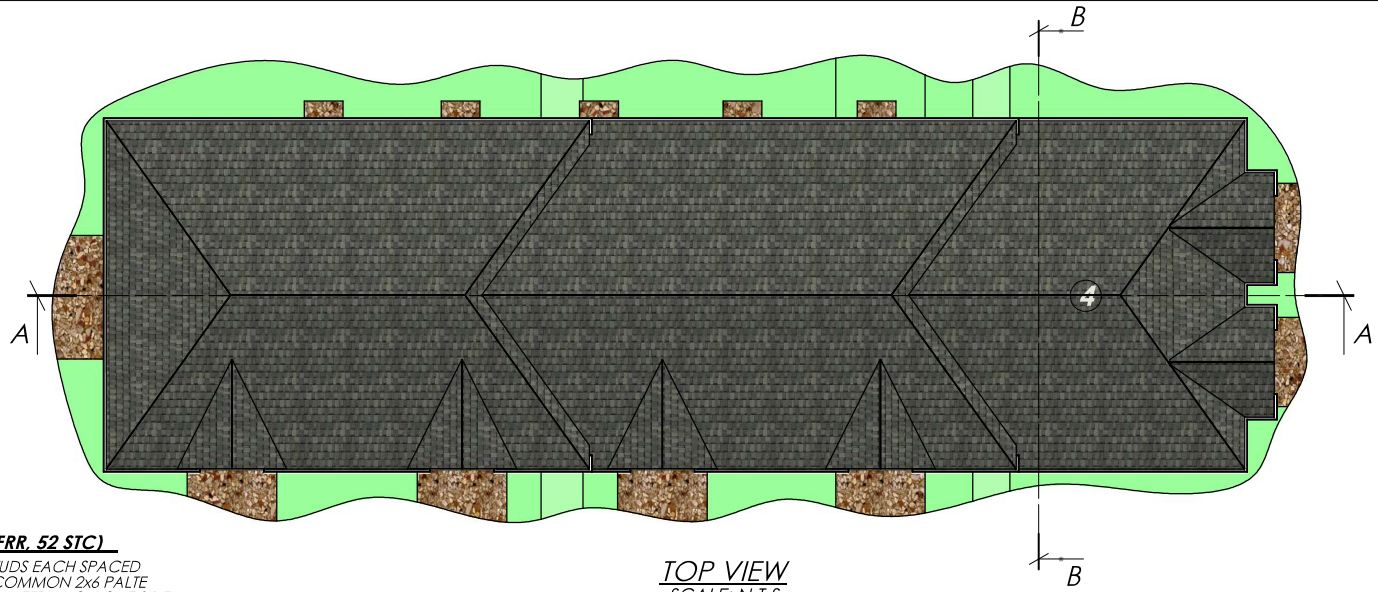
PROJECT: FMT FRANCIST THERIAULT- 5 UNIT

SCALE: 3/32" = 1'-0"

DATE: AUG 27/ 2017

DRAWN BY: 3D HOME DESIGN

REVISIONS: 5. MAY 22/ 2018

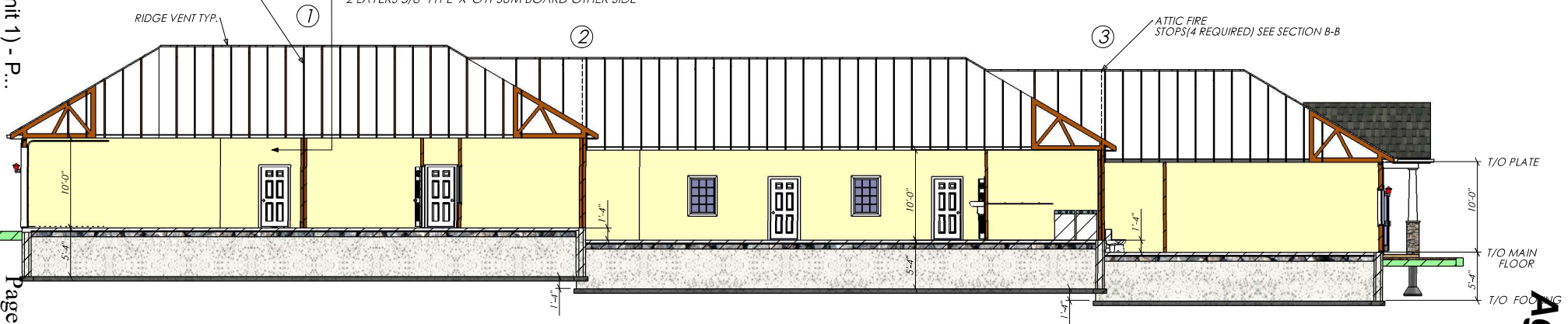


TOP VIEW  
SCALE: N.T.S

**WALL TYPE ( W8a) (1hr FRR, 52 STC)**

- TWO ROWS 2x4 WOOD STUDS EACH SPACED 24" o.c. STAGGERED ON COMMON 2x6 PALTE
- 3 1/2" THICK ABSORPTIVE MATERIAL ON ONE SIDE OF STUD CAVITY
- 1 LAYER 5/8" TYPE 'X' GYPSUM BOARD ONE SIDE
- 2 LAYERS 5/8" TYPE 'X' GYPSUM BOARD OTHER SIDE

NOTE: ALLOW FOR A SINGLE LAYER OF 5/8" TYPE 'X' GYPSUM BOARD ON ONE (MIN.) SIDE OF CENTRE TRUSS FOR FIRESTOP REQUIREMENTS ALL JOINTS TO BE TAPED & SEAM FILLED



SECTION A-A

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ARCHITECTURE 360 INC.  
 NORTH RUSTICO HOME CENTRE  
 PROJECT: FMT FRANCIS THERIAULT- 5 UNIT  
 TITLE: 5. SECTION A-A  
 SCALE: 3/32" = 1'-0"  
 DATE: AUG 27/ 2017  
 DRAWN BY: 3D HOME DESIGN  
 REVISIONS: 5. MAY 22/ 2018

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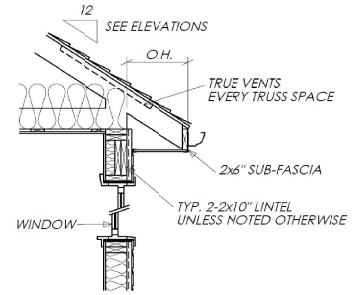
**TYP. TRUSS ROOF CONSTRUCTION**

- 25 YEAR FIBERGLASS SHINGLES
- EAVE PROTECTION MIN.36" WIDE & 12" FROM INSIDE FACE OF STUD
- 1/2" OSB SHEATHING & 'H' CLIPS
- PRE-ENGINEERED TRUSS @24"O.C. (SEE DESIGN BY OTHERS)
- R40 BLOWN-IN INSULATION
- 1X4 STRAPPING
- 6 mil POLY V.B.
- 5/8" TYPE X GYPSUM BOARD

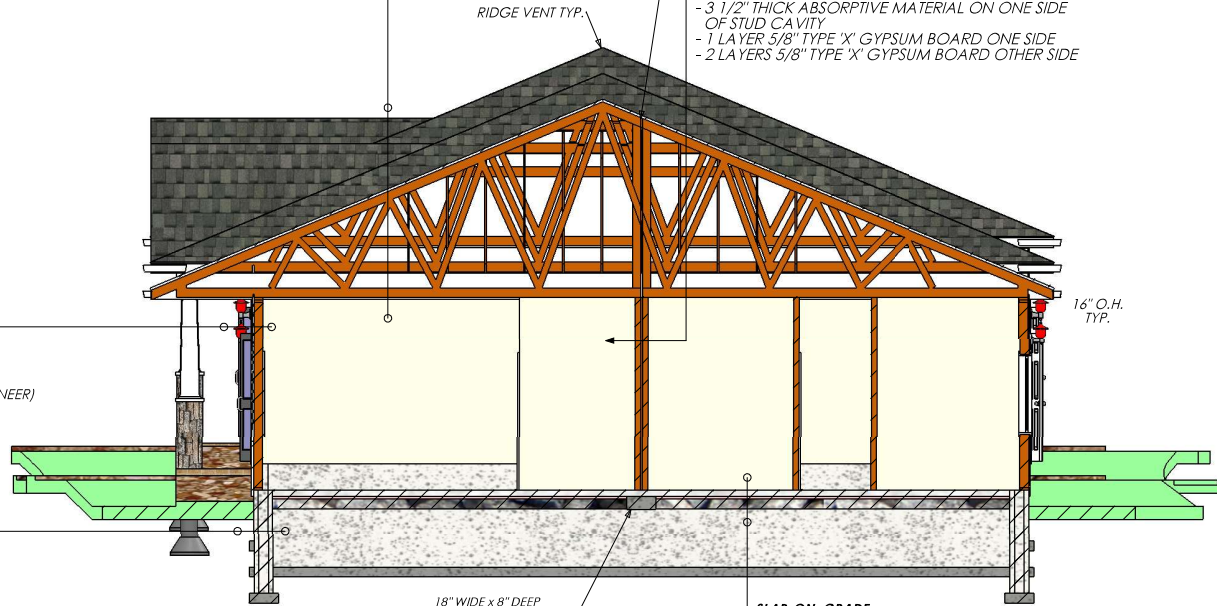
NOTE: ALLOW FOR A SINGLE LAYER OF 5/8" TYPE X GYPSUM BOARD ON ONE SIDE OF CENTRE TRUSS FOR FIRESTOP REQUIREMENTS. ALL JOINTS TO BE TAPED AND SEAM FILLED.

**WALL TYPE ( W8a) (1hr FRR, 52 STC)**

- TWO ROWS 2x4 WOOD STUDS EACH SPACED 24" o.c. STAGGERED ON COMMON 2x6 PALTE
- 3 1/2" THICK ABSORPTIVE MATERIAL ON ONE SIDE OF STUD CAVITY
- 1 LAYER 5/8" TYPE 'X' GYPSUM BOARD ONE SIDE
- 2 LAYERS 5/8" TYPE 'X' GYPSUM BOARD OTHER SIDE



**EAVE & LINTEL DETAIL**  
(SCALE: N.T.S.)



**TYPICAL EXTERIOR WALL:**

- FINISHED SPECIFIED BY OWNER
- HOUSE WRAP
- 1/2" OSB SHEATHING
- 2x6 STUDS @ 16" O.C. (UNLESS SPECIFIED BY STRUCTURAL ENGINEER)
- R20 BATT INSULATION
- 6 mil POLY V.B.
- 5/8" TYPE X GYPSUM BOARD

**TYP. FROST WALL:**

- 1/2" x 8" ANCHOR BOLTS @4' O.C.
- 2x6 P.T. SILL PLATE
- SILL GASKET
- 11 3/4" X 5'-4" ICF WALL
- 1 1/2" FOUNDATION PLUS
- 8" X 18" CONCRETE FOOTING (OPTIONAL FOOTING KEY)

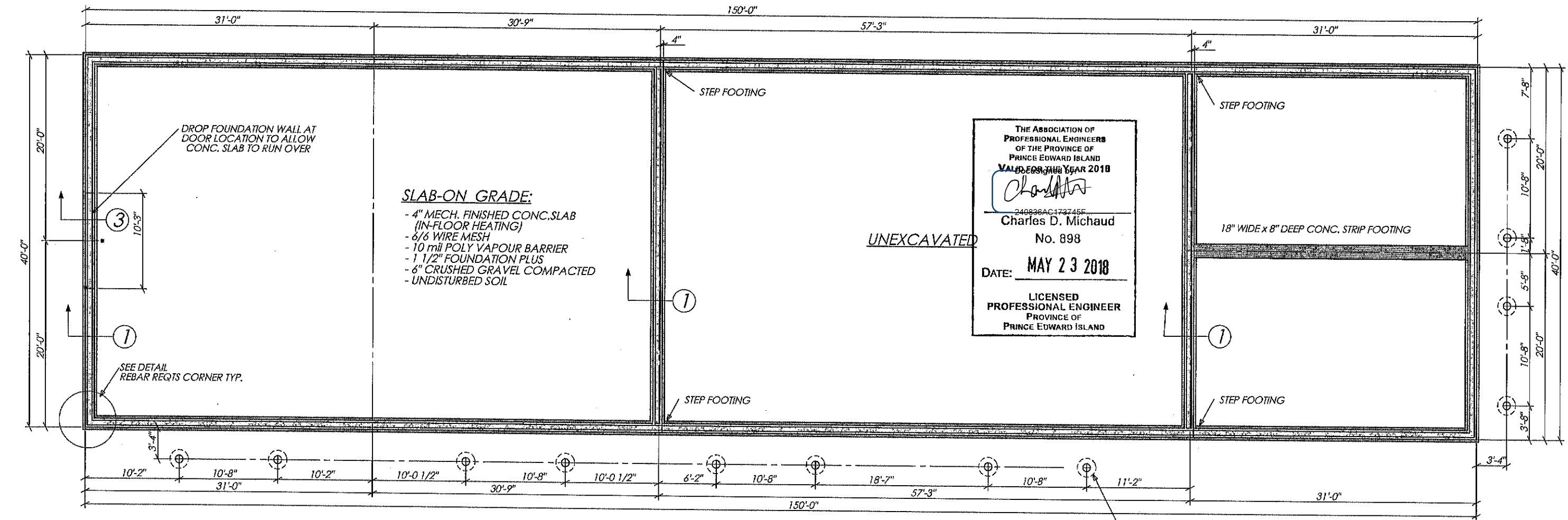
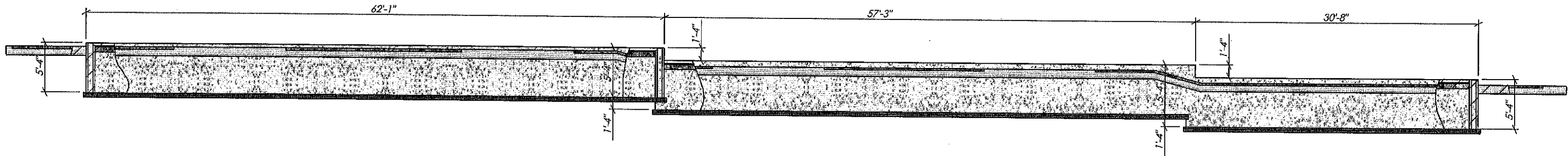
**SLAB-ON GRADE:**

- UNDISTURBED SOIL
- 6" CRUSHED GRAVEL COMPACTED
- 1 1/2" FOUNDATION PLUS
- 10 mil POLY VAPOUR BARRIER
- #6 WIRE MESH
- 4" MECH. FINISHED CONC. SLAB (IN-FLOOR HEATING)

**SECTION B-B**

ARCHITECTURE 360 INC.  
NORTH RUSTICO HOME CENTRE  
PROJECT: FMT FRANCIS THERIAULT - 5 UNIT  
TITLE: 6. SECTION B-B  
SCALE: N.T.S  
DATE: AUG 27/ 2017  
DRAWN BY: 3D HOME DESIGN  
REVISIONS: 5. MAY 22/ 2018

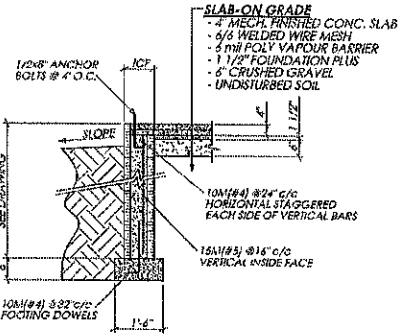
\* CONCRETE SLAB  
TYPICAL SAWCUT 1" DEEP  
MAX. SPACING 20 FT EACH DIRECTION



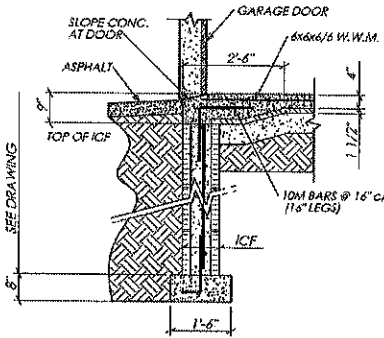
THE ASSOCIATION OF  
PROFESSIONAL ENGINEERS  
OF THE PROVINCE OF  
PRINCE EDWARD ISLAND  
VALID EXPIRES YEAR 2018  
*Charles D. Michaud*  
240938AC173745E  
Charles D. Michaud  
No. 898  
DATE: MAY 23 2018  
LICENSED  
PROFESSIONAL ENGINEER  
PROVINCE OF  
PRINCE EDWARD ISLAND

**SLAB-ON GRADE:**  
- 4" MECH. FINISHED CONC. SLAB  
(IN-FLOOR HEATING)  
- 6/6 WIRE MESH  
- 10 mil POLY VAPOUR BARRIER  
- 1 1/2" FOUNDATION PLUS  
- 6" CRUSHED GRAVEL COMPACTED  
- UNDISTURBED SOIL

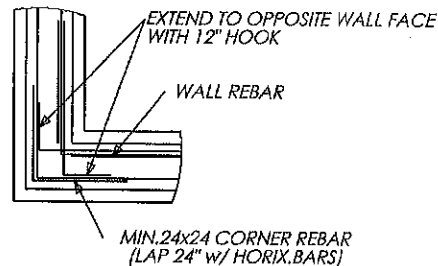
**FOUNDATION PLAN**



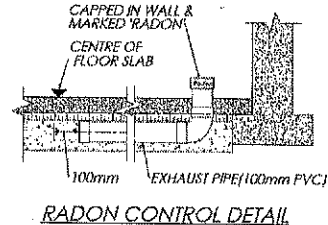
① TYP. FROST WALL (ICE) DETAIL  
(SCALE: N.T.S.)



③ GARAGE SLAB DETAIL  
@ O/H DOOR  
(SCALE: N.T.S.)



**TYP. CORNER**



**RADON CONTROL DETAIL**

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ARCHITECTURE 360 INC.  
NORTH RUSTICO HOME CENTRE  
PROJECT: FMT FRANCIS THERIAULT - 5 UNIT  
TITLE: 7. FOUNDATION PLAN  
SCALE: 3/32" = 1'-0"  
DATE: AUG 27/ 2017  
DRAWN BY: 3D HOME DESIGN  
REVISIONS: 5. MAY22/ 2018

**Date: 22<sup>nd</sup> May, 2026**

**To Whom It May Concern,**

**I am writing in support of the business license application for my auto detailing business, REFINED AUTO SPA.**

**Our business specializes in professional automotive detailing services designed to maintain and restore vehicle appearance and cleanliness. The services we provide include:**

- **Interior Detailing**
- **Exterior Detailing**
- **Ceramic Coating**
- **Engine Bay Detailing**
- **Headlight Restoration**

**We are committed to providing high-quality, professional, and reliable services to our customers while operating in a safe and responsible manner.**

**Our proposed hours of operation are:**

**Monday – Friday: 8:00 AM – 6:00 PM**

**Saturday: 9:00 AM – 5:00 PM**

**Sunday: Closed**

**We respectfully request approval of our business license application so we may continue to serve the community and operate our business professionally.**

**If any additional information is required, please feel free to contact me directly.**

**Sincerely,**

**Raj Patel**

**Owner and operating manager**

**Refined Auto Spa.**

**Public Meeting**  
**VERBATIM MINUTES**

**FILE:** DP065-26 - Francistheriault Ventures Inc – 26 Hollis  
Special Permit Use

**DATE:** June 23, 2026

**TIME:** 7:00 p.m.

**PLACE:** Bunbury & Southport Rooms

**CHAIR:** Councillor Jeff MacDonald

**RECORDING LINK:** <https://www.youtube.com/live/iyPXnOzdJio?si=bkSZPEX6LVlceLPE>

**Chair Councillor, Jeff MacDonald**

Presentations are limited to 5 minutes for individuals or ten minutes for groups. At this time, I'd like to hand the floor over to our Director of Planning, Mr. Dale McKeagan, for the town's presentation of this application.

**Director of Planning, Development and Heritage Department, Dale McKeagan**

Thank you, Chair. I appreciate that. As you can see on the screen there, this is a shot of the location, the site plan in the orange and outlined in the yellow is the building where the power detailing bay is located. So, what I'll go through, I'll go through the application process here and what's going on. So an application has been received from Francis Theriault Ventures Inc. to operate an automobile or an automotive detailing business at 26 Hollis Avenue PID 1093814.

This property is located within the Business Park (M2) Zone and all automotive related uses listed within this zone are Special Permit Uses. Under section 8.1 6.1 prior to the issuance of a development for a special permit use council shall ensure that a public meeting be held to allow residents to provide their input on the proposed development.

When reviewing an application for a special permit use, Council considers the following: 1) Whether the development is appropriate and complements the scale of the existing adjacent development. 2) the development has a significant buffer slash separation from adjacent use properties. And 3) whether the proposed development will cause undue

hardship to surrounding property owners due to the excessive noise, traffic, congestion, hours of operation, or any other potential nuisance.

Notification of this proposed special permit use development application in the following manner. Letters were sent to 4 adjacent landowners that are located within 61 meters or two hundred feet radius of the subject property. Notice was also posted on the town's Facebook page. So that's the that's the information that attaches to the applications. So what I'll do, for instance, I'll turn the presentation over to you or Raj go through what you're what you're proposing here.

### **Chair Councillor, Jeff MacDonald**

What I'm going to ask you to do probably just easiest to approach this microphone right here

### **Raj Patel**

Hello everyone so my name is Raj and I have a little background in mechanic my dad is a mechanic and I wanted to open this auto detailing business because I think Stratford is the most growing town in Prince Edward Island and I think there are more family-oriented people and residential area in Stratford and I wanted to provide base car service possible. I wanted to include services such as interior detailing, exterior detailing, engine bay cleaning, then ceramic coating. And we might add services such as like PPF, window tinting later on as we grow as a business. We are located at 26 Hollis Avenue as we think it has a nice area that has at least 2 or 3 cars fit in the area in the bay. And our hours operation will be 9 a.m. to 6 p.m., Monday to Saturday.

For noise cancellation, because we have children daycare right in front of us, we are using soundproof wall. Francis might tell you about that. We are also using drainage system. So, all the chemicals and everything goes separate from the gutter line. Yeah, if you have any other question, please let us know.

### **Chair Councillor, Jeff MacDonald**

All right, thank you gentlemen I will open the floor to any comments or questions or presentations from any member of the public. I actually have a few questions, if that's okay.

And, you know, Mr. Director, if you feel that you're more appropriate to answer them, please don't hesitate. Okay, so the building is basically a number of units in a long fashion. So, the contemplated area in your building for this auto detailing is in the back?

### **Francis Theriault**

Yes.

**Chair Councillor, Jeff MacDonald**

When I looked at the photographs of the building and the site plan, I couldn't quite tell So are there currently any bay doors present in the There is?

**Francis Theriault**

There is one in the unit number one in the back there. They have a large door

**Chair Councillor, Jeff MacDonald**

Okay, there's like a bay door all right okay and so how many parking places will be devoted to this specific development?

**Francis Theriault**

We have 2 uh parking spots on the back that are allowed for tenants plus the full back. Is actually where they could park. So, if we go back to the original design map. You see the storage unit at the back? So that full space is actually extra parking space that they could use. And there's also 2 parking spots exactly where the arrow is.

**Chair Councillor, Jeff MacDonald**

Okay. So, the space in behind, are they marked parking places? Are there lines painted?

**Francis Theriault**

We have 5 storage units. It's not really storage units that we're renting. It's more for tenants to use. The daycare is using 2 on the right-hand side, the first one at the entrance, and the other 3 will be just for the gentleman Raj to use. So, we're not planning to have any more traffic there.

**Chair Councillor, Jeff MacDonald**

Okay, so interior, exterior detailing, I understand. Engine bay cleaning, okay, that's slightly more of a concern. And then you mentioned window tinting potentially, and one other thing, I couldn't quite catch what that was.

**Raj Patel**

It's a paint protection film, so it's a PPF.

**Chair Councillor, Jeff MacDonald**

Okay, is that like a spray-on or what is that?

**Raj Patel**

So that's a film that we put on the car.

**Chair Councillor, Jeff MacDonald**

Okay, great. And is it contemplated that all of your work would be done within the bay itself?

**Raj Patel**

Yeah, within the bay.

**Chair Councillor, Jeff MacDonald**

Okay. All right. And I understand, Mr. McKeagan, that we received no correspondence from any of the people who were provided with notification?

**Director of Planning, Development and Heritage Department, Dale McKeagan**

Not at this point.

**Chair Councillor, Jeff MacDonald**

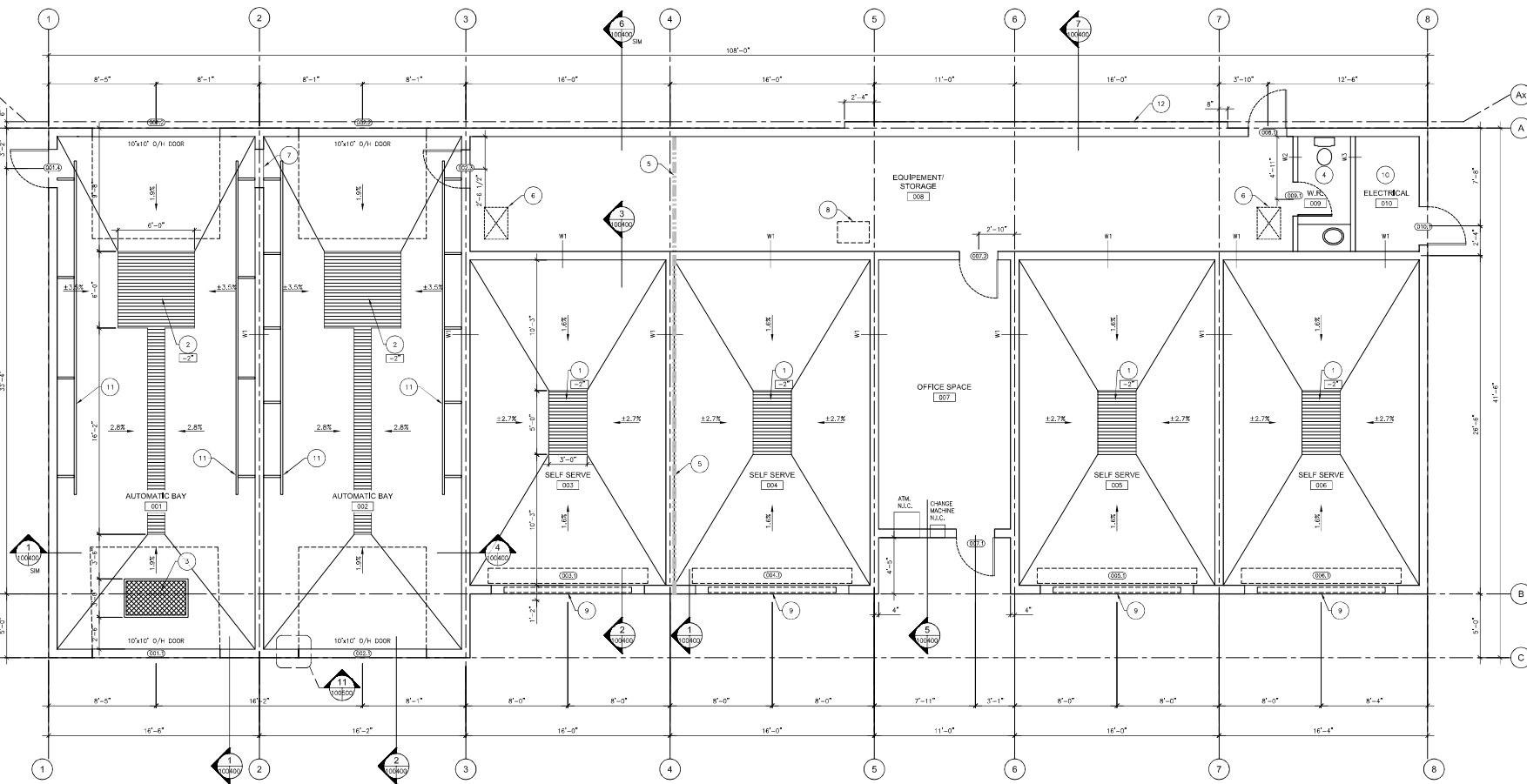
And nothing posted underneath the notice posted to the town's Facebook page. Okay. So, Mr. McKeagan, I'll just ask you, is there anything with respect to, you know, the test that is defined for a special permit use, a use that may be problematic within the zone? Is there anything that you can identify that these individuals might need to implement or things that Council needs to be aware of?

**Director of Planning, Development and Heritage Department, Dale McKeagan**

I think the main thing to point out in this application is that the building is already existing so that's a helpful thing right there because you're not coming in and trying to build something to make it fit and that type of thing. It's already existing so it'll be leased out. The other thing about the building and it was mentioned there will need to be a floor drain in there and a separator so that's the key thing and that was discussed already. When we were there last time last month and back there seems to be ample room there for parking and as well as on the side on the front of the building from that perspective. So, I don't see any issues that really are glaring that could be problematic at this point in time. So, I think one of the keys is going to be easy operation and making sure everything's tidy and clean around the area because that's the first thing people notice. So, we don't want to get any complaints or that kind of stuff or have to call you and talk to you about it. But it's pretty standard operation. So, I'll leave it at that.

**Chair Councillor, Jeff MacDonald**

Thank you, sir. Any other comments or questions or presentations? I'll just confirm whether there's anything coming in online. I don't believe so. Thank you. All right. So, I'll just inform everybody of our next steps. Written comments can be submitted until 4:30 p.m. on Friday, June 26th, 2026, by email to [prough@townofstratford.ca](mailto:prough@townofstratford.ca) or hand delivered to the Town Center Planning Department. Planning Development Heritage Planning Board will meet for a discussion and make a recommendation to Council on Monday, June 29, 2026. Council will mee then on July 8, 2026, to make a decision on the merits of the application. I would declare this meeting to be adjourned. Thank you.



FLOOR PLAN  
SCALE: 1/4" = 1'-0"

GENERAL NOTES	FLOOR PLAN KEY NOTES	INTERIOR WALL ASSEMBLIES	
<p>1. ARCHITECTURAL DRAWINGS SHALL BE IN CONJUNCTION WITH THE CIVIL, STRUCTURAL, MECHANICAL AND ELECTRICAL DRAWINGS. IN THE EVENT OF A DISCREPANCY, THE MOST STRINGENT REQUIREMENT SHALL APPLY.</p> <p>2. ALL CONSTRUCTION SHALL BE IN COMPLIANCE WITH THE 2020 EDITION OF THE NATIONAL BUILDING CODE OF CANADA. ALL WORK SHALL BE IN COMPLIANCE WITH THE PROVINCIAL OCCUPATIONAL HEALTH AND SAFETY REGULATIONS. COMPLY WITH ALL LOCAL, MUNICIPAL, AND PROVINCIAL BYLAWS AND REGULATIONS.</p> <p>3. TRADE CONTRACTORS SHALL ASSUME FULL RESPONSIBILITY FOR THE CORRECT INSTALLATION OF ALL EXTERIOR FINISHES &amp; WEATHER PROOFING. THE DRAWINGS INDICATE ONLY THE GENERAL INTENT. PROVIDE ADDITIONAL MEMBRANES, FOAM INSULATION, FLASHINGS, TRIMS, CAULKING ETC. AS REQUIRED TO PROVIDE A DURABLE WEATHER TIGHT ASSEMBLY.</p> <p>4. ALL DOORS SHALL BE INSTALLED AS PER MANUFACTURER'S INSTRUCTIONS AND AS REQUIRED TO ESTABLISH WARRANTY COVERAGE. REFER TO DETAIL SHEET FOR COMMON DETAILS RELATED TO THE INTEGRATION OF THE AIR BARRIER.</p> <p>5. PRE-ENGINEERED BEAMS &amp; ROOF SYSTEMS SHALL BE DESIGNED BY THE SUPPLIER. SHOP DRAWINGS SHALL BE SUBMITTED FOR PRE-ENGINEERED ROOF TRUSS SYSTEMS &amp;/OR THE STAMP OF A PROFESSIONAL ENGINEER REGISTERED TO PRACTICE IN PE. THE CONSULTANT WILL REVIEW ONLY THE GENERAL PARAMETERS. IT IS THE RESPONSIBILITY OF THE TRADE CONTRACTOR TO COORDINATE THE SHOP DRAWINGS WITH THE STRUCTURAL AND ARCHITECTURAL DRAWINGS.</p> <p>6. FIRE STOP AT ALL OPENINGS WHICH PENETRATE FLOORS OR FIRE SEPARATIONS/RATINGS. ALL PENETRATIONS THROUGH FIRE SEPARATIONS/RATINGS SHALL BE SEALED WITH FIRE-RATED SEALANT WITH THE SAME OR BETTER RATING AS THE PENETRATED ASSEMBLY.</p>	<p>1. PENETRATIONS (PLUMBING, ELECTRICAL, TELEPHONE/CABLE/COMPUTER CONDUIT, ETC.) THROUGH ALL OR PART OF ANY FIRE SEPARATION SHALL BE FIRE STOPPED ON BOTH SIDES OF VERTICAL FIRE SEPARATIONS AND ON THE LOWER SIDE OF FLOOR AND CEILING ASSEMBLIES. ENSURE PROPER SUPPORT IS PROVIDED FOR FIRE STOPPING. GYPSUM PLASTER, INSULATION OR FOAM ARE NOT APPROVED FIRE-STOP SYSTEMS.</p> <p>2. ALL RECESSED LIGHT FIXTURES IN FIRE RATED CEILING ASSEMBLIES TO BE BOXED IN WITH 2 LAYERS OF TYPE "X" DRYWALL, TAPED AND FILLED OR HAVE RATED BACK BOXES.</p> <p><b>WALL, ROOF AND FLOOR TYPES</b></p> <p>1. WALLS, FLOORS AND ROOFS NOT IDENTIFIED WITH A SPECIFIED "TYPE" OR FINISH SYMBOL, SHALL BE THE SAME AS THE ADJACENT WALL, FLOOR OR ROOF CONSTRUCTION.</p> <p>2. ON MANY OF THE BUILDING SECTIONS, THE FIRST OCCURRENCE OF A WALL OR FLOOR TYPE IS TAGGED. ALL SIMILAR ADJACENT OR STACKED ASSEMBLIES SHALL BE THE SAME AS THE REFERENCED ASSEMBLY U.N.O.</p> <p>3. 3'-0" X 5'-0" X 4'-0" DEEP FLOOR DRAIN WITH PAINTED STEEL BAR GRATING AND PERIMETER ANGLE INTEGRATED INTO CONCRETE.</p> <p>4. SUPPLY AND INSTALL THE FOLLOWING ACCESSORIES IN WASHROOM:          - 1 TOILET PAPER HOLDER          - 1 CLOTHES HOOK          - 1 SOAP DISPENSER          - 1 PAPER TOWEL DISPENSER          - 1 24"x30" MIRROR          - ALL WASH-ROOM ACCESSORIES TO BE STAINLESS STEEL FINISH AND COMMERCIAL GRADE QUALITY. VERIFY SELECTIONS WITH OWNER.</p> <p>5. PROVIDE FIRE BLOCK IN ATTIC SPACE CONSISTING OF 1/2" GYPSUM BOARD WITH JOINTS BACKED AND FILLED, EXTEND FROM CEILING GYPSUM BOARD TO U/S ROOF SHEATHING.</p> <p>6. MINIMUM 22" X 30" FIRE RATED ATTIC HATCH INSTALLED BETWEEN RAFTERS.</p> <p>7. PROVIDE 3'-0" X 7'-0" OPENING IN BLOCK WALL ON TOP OF FOUNDATION.</p> <p>8. WEED RECLAIM PIT, SEE MECHANICAL.</p>	<p>9. HEIGHT RESTRICTION BAR, SEE ELEVATIONS.</p> <p>10. ROOM CEILING TO BE (2) LAYERS OF 5/8" TYPE X GYPSUM BOARD, TO BE PROPERLY TAPED AND SEALED TO MAINTAIN FIRE RATINGS.</p> <p>11. WALL MOUNTED BRACKET &amp; RAIL SYSTEM FOR WASH EQUIPMENT.(SEE INSTRUCTIONS FOR MORE INFORMATION)</p> <p>12. ARCHITECTURAL BUILD OUT FOR SIGNAGE. (SEE SECTIONS AND DETAILS DRAWINGS)</p> <p>W1) CONCRETE BLOCK WALL          - 8" CONCRETE BLOCK. SEE STRUCTURAL FOR REINFORCING</p> <p>W2) 2X4 WALL          - 1/2" GYPSUM BOARD          - 2x4 TIMBER STUDS AT 16" O.C. C/W SOLID BLOCK 3M VERTICAL MAX.          - 1/2" GYPSUM BOARD</p> <p>W3) 2X4 WALL (FIRE RATED)          - 5/8" TYPE "X" GYPSUM BOARD          - 2x4 TIMBER STUDS AT 16" O.C.          - FILL STUD CAVITY WITH FIBERGLASS BATT INSULATION          - 5/8" TYPE "X" GYPSUM BOARD</p>	

01 ISSUED FOR PERMIT	28-05-12	DM
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PROJECT MANAGER:  
**APM MacLean**  
 OVER 40 YEARS OF CONSTRUCTION EXPERTISE

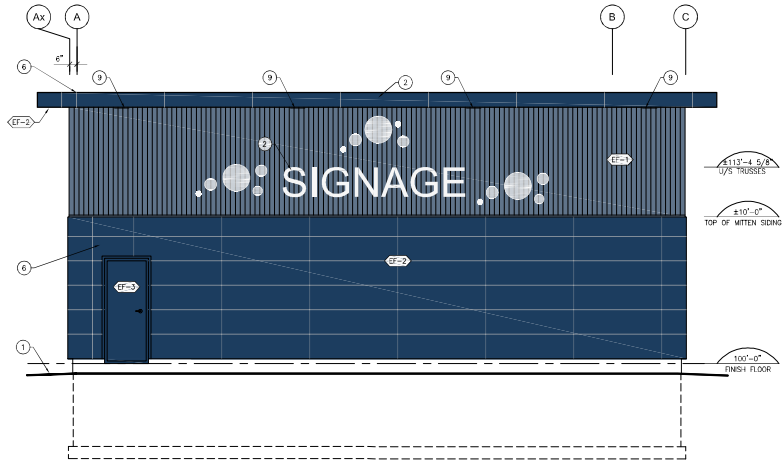
**Agenda Item #7b**  
 architecture 3

PROJECT:  
 CAR WASH  
 IRVING AVENUE  
 STRATFORD PE

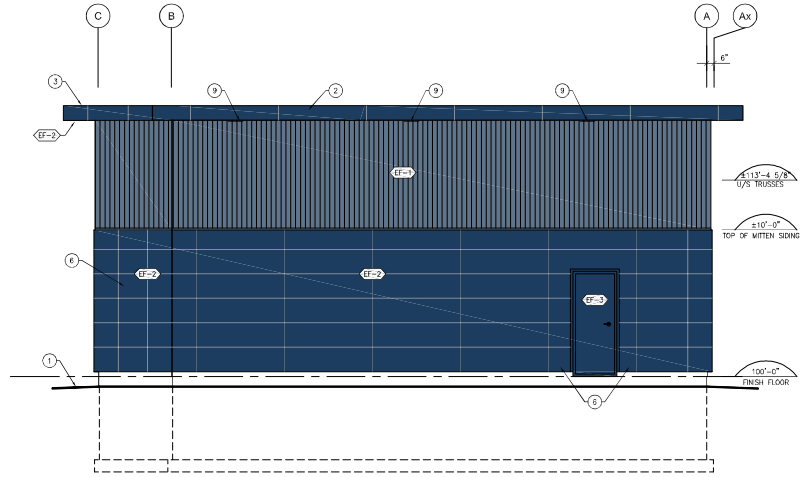
DRAWING TITLE:  
 FLOOR PLAN

DATE:	MAY, 2026
SCALE:	AS NOTED
DRAWN BY:	AM
CHECKED BY:	AM
FILE NO.:	027003-4100-01

APM  
 #7b



LEFT ELEVATION



RIGHT ELEVATION

GENERAL NOTES

- ALL SPECIFIED MATERIALS SHALL BE UNDERSTOOD AS THE STANDARD OF ACCEPTANCE. ALTERNATE MATERIALS SHALL MEET OR EXCEED THE PROPERTIES OF THE SPECIFIED MATERIALS. THE PROJECT MANAGER RESERVES THE RIGHT TO REJECT ANY ALTERNATE MATERIAL PROPOSAL.
- INSTALL ALL MATERIALS C/W ALL FLASHINGS, FASTENERS, ADHESIVES, CAULKING, BACKING, ETC. AS PER THE MANUFACTURER'S INSTRUCTIONS. PROVIDE ANY ADDITIONAL MATERIALS AS REQUIRED TO MAKE A WEATHER TIGHT BUILDING ASSEMBLY.
- THE DRAWINGS ARE INTENDED TO INDICATE ONLY THE BASIC SPECIFICATION OF CLADDING MATERIALS. PROVIDE ALL ROOFING AND CLADDING C/W REQUIRED STARTER STRIPS, TERMINATION BARS J-RIM, TRANSITION MOULDING, ETC. AS RECOMMENDED BY THE MANUFACTURER.
- ALL WORK SHALL FOLLOW THE LATEST EDITION OF THE NBCC.
- ENSURE THAT ALL MEMBRANES ARE FASTENED/ADHESIVED PROPERLY AND ARE NOT LEFT EXPOSED LONGER THAN THE PRODUCT SPECIFICATIONS WILL ALLOW.
- SPRAY FOAM ADJACENT TO ALL WINDOW AND DOOR APPLICATIONS TO FILL GAPS AT ROUGH OPENINGS (EXCEPT WHERE MANUFACTURER'S INSTRUCTIONS DO NOT PERMIT THE USE OF SPRAY FOAM). CAULK THE INSIDE AND OUTSIDE OF ANY OPENINGS.
- ENSURE THE CONTINUITY OF ALL AIR AND MOISTURE MEMBRANES.
- APPLY A 12" WIDE STRIP OF BLUESKIN VP160 (6" EACH DIRECTION) ON PLYWOOD SHEATHING AT BUILDING INSIDE AND OUTSIDE CORNERS. APPLY BLUESKIN VP160 AROUND WALL PENETRATIONS. APPLY SPECIFIED AIR BARRIER CONTINUOUS OVER BLUESKIN AT CORNERS AND PENETRATIONS.

KEY NOTES

- APPROXIMATE FINISHED GRADE. CONFIRM ALL GRADES ON SITE PLAN.
- SIGNAGE BY OTHERS, TYPICAL.
- LINE OF ROOF IN BACKGROUND.
- INSET WALL. SEE FLOOR PLANS.
- 5' x 120", CHAIN HUNG, YELLOW, HEIGHT RESTRICTION BAR C/W REFLECTIVE TAPE AND TEXT HEIGHT RESTRICTION 7'-6".
- METAL PANEL TO BE MODIFIED, (REFER TO SUPPLIERS SPECIFICATIONS FOR MODIFICATION INSTRUCTIONS).
- ATCO SEPARATION. SEE FLOOR PLAN FOR DESCRIPTION.
- 8" DIA. BOLLARD.
- 6"x12" STAINLESS STEEL SOFFIT VENT INSTALLED AT EVERY SECOND PANEL.

EXTERIOR FINISH SCHEDULE

- EF-1 VERTICAL STEEL SIDING (LIGHT BLUE)  
VIC WEST 7/8" CORRUGATED METAL SIDING RUN VERTICALLY. FINISH: LIGHT BLUE (TO BE CONFIRMED).
- EF-2 HORIZONTAL STEEL SIDING (BLUE)  
MITTEN PRE FINISHED POLYMAC METAL PANEL. FINISH: AUTUMN BLUE.
- EF-3 METAL WALL DOOR  
PAINT METAL DOOR AND FRAME TO MATCH ADJACENT SIDING.
- EF-4 MOLDING & TRIM POLYMAC (BLUE)  
NO. MOTO POLYMAC "J" TRIM.
- EF-5 STAINLESS STEEL (BLUE)  
20ga STAINLESS STEEL FLASHING.



01	ISSUED FOR PERMIT	24-05-12	DHW
02	REVISIONS:	11-06-00	DHW

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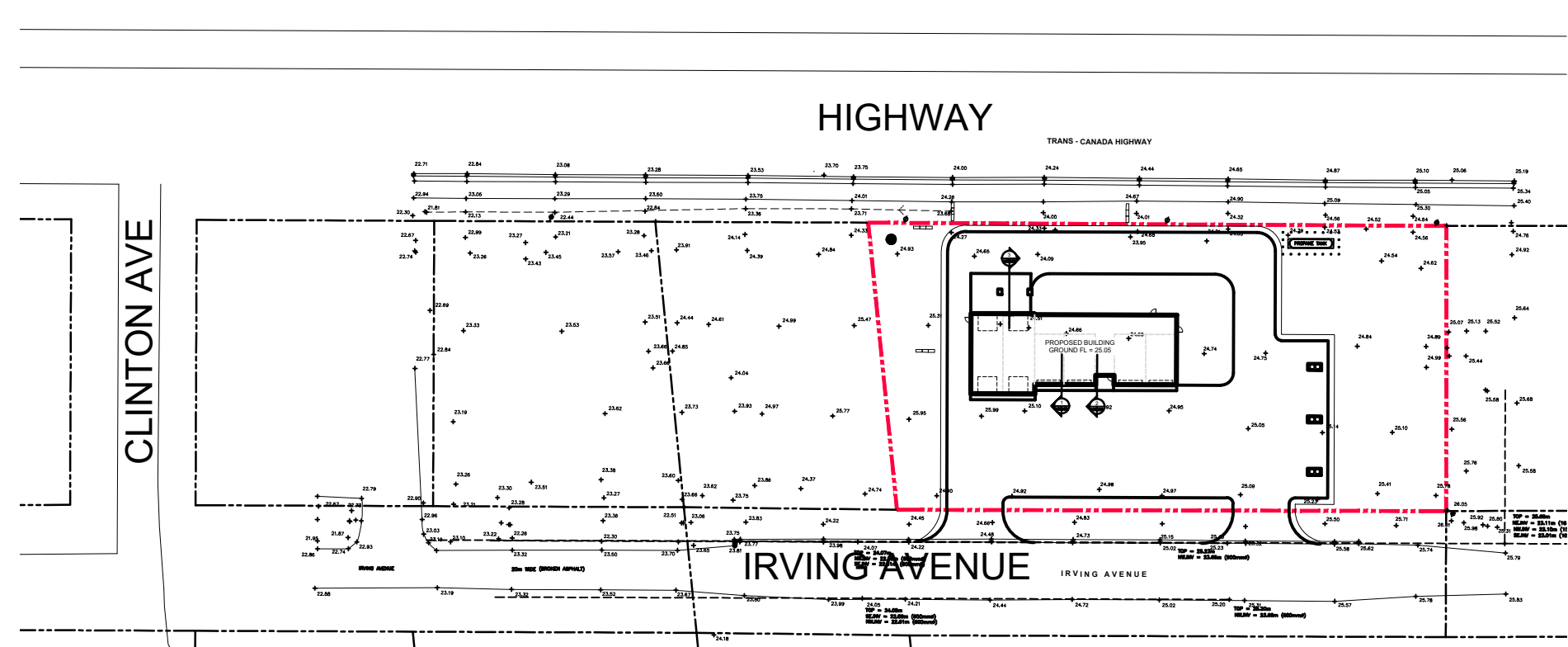
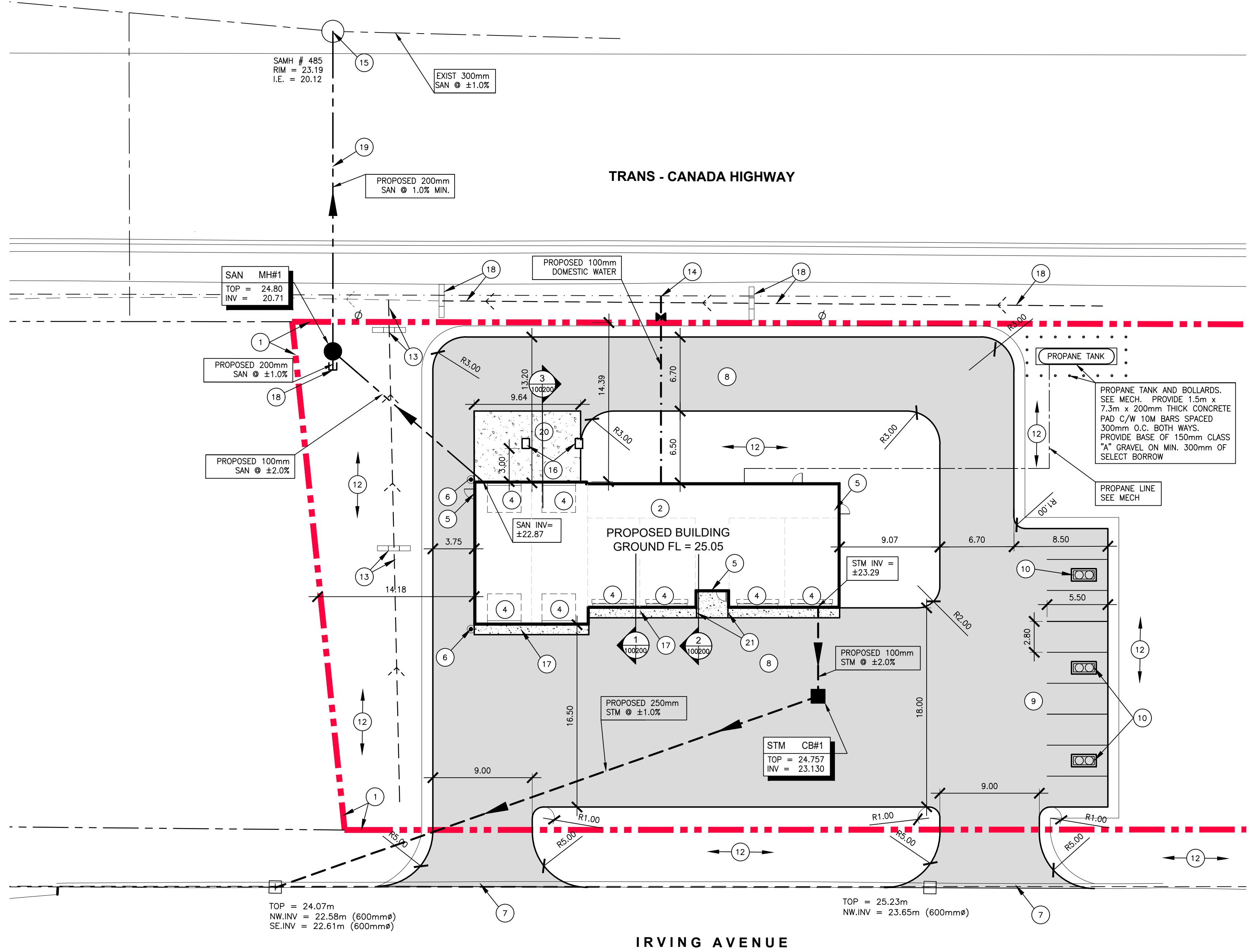
PROJECT MANAGER:  
**APM MacLean**  
**OVER 35 YEARS OF CONSTRUCTION EXPERTISE**

PROJECT:  
CAR WASH  
IRVING AVENUE  
STRATFORD PE

DRAWING TITLE:  
ELEVATION

DATE:	MAY, 2026
SCALE:	1/4" = 1'-0"
DRAWN:	APM
FILE NO.:	027053-N201-01

Appendix Item #7b)



LEGEND	
NEW FIRE HYDRANT	◆
EXISTING FIRE HYDRANT	⊕
NEW GATE VALVE	⊕
EXISTING GATE VALVE	⊕
NEW SPOT ELEVATION	25.25
EXISTING SPOT ELEVATION	24.80
EXISTING CATCH BASIN	□
NEW CATCH BASIN	■
EXISTING MANHOLE	○
NEW MANHOLE	●
NEW STORM MANHOLE	⊕
EXISTING WATER LINES	—
PROPOSED WATER LINES	- - -
EXISTING STORM SEWER LINES	—
PROPOSED STORM SEWER LINES	- - -
EXISTING SANITARY SEWER LINES	—
PROPOSED SANITARY SEWER LINES	- - -
U/G ELECTRICAL	—
PROPERTY LINE	—
FENCE	—
BOLLARD	●
NEW LIGHT POLES	⊕
EXISTING LIGHT POLES	⊕
NEW UTILITY POLE	⊕
EXISTING UTILITY POLE	⊕

**PARKING & SERVICING PLAN**  
SCALE: 1:250

- KEY NOTES:**
- PROPERTY BOUNDARY.
  - PROPOSED BUILDING FOOTPRINT. OUTLINE BASED ON OUTSIDE FACE OF FOUNDATION WALL. CONFIRM DIMENSIONS WITH FOUNDATION PLAN. SEE ARCHITECTURAL AND STRUCTURAL.
  - OUTLINE OF EXISTING BUILDING.
  - APPROXIMATE LOCATION OF O/H DOOR TYPICAL. VERIFY SIZE AND LOCATION ON ARCHITECTURAL.
  - APPROXIMATE LOCATION OF MAN DOOR TYPICAL. VERIFY SIZE AND LOCATION ON ARCHITECTURAL.
  - SUPPLY AND INSTALL 150mm CONCRETE FILLED PIPE BOLLARDS AT EXPOSED BUILDING CORNERS. PROVIDE SAFETY YELLOW PVC COVERS. SEE DETAIL ON C-400
  - DEMOLISH EXISTING CONCRETE CURB. TAPE REISED CURB AT CUT ENDS.
  - SHADING INDICATES PROPOSED NEW STANDARD DUTY ASPHALT AND BASE. SEE PAVING NOTES FOR REQUIRED BASE.
  - PAINT PARKING SPACES ON NEW ASPHALT AS SHOWN TYPICAL. PAINT COLOUR SHALL BE YELLOW.
  - PROPOSED VACUUM STATION WITH CONCRETE BASE. SEE STRUCTURAL FOR DETAIL.
  - PROVIDE A LEVEL GRASSED APRON SLOPE 4% TO EXTENT INDICATED.
  - LANDSCAPED AREA. ALL AREAS OF THE SITE THAT ARE NOT COVERED BY BUILDINGS OR HARD SURFACE, SHALL BE GRADED AND REINSTATED WITH GRASS SEED ON 100mm OF TOPSOIL. LANDSCAPING SHALL EXTEND TO THE ROAD CURB/SHOULDER AND AT LEAST 3m BEYOND THE PERIMETER OF NEW BUILDINGS. PAVEMENT, SIDEWALKS ETC. GRADE THE GROUND SURFACE IN DISTURBED AREAS TO PROVIDE A CLEAN APPEARANCE FREE FROM UNNECESSARY HUMPS & HOLLOW. PROVIDE POSITIVE SLOPE (MINIMUM 3%) AWAY FROM THE BUILDING IN ALL LOCATIONS. SLOPE LANDSCAPED AREAS TO A MAXIMUM OF 3H:1V UNLESS NOTED OTHERWISE. THE CIVIL CONTRACTOR SHALL MAINTAIN GRASSED SURFACES FOR A MINIMUM OF THREE LAWN CUTS FOLLOWING PROVISIONAL ACCEPTANCE BY THE ENGINEER. AFTER THE THIRD CUT THE CIVIL CONTRACTOR SHALL REPAIR ANY BALD SPOTS, WASHOUTS OR OTHER DEFICIENCIES. THE ONE YEAR WARRANTY ON THE GRASSED SURFACES WILL COMMENCE WHEN THE THREE LAWN CUTS ARE COMPLETE AND THE ENGINEER AGREES THAT ALL DEFICIENCIES HAVE BEEN ADDRESSED.
  - PROPOSED GRASS SWALE. SIDE SLOPES SHALL NOT EXCEED 1V:3H. PROVIDE STRAW BALE CHECK DAMS AT THE END AND MIDPOINT OF SWALE.
  - CONNECT WATER SERVICE TO WATER MAIN IN ACCORDANCE WITH SEWER AND WATER UTILITIES INSTRUCTIONS. PROVIDE CURB STOP AS PER MUNICIPAL REQUIREMENTS. PROVIDE THRUST BLOCKS AT GATE VALVE AND ANY VERTICAL OR HORIZONTAL BENDS.
  - CONNECT SEWER SERVICE TO EXISTING SEWER IN ACCORDANCE WITH SEWER AND WATER UTILITIES INSTRUCTIONS. VERIFY LOCATION AND ELEVATION OF BENCHING IN MANHOLE. INSTALL NEW PIPE SO THAT PIPE INVERT COMES IN ABOVE EXISTING BENCHING.
  - PAY KIOSK. SEE STRUCTURAL FOR DETAILS. PROVIDE DIAMOND SAW CUTS AROUND PAY STATIONS.
  - 200 MM THICK BY 900 MM CONCRETE APRON C/W 10M BARS @ 300MM O/C BOTH WAYS. PROVIDE BROOM FINISH WITH TOOLED EDGES AND SAW CUTS @ MAX 3M O/C. SEE MECHANICAL FOR SLAB HEAT SYSTEM. PROVIDE 5% SLOPE FROM BUILDING.
  - RE-GRADE EXISTING DITCH AND INSTALL HYDROSEED ON 100mm OF TOPSOIL. INSTALL STRAW BALE CHECK DAM AT END AND MIDPOINT OF DITCH RE-GRADE.
  - BORE SEWER UNDER TRANS CANADA.
  - 200 MM CONCRETE APRON C/W 10M BARS @ 300MM O/C BOTH WAYS. PROVIDE BROOM FINISH WITH TOOLED EDGES AND SAW CUTS @ MAX 3M O/C. SEE MECHANICAL FOR SLAB HEAT SYSTEM. PROVIDE DIAMOND SAW CUTS AT PAY KIOSKS.
  - PROVIDE CONTROL JOINTS IN APRON AT SIDES OF ALCOVE.
  - PROVIDE DROP CONNECTION FOR CAR WASH SERVICE INTO MANHOLE. USE DETAIL ACCEPTABLE TO THE UTILITY.

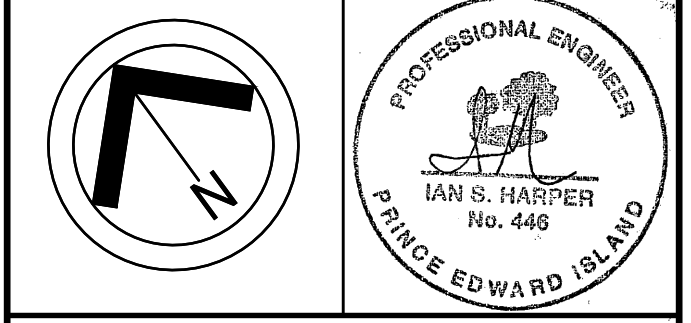
- PAVING NOTES:**
- NATIVE SOIL SHALL BE PROOF ROLLED PRIOR TO APPLYING FILL MATERIAL.
  - SOFT SPOTS AND OTHER TROUBLE AREAS SHALL BE EXCAVATED AND REPLACED WITH A SELECT BORROW AS DIRECTED BY THE APM SITE REP.
  - ALL UNIT PRICES FOR MATERIALS SHALL BE COMPACTED IN PLACE.
  - WHERE NEW ASPHALT MEETS EXISTING, MILL EDGE OF EXISTING ASPHALT DOWN 40mm BY A MINIMUM WIDTH OF 600mm TO ALLOW NEW ASPHALT TO OVERLAP EXISTING.
  - CLEANLY REMOVE ANY BROKEN OR OTHERWISE DEFECTIVE ASPHALT WHERE NEW PAVING MEETS EXISTING ASPHALT.
  - SUB-BASE PREPARATION AND PLACEMENT OF ASPHALT SHALL CONFORM TO THE LATEST EDITION OF PEI TIE'S STANDARD SPECIFICATIONS.
  - QUOTATIONS FOR THE WORK SHOWN ON THESE DRAWINGS SHALL BE BASED ON FIXED FEE AS STIPULATED ON THE TENDER DOCUMENTS. AS SUCH THE "METHOD OF PAYMENT" SECTIONS OF THE PEI TIE STANDARD SPECIFICATIONS DO NOT APPLY.
- STANDARD DUTY ASPHALT**
- |   |
|---|
| 40mm COMPACTED THICKNESS OF SEAL COURSE ASPHALT |
| 60mm COMPACTED THICKNESS OF BASE COURSE ASPHALT |
| 150mm OF CLASS A GRAVEL                         |
| 300mm SELECT BORROW (MIN THICKNESS)             |
- SELECT BORROW OR APPROVED ON SITE MATERIAL AS REQUIRED TO BRING FILL UP TO SUB GRADE FROM COMPETENT FILL. LEVEL OF COMPETENT FILL SHALL BE DETERMINED BASED ON GEOTECHNICAL CONSULTANTS RECOMMENDATIONS.

- GENERAL NOTES:**
- THE LIMIT OF CONTRACT IS GENERALLY BOUNDED BY THE PROPERTY LINE AND ALSO INCLUDES ALL WORK IMPLIED OR SHOWN WITHIN AND OUTSIDE THE LOT. THE SCOPE OF WORK SHALL INCLUDE ALL CIVIL WORK SHOWN OR IMPLIED ON THE DRAWINGS AND SHALL INCLUDE ANY ADDITIONAL WORK LISTED IN THE SPECIFICATIONS AND TENDER DOCUMENTS.
  - ALL DIMENSIONS ARE IN METRES AND MILLIMETRES. ALL ELEVATIONS ARE IN GEODETIC DECIMAL METRES. DISTANCES AND ELEVATIONS CAN BE CONVERTED INTO IMPERIAL BY MULTIPLYING VALUES IN METERS BY 3.2808 TO OBTAIN THEIR EQUIVALENT IN FEET.
  - ALL WORK SHALL FOLLOW STANDARD CONSTRUCTION PRACTICE. WORK SHALL FOLLOW ALL LOCALLY ENFORCED CODES AND REGULATIONS. ALL PIPES, MH'S, AND CB'S SHALL BE HANDLED AND INSTALLED TO THE MANUFACTURER'S RECOMMENDATIONS. ALL LINE TESTING AND WATER LINE DISINFECTION REQUIRED BY THE MUNICIPALITY AND PROVINCIAL GOVERNMENT ARE THE RESPONSIBILITY OF THE CIVIL CONTRACTOR.
  - CIVIL SITE PLANS SHALL BE READ IN CONJUNCTION WITH THE ARCHITECTURAL, STRUCTURAL, MECHANICAL AND ELECTRICAL DRAWINGS.
  - TOPOGRAPHIC AND SERVICE INFORMATION IS BASED MORRIS GEOMATICS & ENGINEERING LTD DRAWING NO 9033, DATED 2018-10-08.
  - LOCATIONS INDICATED FOR EXISTING SERVICES, UTILITIES, SEWER STRUCTURES, AND BUILDINGS SHALL BE CONSIDERED APPROXIMATE. CIVIL CONTRACTOR IS RESPONSIBLE FOR CONFIRMING THE ACCURACY AND COMPLETENESS OF SERVICE INFORMATION ON SITE PRIOR TO COMMENCING WORK. CIVIL CONTRACTOR IS SOLELY LIABLE FOR ANY DAMAGE CAUSED TO EXISTING SERVICES WHETHER THEY ARE SHOWN ON THE PLAN OR NOT.
  - THE CIVIL CONTRACTOR IS RESPONSIBLE FOR ALL TRAFFIC CONTROL AND SAFETY MEASURES DURING CONSTRUCTION. ALL CONSTRUCTION SHALL BE CARRIED OUT IN ACCORDANCE WITH THE REQUIREMENTS OF THE OCCUPATIONAL HEALTH AND SAFETY ACT AND REGULATIONS. ANY FINES OR CHARGES FOR UNSAFE WORKING CONDITIONS ARE SOLELY THE RESPONSIBILITY OF THE CIVIL CONTRACTOR.
  - THE CIVIL CONTRACTOR IS RESPONSIBLE FOR PREVENTING MUD TRACKING ONTO THE PUBLIC RIGHT-OF-WAYS; AND IS, AT HIS EXPENSE, RESPONSIBLE FOR CLEANING TRACKED MUD FROM THE R.O.W. AS DIRECTED BY THE MUNICIPALITY.
  - THE CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL AS DIRECTED BY THE MUNICIPALITY OR THE OWNER'S SITE REPRESENTATIVE.
  - CIVIL CONTRACTOR SHALL REINSTATE ALL DISTURBED AREAS TO ORIGINAL CONDITION OR BETTER. WORK WITHIN THE PUBLIC R.O.W. OR ON PUBLIC INFRASTRUCTURE SHALL BE COMPLETED TO THE STANDARD ENFORCED BY THE AUTHORITY HAVING JURISDICTION.
  - ALL WORK PERFORMED WITHIN THE ROAD R.O.W. OR ON EXISTING MUNICIPAL SERVICES SHALL FOLLOW MUNICIPAL AND PROVINCIAL SPECIFICATIONS AND GUIDELINES. WORK ON PUBLIC PROPERTY AND INFRASTRUCTURE IS SUBJECT TO APPROVAL BY THE OWNER AND THE AUTHORITIES HAVING JURISDICTION.
  - THE BUILDING FOOTPRINT SHALL BE LOCATED BY A REGISTERED SURVEYOR BASED ON THE FOUNDATION PLAN AND THE NORTH-WEST CORNER OF THE BUILDING FOOTPRINT SHOWN ON THE CONTRACT DOCUMENTS. DIGITAL COPIES OF THE SITE PLAN AND FOUNDATION PLAN WILL BE MADE AVAILABLE UPON REQUEST.
  - THE CIVIL CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND PAYING FOR ALL PERMITS REQUIRED FOR WORK WITHIN THE ROAD R.O.W. OR ON EXISTING MUNICIPAL SERVICES. CIVIL CONTRACTOR IS RESPONSIBLE FOR MAKING ALL SERVICE CONNECTIONS TO MUNICIPAL MAINS OR PAYING THE CITY TO DO SO. CIVIL CONTRACTOR SHALL PROVIDE THE MUNICIPALITY WITH ANY DEPOSITS AND WARRANTIES REQUIRED ON WORK DONE TO PUBLIC PROPERTY AS A PART OF THIS CONTRACT.

- ALL DEMOLISHED MATERIALS INCLUDING ASPHALT, FOUNDATIONS, VEGETATION, SIDEWALKS, SURPLUS FILL, ETC. SHALL BECOME THE PROPERTY OF THE CIVIL CONTRACTOR AND SHALL BE REMOVED FROM THE SITE. UNLESS SPECIFICALLY NOTED OTHERWISE, CIVIL CONTRACTOR SHALL BE RESPONSIBLE FOR DISPOSING OF SUCH IN ACCORDANCE TO ALL APPLICABLE MUNICIPAL, PROVINCIAL AND FEDERAL LAWS AND REGULATIONS.
  - ALL PRICES SHALL BE BOTH SUPPLY AND INSTALL INCLUDING TRENCHING, BACK FILLING AND COMPACTION. ALL WORK IS SUBJECT TO APPROVAL BY OWNERS REPRESENTATIVE AND THE LOCAL MUNICIPALITY. MATERIALS DAMAGED OR OF POOR QUALITY CAN AND WILL BE REJECTED BY THE OWNERS REPRESENTATIVE.
  - ALL SITE WORK SHALL BE WARRANTED FOR ONE YEAR AFTER SUBSTANTIAL COMPLETION.
  - PROVIDE RIGID INSULATION WHERE FROST COVER CAN NOT BE ESTABLISHED. REQUIRED FROST COVER IS 1800mm OVER WATER PIPES AND 1500mm TO THE INVERT OF SEWER PIPES. SEE DETAIL.
  - CONTRACTORS ARE RESPONSIBLE FOR VISITING THE SITE TO CONFIRM EXISTING CONDITIONS PRIOR TO SUBMITTING BIDS. ALL SURFACE FEATURES SHALL BE DEMOLISHED AS REQUIRED TO ACCOMMODATE THE PROPOSED WORK.
  - UNLESS NOTED OTHERWISE SEWER STRUCTURES SHALL HAVE A MINIMUM DIAMETER OF 1000mm. INCREASE SIZE AS REQUIRED FOR MULTIPLE PIPE AND LARGE PIPE STRUCTURES.
  - PIPE MATERIALS FOR SANITARY SEWER SHALL BE PVC WITH A MINIMUM OF DR35 THICKNESS. PIPE FOR STORM SEWER SHALL BE HDPE OR PVC DR 35. PIPE FOR WATER SYSTEMS SHALL BE PVC DR 18 OR TYPE K COPPER.
- ENVIRONMENTAL MANAGEMENT**
- CIVIL CONTRACTOR IS SOLELY RESPONSIBLE FOR IMPLEMENTING AND MAINTAINING SILTATION AND EROSION CONTROL MEASURES. THE MEASURES OUTLINED IN THE FOLLOWING SECTION SHALL BE CONSIDERED THE MINIMUM EFFORT. THE CIVIL CONTRACTOR SHALL PROVIDE ALL ADDITIONAL MEASURES TYPICALLY REQUIRED BY THE MUNICIPALITY, DEPARTMENT OF TRANSPORTATION AND DEPARTMENT OF ENVIRONMENT. ALL REASONABLE MEASURES SHALL BE TAKEN TO MINIMIZE THE RELEASE OF SILT LADEN WATER INTO THE DITCH SYSTEM.
  - INSTALL A SILT FENCE AT THE DOWN GRADIENT BOUNDARY OF THE SITE PRIOR TO CONSTRUCTION.
  - PROVIDE SILT FENCE AROUND THE ENTIRETY OF ANY STOCKPILED MATERIAL ON SITE.
  - MINIMIZE THE AREA OF DISTURBED SURFACE UNTIL THE WORK CAN BE COMPLETED IN EACH AREA, AND FINISHED SURFACES CAN BE ESTABLISHED.
  - ANY PUMPING OF SILT LADEN WATER SHALL BE DISCHARGED INTO THE AREA CONTAINED ON SITE.
  - THE CIVIL CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ENVIRONMENTAL MANAGEMENT MEASURES BEGINNING AT THE COMMENCEMENT OF THE CIVIL CONTRACT AND ENDING WHEN THE SURFACE TREATMENTS HAVE BEEN FULLY ESTABLISHED AND EXCESS MATERIALS HAVE BEEN REMOVED FROM SITE. THE COST OF SUCH MAINTENANCE SHALL BE INCLUDED IN THE CIVIL CONTRACTOR'S CONTACT. INSTANCES, IN WHICH IT CAN BE DEMONSTRATED THAT AN IDENTIFIED THIRD PARTY HAS CAUSED THE DAMAGE, WILL BE DEALT WITH SEPARATELY.
  - THE CIVIL CONTRACTOR SHALL PROVIDE A 24/7 EMERGENCY CONTACT NUMBER TO THE PROJECT MANAGER FOR REPORTING BREACHES IN THE ENVIRONMENTAL PROTECTION MEASURES. BREACHES SHALL BE ADDRESSED IMMEDIATELY UPON NOTIFICATION BY THE TOWN, PROVINCE OR THE PROJECT MANAGER.

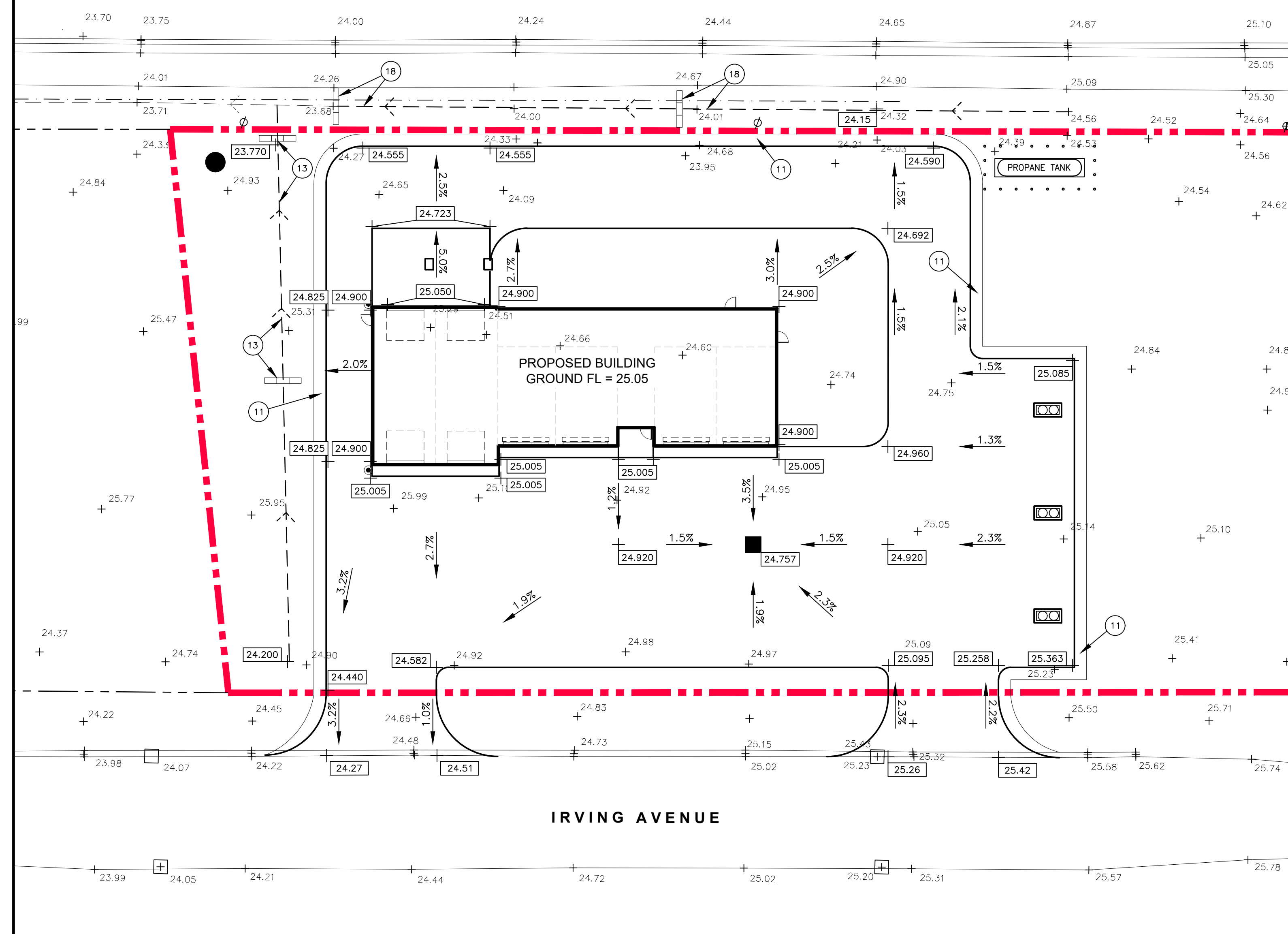
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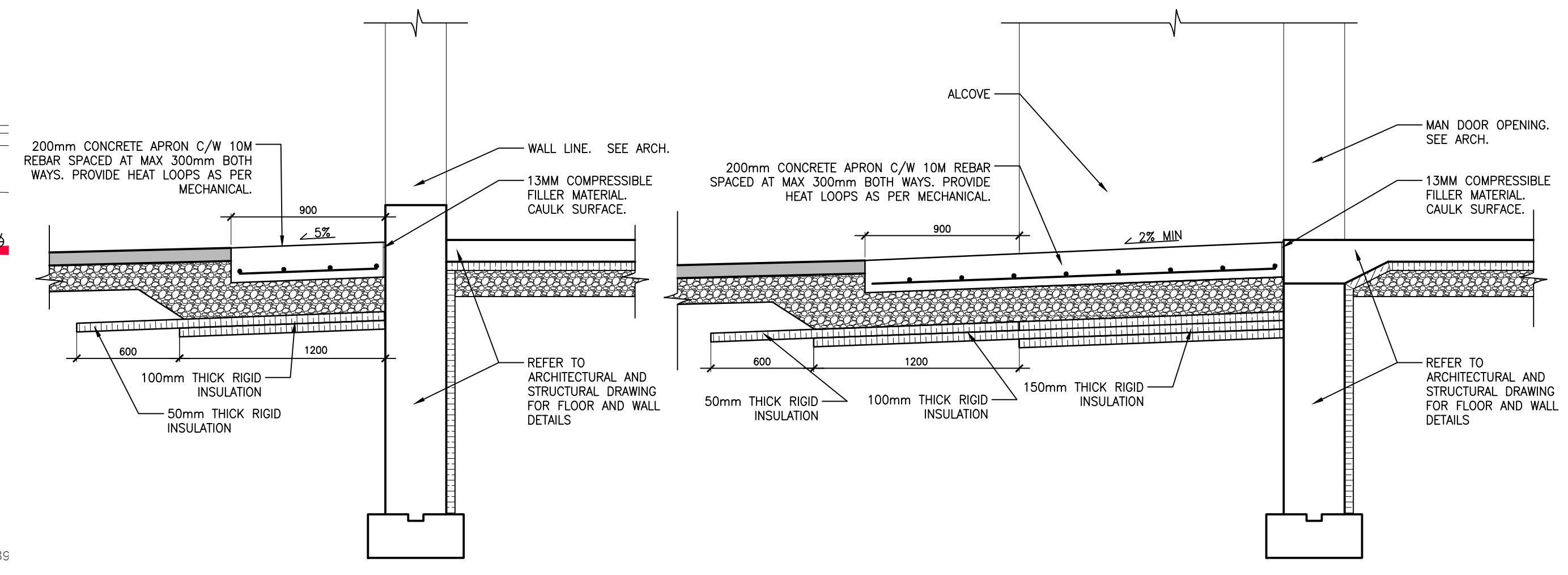
PROJECT:		CAR WASH IRVING AVENUE STRATFORD PE	
DRAWING TITLE:		PARKING & SERVICING PLAN	
DATE:	MAY 15, 2026	DWG:	C100
SCALE:	1:250		
DRAWN:	APM		
FILE NO.:	C27053-C100-00	REV:	00

**TRANS - CANADA HIGHWAY**

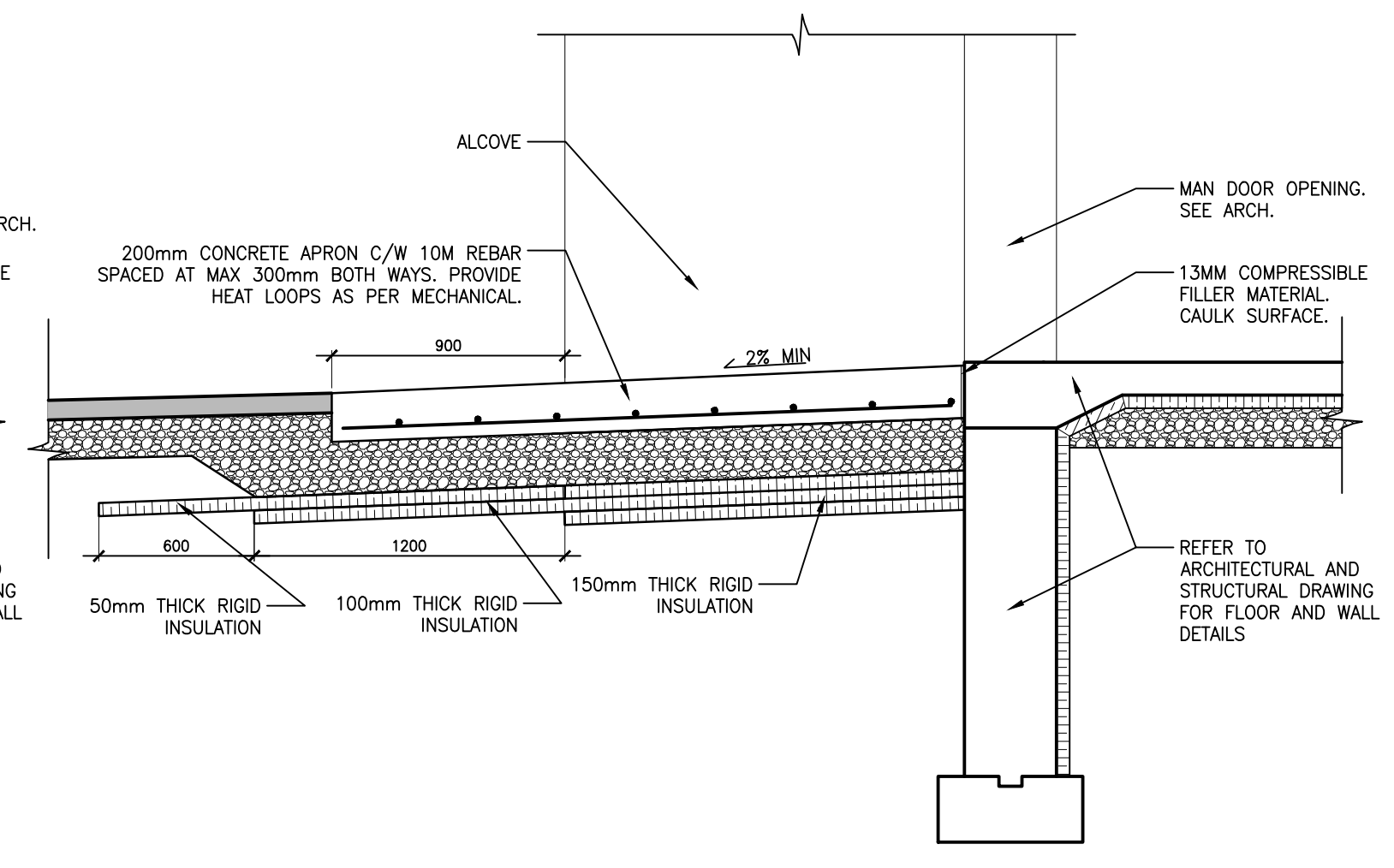


**IRVING AVENUE**

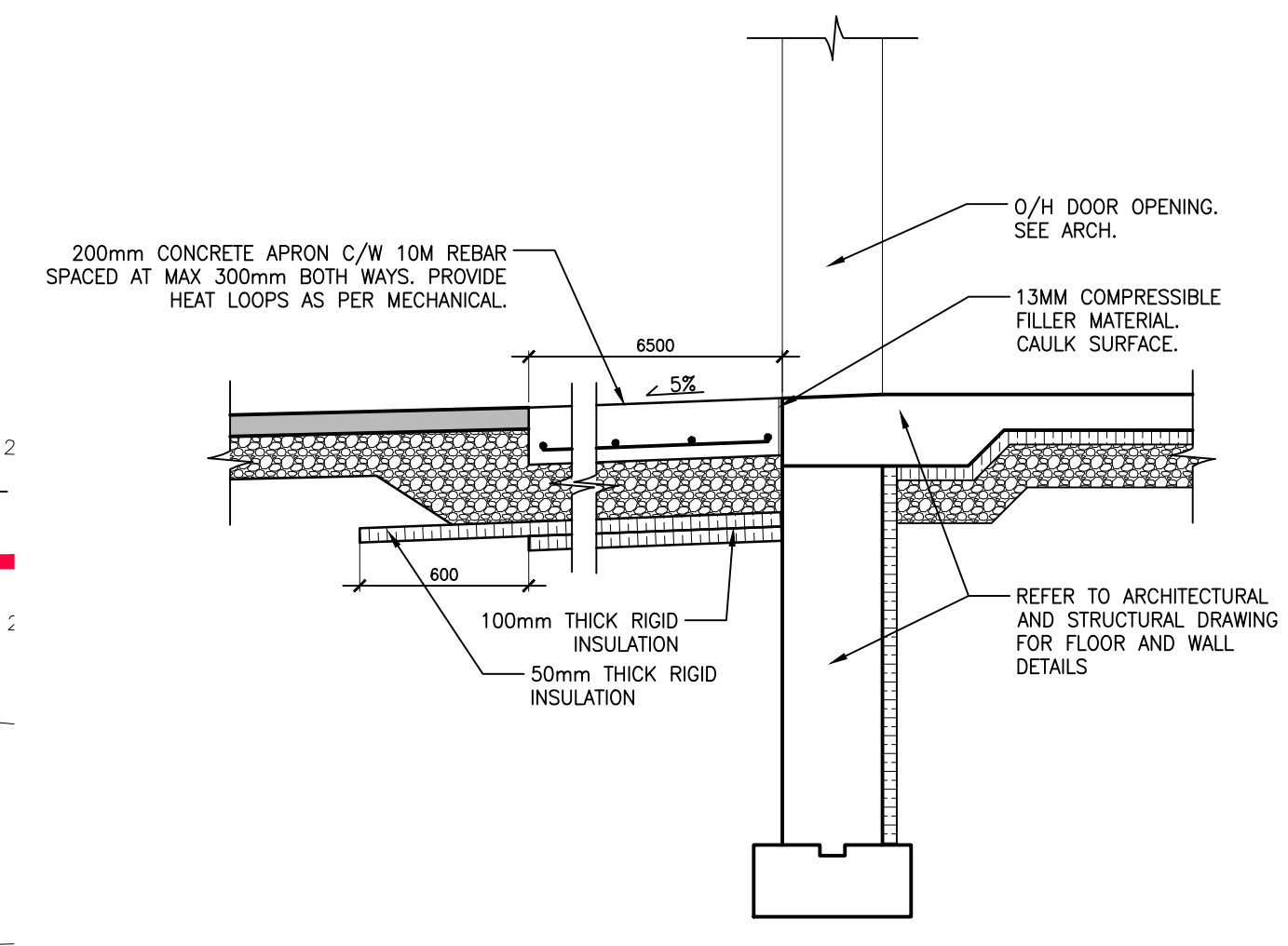
**GRADING PLAN**  
SCALE: 1:250



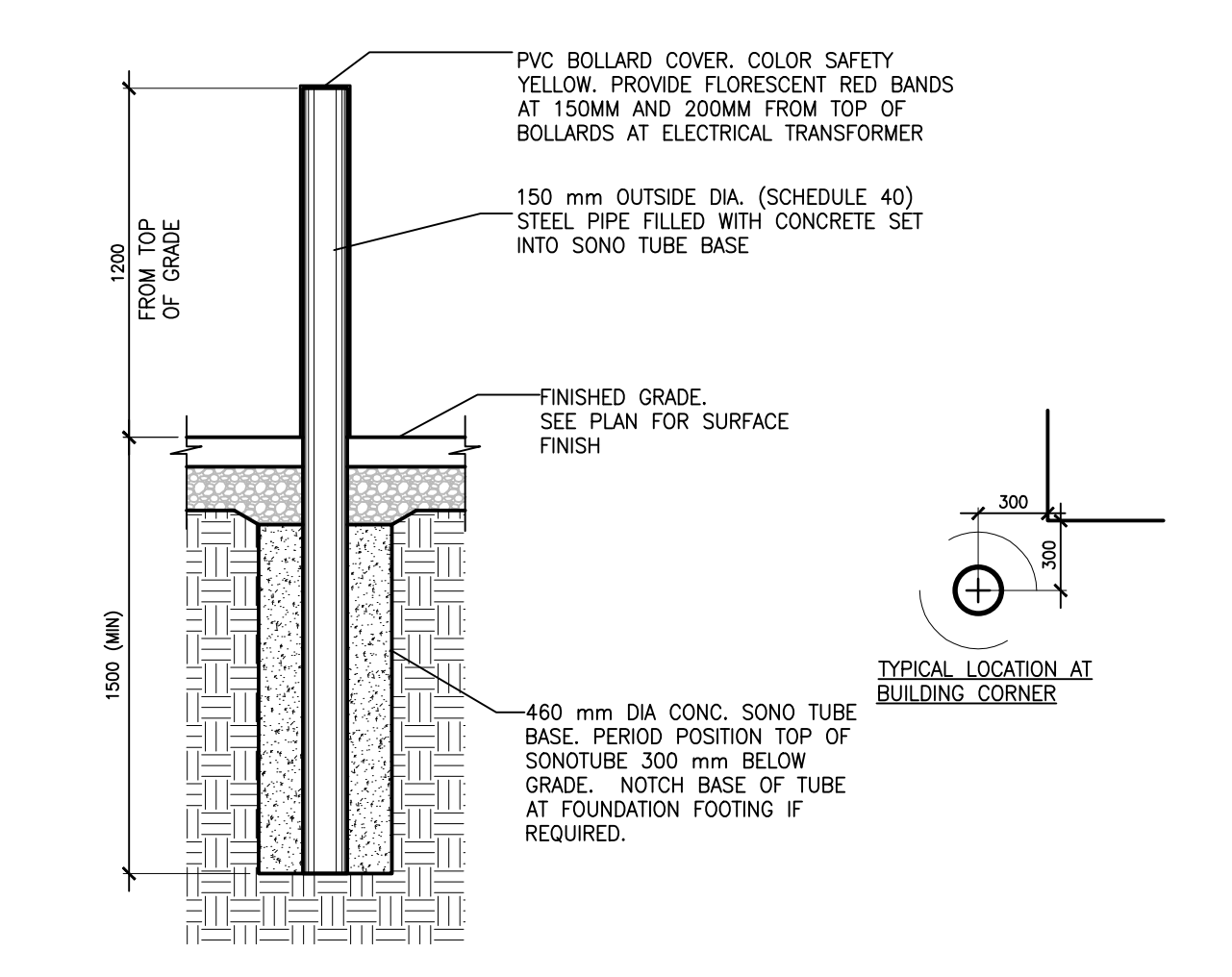
**1 TYPICAL CONCRETE APRON**  
SCALE: 1:25



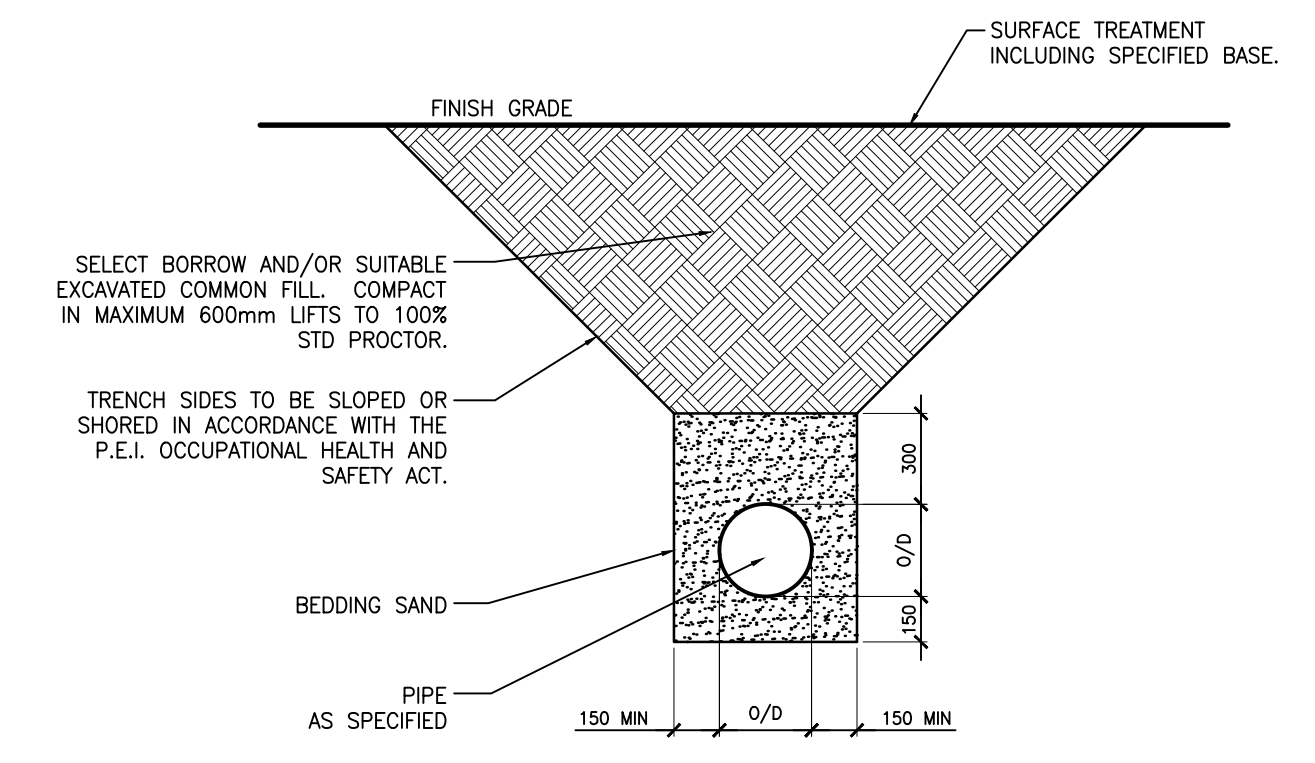
**2 TYPICAL CONCRETE APRON AT ALCOVE**  
SCALE: 1:25



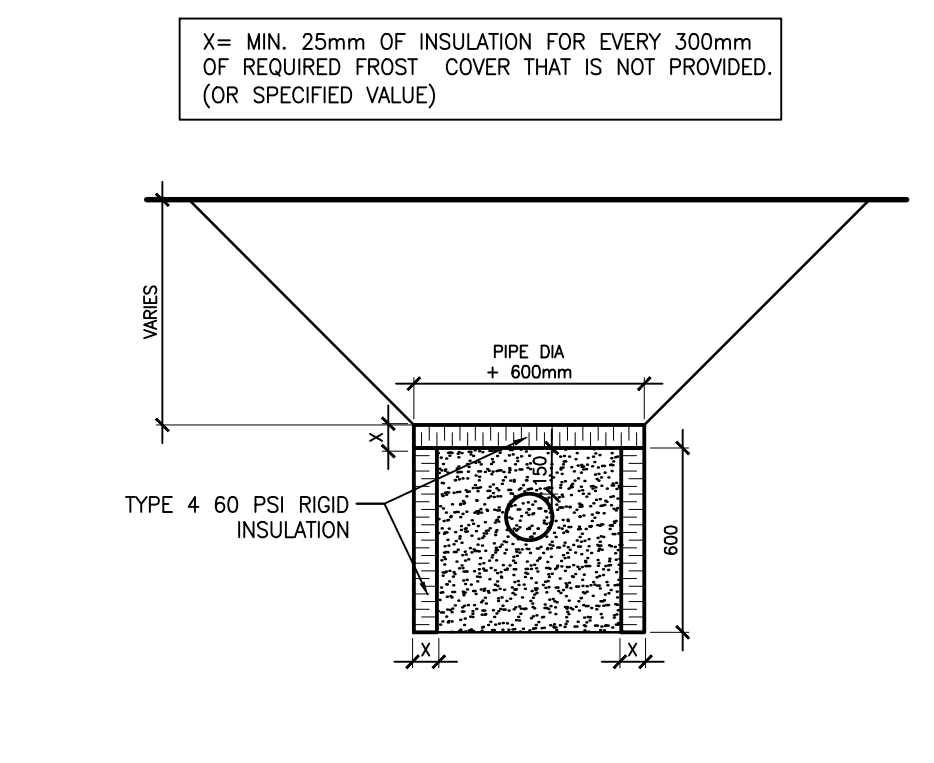
**3 CONCRETE APRON AT ENTRY TO AUTOMATIC BAY**  
SCALE: 1:25



**4 150 mm CONCRETE FILLED PIPE BOLLARD**  
SCALE: NTS



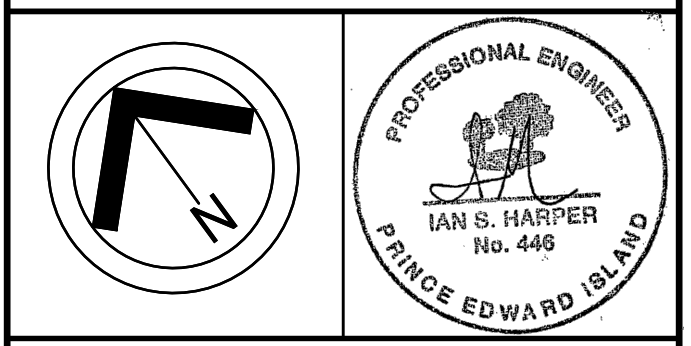
**5 TYPICAL PIPE TRENCH**  
SCALE: NTS



**6 INSULATION OVER PIPES**  
SCALE: NTS

NO. REVISIONS: 11--MM-DD DWG

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PROJECT:  
**CAR WASH  
IRVING AVENUE  
STRATFORD PE**

DRAWING TITLE:  
**GRADING PLAN  
& DETAILS**

DATE: MAY 15, 2026	DWG.
SCALE: 1:250	<b>C200</b>
DRAWN: APM	REV. 00
FILE NO.: D22011-C100-00	