



# AGENDA

## KERNERSVILLE PLANNING BOARD

KERNERSVILLE MUNICIPAL COUNCIL CHAMBERS  
MONDAY, APRIL 13, 2026  
6:30 PM

### 1 APPROVAL OF MINUTES

A *Approval of Minutes for March 9, 2026 Planning Board Meeting.*

### 2 PUBLIC HEARINGS

A **Amanda Hodierne, Agent for Owners, SEBR KV SC, LLC.** for properties located Northeast of the intersection of Old Winston Road and Greenfield Meadow Way and Northeast of the intersection of Old Winston Road and Market View Drive, containing 13.393 +/- acres. Petitioner requests a **Single-Phase Conditional Zoning** from GB-S (General Business – Special Use) and RS-12 (Residential Single-Family, 120,000 Sq. Ft. Minimum Lot Size) to GB-C (General Business - Conditional). **Zoning Docket K-740.A1.**

*Requested Use(s): ABC Store; Arts & Crafts Studio; Food or Drug Store; Furniture and Home Furnishings Store; General Merchandise Store; Hardware Store; Nursery, Lawn and Garden Supply Store, Retail; Restaurant (without Drive-Through Service); Retail Store, Specialty or Miscellaneous; Shopping Center; Banking and Financial Services; Medical or Dental Laboratory; Medical and Surgical Offices; Offices, Miscellaneous; Professional Office; Recreation Services, Indoor; Services, Business A; Services, Personal; Testing and Research Lab; Veterinary Services; Government Offices; Museum or Art Gallery; Access Easement*

**1. Action Required: Rezoning Recommendation**  
**Action Required: Site Plan Recommendation**

#### B REZONING:

**Frank Chapman, Agent for Owner, LHR Industries LLC,** for a property located at 1470 Hampton Plaza Drive, being all of PIN 6885-53-0529, containing 1.42 +/- acres. Petitioner requests a **Single-Phase Conditional Zoning** from LI-S (*Limited Industrial – Special Use*) to LI-C (*Limited Industrial - Conditional*). **Zoning Docket K-547.A10.**

*Requested Use(s): Veterinary Services; Pet Daycare Services; Wholesale Trade A; Wholesale Trade B; Manufacturing A; Manufacturing B; Banking and Financial Services; Medical or Dental Laboratory; Medical and Surgical Offices; Offices,*

*Miscellaneous; Professional Office; Services, Business A; Government Offices; Testing & Research Lab*

- 1. Action Required: Rezoning Recommendation**  
**Action Required: Site Plan Approval**

**C LAND USE PLAN AMENDMENT:**

**Curtis Swisher, Agent for the Town of Kernersville** for consideration of an amendment to the Kernersville Development Plan to amend the Land Use Plan from *Business Center, Commercial, and Industrial* to *Commercial*, for properties east and west of NC HWY 66 and north of Business 40, known as 1519 NC HWY 66 S, 0 NC HWY 66 S, 0 Kernersville Medical PKWY, and 0 Beeson RD, being all of PIN(s) 6885-62-9741, 6885-63-9393, 6885-33-5228, 6885-42-1599, containing 54.695 +/- acres. **Zoning Docket KDP-80.**

- 1. Action Required: Land Use Plan Recommendation**

**D REZONING:**

**Michael S. Fox, Agent for Linville Family, LLC** owner, for properties located at 1519 NC HWY 66 S, 0 NC HWY 66 S, 0 Kernersville Medical PKWY, and 0 Beeson RD, being all of PIN(s) 6885-62-9741, 6885-63-9393, 6885-33-5228, 6885-42-1599, containing 54.695 +/- acres. Petitioner requests a **Two-Phase Conditional Zoning** from RS-12 and RS-20 (*Residential, Single Family*) to GB-C (*General Business, Conditional*). **Zoning Docket K-830.**

*Requested Use(s): Residential Building, Multifamily; Residential Building, Townhouse; Residential Building, Urban; Boarding or Rooming House; Combined Use; Congregate Care Facility; Family Group Home B; Family Group Home C; Fraternity or Sorority; Life Care Community; ABC Store; Arts and Crafts Studio; Brewery; Brewpub; Building Materials Supply; Convenience Store; Food or Drug Store; Furniture and Home Furnishings Store; General Merchandise Store; Hardware Store; Microbrewery; Motorcycle Dealer; Nursery, Lawn and Garden Supply Store, Retail; Outdoor Display Retail (over 2 acres); Restaurant (without drive-through service); Restaurant (with drive-through service); Retail Store, Specialty or Miscellaneous; Shopping Center; Wholesale Trade A; Banking and Financial Services; Bed and Breakfast; Building Constructors, General; Car Wash; Event Center; Funeral Home; Health Services, Miscellaneous; Hotel or Motel; Medical or Dental Laboratory; Medical and Surgical Offices; Motor Vehicle, Rental and Leasing; Motor Vehicle, Repair and Maintenance; Motor Vehicle, Body or Paint Shop; Nightclub; Non-store Retailer; Offices, Miscellaneous; Professional Office; Service, Business A; Services, Personal; Testing and Research Lab; Veterinary Services; Warehousing; Recreation Services, Indoor; Recreation Services, Outdoor; Recreation Facility, Public; Theater, Indoor; Adult Day Care Center; Cemetery, Licensed; Cemetery, Unlicensed; Child Care (Drop-in); Child Care (Sick Children); Child Care Institution; Child Day Care Center; Church or*

*Religious Institution, Community; Church or Religious Institution, Neighborhood; Club or Lodge; College or University; Government Offices; Habilitation Facility C; Hospital or Health Center; Vocational Training Facility; Library, Public; Museum or Art Gallery; Neighborhood Organization; Nursing Care Institution; Police or Fire Station; Post Office; School, Athletics; School, Private; School, Public; School, Vocational or Professional; Stadium, Coliseum, Exhibition Building; Manufacturing A; Access Easement, Private Off-site; Broadcast Studio; Helistop; Park and Shuttle Lot; Parking, Commercial; Terminal, Bus or Taxi; Utilities.*

- 1. Action Required: Rezoning Recommendation**  
**Action Required: Site Plan Recommendation**

- 3 PUBLIC COMMENTS**
- 4 PLANNING BOARD COMMENTS**
- 5 STAFF UPDATES**
- 6 ADJOURNMENT**

**STAFF REPORT  
CONDITIONAL DISTRICT REZONING**

**ZONING DOCKET:** K-740.A1

**PLANNING BOARD:** April 13, 2026

**PETITIONER:** Amanda Hodieme

**OWNER(S):** SEBR KV SC, LLC

**PROPOSED AMENDMENT:**  
**From:** GB-S (*General Business - Special*) & RS-12 (*Residential Single-Family, Minimum Lot Size 12,000*)

**To:** GB-C (*General Business – Conditional*)



**USES:** *ABC Store; Arts & Crafts Studio; Food or Drug Store; Furniture and Home Furnishings Store; General Merchandise Store; Hardware Store; Nursery, Lawn and Garden Supply Store, Retail; Restaurant (without Drive-Through Service); Retail Store, Specialty or Miscellaneous; Shopping Center; Banking and Financial Services; Medical or Dental Laboratory; Medical and Surgical Offices; Offices, Miscellaneous; Professional Office; Recreation Services, Indoor; Services, Business A; Services, Personal; Testing and Research Lab; Veterinary Services; Government Offices; Museum or Art Gallery; Access Easement*

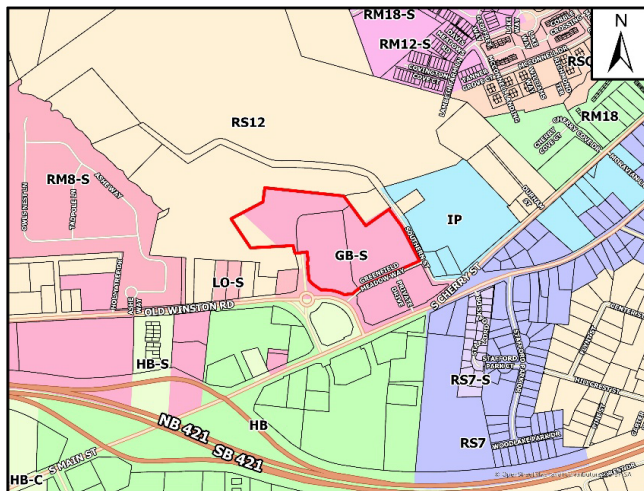
**ACREAGE:** 13.393±

**LOCATION OF PROPERTY AND  
RELATION TO EXISTING  
ZONING DISTRICTS:**

The property is located northeast of the intersection of Old Winston Rd., Greenfield Meadow Way, and Market View Dr. The rezoning request includes all of PIN 6876-82-8111, 6876-92-1088, and 6876-82-4279.

Surrounding properties are zoned as follows:

- North: RS-12
- East: IP (*Institutional & Public*)



- South: GB-S & HB-S (*Highway Business – Special*)
- West: RS-12 & LO-S (*Limited Office – Special*)

**ZONING HISTORY:**

This site underwent a special use rezoning from RS-7 (*Residential Single-Family, Minimum Lot Size 7,000*), RS-12, HB, & HB-S to GB-S in August of 2015 (O-2015-25 | K-740). It was split between a single-phase rezoning and a two-phase rezoning. The site that is party to the currently requested rezoning was a part of the single-phase area and as such had a site plan proposal for development. The intended use of the site is as a shopping center with limited permitted uses. This rezoning provided a number of conditions regarding the overall transportation improvements in the area in order to facilitate the additional traffic generated.

The additional outparcels that were created with O-2015-25 in the two-phase portion have been developed under separate Final Development Plans and/or rezoning cases. None of those outparcels are being modified with the current request.

**PURPOSE OF REZONING:**

The applicant is proposing a single-phase conditional rezoning of the subject parcels from GB-S to GB-C for the purpose of adding the zoning use *Recreation Services, Indoor*. No other conditions or site plan elements are being requested to be modified from the original rezoning and all conditions shall still apply as adopted in O-2015-25 per staff recommendation.

A portion of PIN 6876-82-4279 is being rezoned from RS-12 to GB-C in order alleviate the condition of a split zoning for the parcel. This is important as the Stormwater Control Measure for the development in question is located on this parcel and as such should be zoned to accommodate the commercial use located within.

**FINDINGS:**

**Uses**

The applicant has requested that all of the uses previously approved in O-2015-25 remain with the addition of *Recreation Services, Indoor*. The definition of *Recreation Services, Indoor* is as follows:

***Recreation Services, Indoor:*** Establishments engaged in providing indoor amusement or entertainment services. This definition includes all uses in the following SIC groups:

791 Dance Studios, Schools, and Halls

792 Producers, Orchestras, Entertainers

793 Bowling Centers

7941 Sports Clubs, Managers, and Promoters

7991 Physical Fitness Facilities

7993 Coin-Operated Amusement Devices

7997 Membership Sports and Recreation Clubs

7999 Amusement and Recreation, NEC (Except Batting Cages, Go-Cart Raceway, and Golf Course, Miniature

### **Site Plan**

The site plan consists of all of the same elements approved in O-2015-25 with slight modifications showing as-built conditions of the site. All conditions approved under the original rezoning have been satisfied and continue to be shown on the updated site plan. The site plan shows 74,140 SF of commercial space consisting of a 48,940 SF food store, a 7,000 SF attached commercial building, a 9,800 SF detached commercial building, and a 8,400 SF detached commercial building. Access to the site is provided through public right-of-way connections on Greenfield Meadow Way and Market View Dr. Sidewalk access is provided throughout the site connecting publicly maintained sidewalks to all of the commercial spaces through and around the existing parking lot. The site is located within the Central Kernersville Overlay District (CKOD) and the Highway Corridor Overlay District (HCOD), and as such, is subject to its requirements, as detailed below. No changes to the building or site layout are proposed with this rezoning.

### **Overlay Districts**

This site is currently located within two overlay districts. These are the Highway Corridor Overlay District (HCOD) and the Central Kernersville Overlay District (CKOD).

The Central Kernersville Overlay building design standards requires the incorporation of historic architectural design into the cornice, roof, windows, entrances, and trim. Façade material standard is a minimum of 90% brick and allows facade accent elements of stucco, tile, columns, pre-cast trim, and/or canvas canopies. Vinyl or metal fascia boards, soffits, doors or windows are also permitted.

The applicant is requesting to keep the same modification of the CKOD that was approved in O-2015-25 be approved now. Allowing this modification would allow for the accent element of split face block at the base, slightly less than 90% of the façade being brick, and the windows and doors not incorporating the historic design elements. The architect originally requested this modification for the following purpose:

- *“The grocery building is designed to give the look and feel of a two-story building through the predominant use of brick on the facade. The massive brick tower elements provide a clear designation for entry and exit while accentuating the height of the building. These two towers, along with the connecting center signage element, draw your eye in as a strong focal point for the building. On either side of the towers, vertical pilasters also visually increase the height of the building while the herringbone brick pattern panels and a grid design provide the look of windows at a second level. The building is topped with a large, curved stucco cornice treatment -lighter in color than the brick - that provides an unbroken horizontal treatment as a fitting cap to the top of the walls.”*

As there are no external changes being proposed, all other elements of the CKOD and HCOD are being satisfied with this proposal including site plan design standards which regulate parking lot requirements, landscaped streetyard, lighting, and other site plan elements.

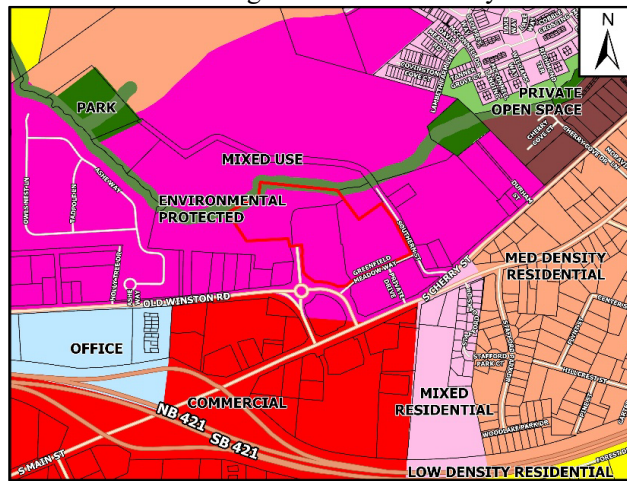
## **Kernersville Development Plan**

### *Thoroughfare & Street Plan*

The Town of Kernersville has recognized the importance of establishing a street network that supports connectivity, enhances vehicular and pedestrian safety, and incorporates appropriate landscaping, while also accounting for traffic impacts and aligning with the Thoroughfare and Street Plan. To support this vision, O-2015-25 was adopted with conditions addressing crosswalk design (both public and private), street naming, public road and easement dedication, landscaping standards, and lighting design. Staff recommends that these conditions remain in place to ensure consistency with the Thoroughfare and Street Plan and its goals for connectivity and overall network functionality.

### *Land Use Plan*

The current designation for this property is *Mixed Use* in the Town's *Land Use Plan*. The *Mixed Use* designation is intended to accommodate a variety of uses which may range from residential, commercial, office, and industrial uses. The *Mixed Use* designation is compatible with the proposed GB-C zoning district and no *Land Use Plan* modification is necessary for the requested rezoning.



### **Watershed and Floodplain:**

The property is located within the Kerner Mill Creek Watershed.

The existing development utilizes the high-density development option. High-density development is development that has added greater than 24% built-upon area (BUA) or has greater than two dwelling units per acre and must install engineered stormwater control measures (SCMs) to treat stormwater prior to discharging from the site. Additionally, the developer received a Special Intensive Development Allocation (SIDA) from the Town which would allow up to 70% of impervious coverage.

No additional impervious allocation has been requested at this time and no site modifications are proposed.

### **STAFF SUMMARY:**

This single-phase conditional rezoning includes 13.393± acres of an existing shopping center that proposes to add an additional use of *Recreation Services, Indoor*. A site plan has been submitted showing existing conditions and the applicant is proposing no site changes. The proposed change will not allow any further development of the built environment but will allow one additional use to be permitted at this site.

The exhibit has been reviewed by staff for conformance and is attached as Appendix A. Conditions from O-2015-25 have been maintained and are referenced as Appendix B.

**RECOMMENDATION**

**Rezoning:** Approval of the following motion:

Move to amend the Unified Development Ordinance of the Town by rezoning the property in case K-740.A1 from GB-S to GB-C, the said rezoning being consistent with the Town's comprehensive plan, *Kernersville Development Plan*, and further being both reasonable and in the public interest because of the following facts:

1. The site plan meets the requirements of the UDO and all previously adopted conditions in O-2015-25;
2. The proposed zoning is in conformance with the *Land Use Plan*; and
3. The proposed additional use of Recreation Services, Indoor would not change the overall impact of the development on the surrounding areas.

**Site Plan:** Approval with the following conditions:

**Land Uses**

1. *ABC Store; Arts & Crafts Studio; Food or Drug Store; Furniture and Home Furnishings Store; General Merchandise Store; Hardware Store; Nursery, Lawn and Garden Supply Store, Retail; Restaurant (without Drive-Through Service); Retail Store, Specialty or Miscellaneous; Shopping Center; Banking and Financial Services; Medical or Dental Laboratory; Medical and Surgical Offices; Offices, Miscellaneous; Professional Office; Recreation Services, Indoor; Services, Business A; Services, Personal; Testing and Research Lab; Veterinary Services; Government Offices; Museum or Art Gallery; Access Easement*

**O-2015-25**

1. Previously approved conditions as shown in Appendix B remain applicable in addition to any of the conditions put forth by this ordinance.

**Site Plan**

2. All future development of the site shall be submitted for review and match the rezoning site plan prepared by Stimmel associates, P.A., entitled Amendment to Original Main Street Market Shopping Center dated 03/24/2026 and revised on 02/02/2026, 03/02/2026, and 3/24/2026, as shown in Appendix A.





## **Appendix B – O-2015-25 Conditions**

### **SPECIAL USE DISTRICT PERMIT**

Issued by  
Board of Aldermen of the Town of Kernersville

The Board of Aldermen of the Town of Kernersville has issued a Special Use District Permit for the site shown on the site plan map included in this zoning petition of Stimmel Associates. The site shall be developed in accordance with the plan approved by the Board and bearing the inscription: "Attachment A, Special Use Permit" for *Old Winston Road* approved by the Board of Aldermen the 23rd day of June, 2015 and signed, provided the property is developed in accordance with requirements of the zoning district to GB-S (General Business–Special Use District) Chapter 19 of the Town Code, the Erosion Control Ordinance, and other applicable laws permitted.

**Bold and underlined represent Planning Board recommended additions.**

**SITE PLAN:** Approval with the following conditions:

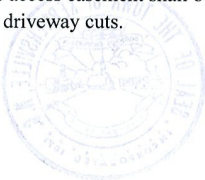
*\*denotes standard conditions*

#### **1.) Transportation**

- a. The findings of the TIA shall determine the final driveways and street alignments.
- b. The Town's public street sections crosswalks shall be stamped asphalt with a thermoplastic brick design overlay.
- c. The parking lot crosswalks shall be stamped asphalt with a thermoplastic brick design overlay or stamped concrete distinguishing it from the drive.
- d. The South Cherry Street section within the development shall be renamed.
- e. The public road at the north side of the roundabout shall continue to and include the intersection of the shopping center with a stub street to Lot 14.
- f. The reconstructed portion of Southern Street and the stub street to Lot 14 shall meet the NCDOT Complete Street "Urban/Suburban Avenue for an "Urban Center/Suburban Center" with a bicycle zone.
- g. The required 5' sidewalks with a 5' grass strip along South Main shall be constructed during the construction of the outparcels or before if the developer chooses to construct during the first phase.

#### **2.) Public Infrastructure**

- a. Dedication of the required right-of-way and easement for the South Main Street and Old Winston Road improvements (W-5510) shall take place when requested by the Town of Kernersville and NCDOT in coordination with the right-of-way phase of W-5510.
- b. Dedicate 15' public right-of-way and a 10' public sidewalk, drainage, utility and construction easement along Southern Street, prior to requesting a building permit.
- c. Request South Cherry Street formal street closure and street realignment as approved with the Special Use District rezoning, and shown on the site plan.
- d. A negative access easement shall be recorded along South Main Street excluding the shown driveway cuts.



**3.) Environmental and Stormwater Management**

- a. Storm drainage easements crossing the former South Cherry Street shall be allowed for the outparcels to connect to the overall development's stormwater device.

**4.) Building Design Elements**

- a. The maximum retail store size shall be 49,600 square feet or less.
- b. The design of the buildings shall incorporate historical design facades.

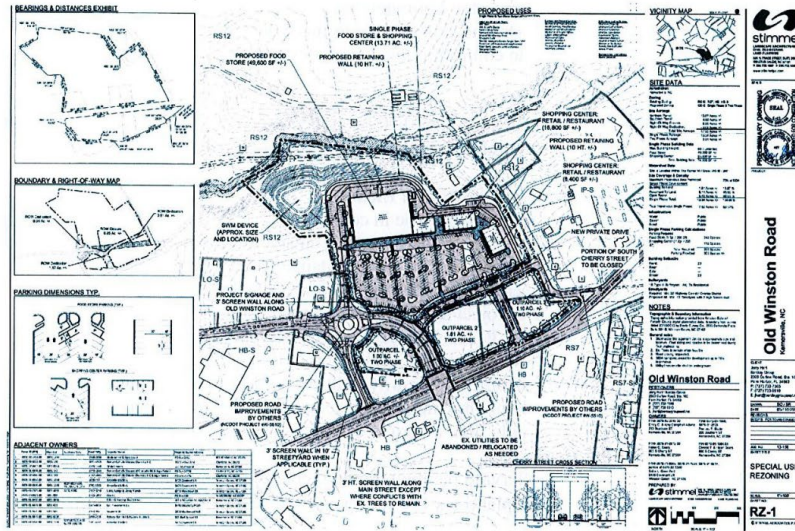
**5.) Landscape, Wall and Lighting Design Elements**


- a. Retaining walls shall be earth tone in color.
- b. The development's grass vegetative areas, outside of the bufferyard planting areas along residential property, shall be maintained as a grass yard and/or mulched landscape areas when adjacent to a single family residential home.
- c. The lighting for the project shall be required with "cut-off lighting fixtures" that cast light downward. Pedestrian scale lighting should illuminate so that lighting dissolves at the roof lines of buildings or top of light pole. Pole heights shall be a maximum of 24 feet or less. Security lighting for the building (*if needed*) shall be a cut-off lighting fixture mounted to a pole or wall.
- d. The 3' screening walls shall be brick. Wall caps and column caps may be of a different material.
- e. A Type I, 10' Bufferyard planting requirements shall be supplemented into the required streetyard plantings 150' north and south of the Southern Street/Cherry Street intersection.

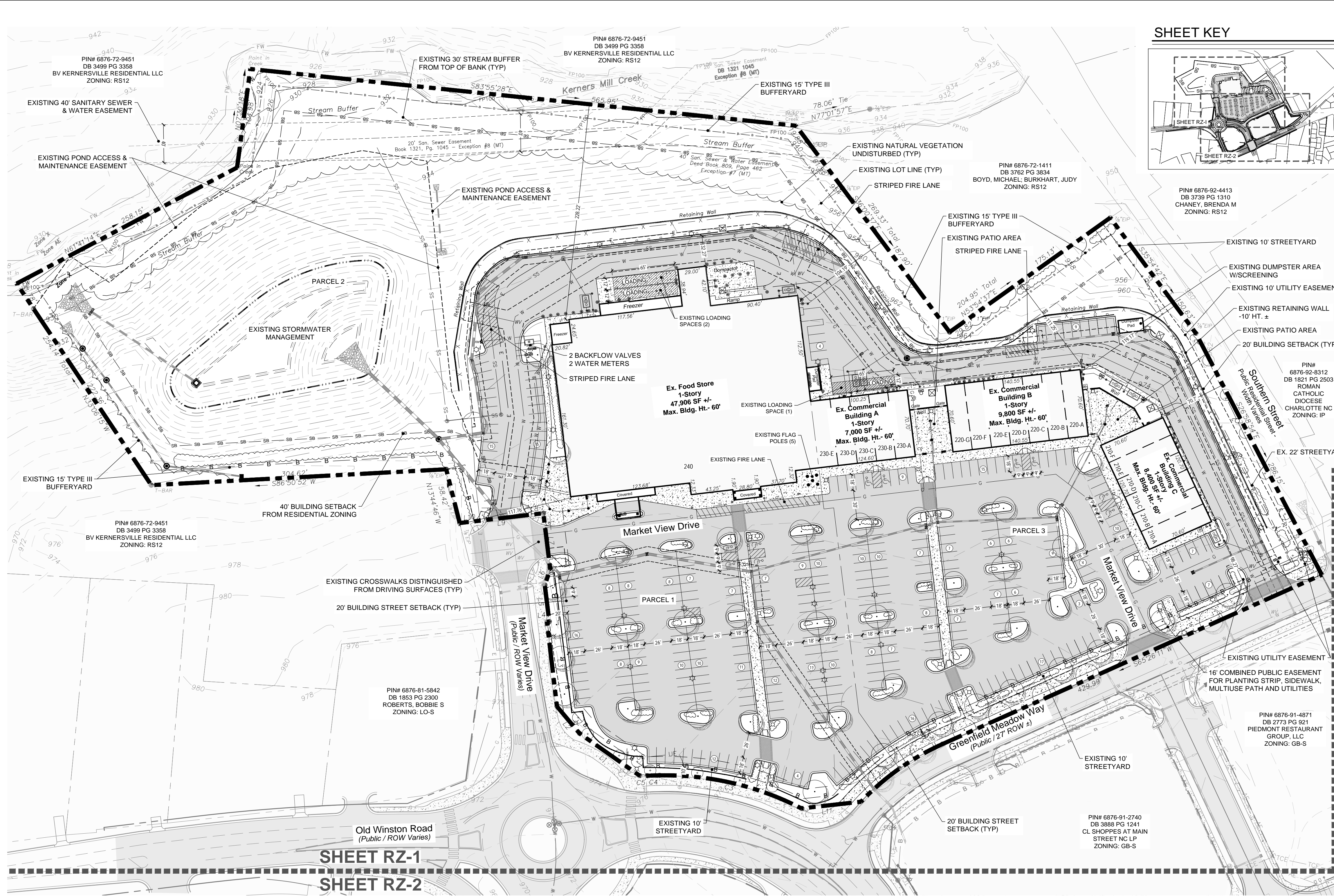
**6.) Approved Permitted Uses**

- a. ABC Store; Arts & Crafts Studio; Food or Drug Store; Furniture and Home Furnishings Store; General Merchandise Store; Hardware Store; Nursery, Lawn and Garden Supply Store, Retail; Restaurant (without drive-through service); Retail Store, Specialty or Miscellaneous; Shopping Center; Banking and Financial Services; Medical or Dental Laboratory; Medical and Surgical Offices; Offices, Miscellaneous; Professional Office; Services, Business A; Services, Personal; Testing and Research Lab; Veterinary Services; Government Offices; Museum or Art Gallery; and Access Easement.

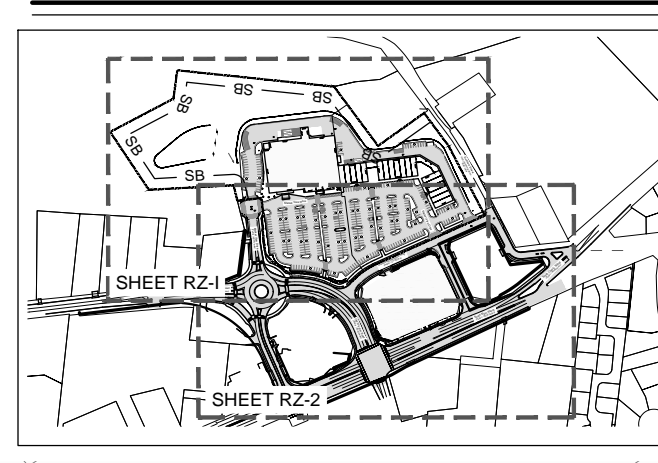
**7.) Site Plan**



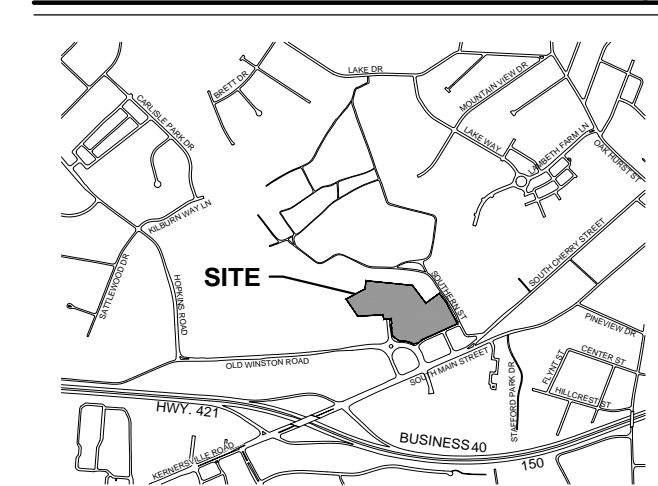
  
 Jeffrey A. Hatling,  
 Community Development Director



**SHEET KEY**



**VICINITY MAP**



**DEVELOPMENT DATA**

**JURISDICTION**  
 KERNERSVILLE, NC  
**CURRENT PROPERTY OWNER:**  
 SEBR KV SE LLC  
 804 GREEN VALLEY ROAD, STE 222  
 GREENSBORO, NC 27408  
**LOCATION PIN NO:** DEED BK-PG:  
 1 6876-82-8111 3819 - 498  
 2 6876-82-4279 3819 - 498  
 3 6876-82-1088 3819 - 498

**ZONING**  
 EXISTING ZONING: GB-S, RS-12  
 PROPOSED ZONING: GB-C  
 TYPE OF REVIEW REQUESTED: Conditional Rezoning Single-Phase

**SITE SIZE AND COVERAGE**  

PARCEL	ACREAGE
1	4.272 AC +/-
2	4.571 AC +/-
3	4.55 AC +/-
<b>TOTAL ACREAGE:</b>	<b>13.393 AC +/-</b>

**EXISTING IMPERVIOUS AREA**  

TYPE	ACREAGE	PERCENT
EX. BUILDING TO LAND:	1.73 AC +/-	12.92 %
EX. PAVEMENT TO LAND:	5.14 AC +/-	38.38 %
EX. OPEN SPACE:	6.52 AC +/-	48.70 %
<b>TOTAL:</b>	<b>13.39 AC +/-</b>	<b>(100%)</b>
<b>TOTAL EX. IMPERVIOUS:</b>	<b>6.87 AC +/-</b>	<b>51.30 %</b>

**BUILDING DATA**  
 MAX. BUILDING HEIGHT PERMITTED: 60'  
 EXISTING BUILDING HEIGHTS:  
 FOOD STORE: 27 +/-  
 COMMERCIAL BLDGS: 24 +/-  
**EXISTING BUILDINGS** SIZE +/-  
 EX. FOOD STORE SIZE: 48,940 SF +/-  
 EX. COMMERCIAL BLDG A: 7,000 SF +/-  
 EX. COMMERCIAL BLDG B: 9,800 SF +/-  
 EX. COMMERCIAL BLDG C: 8,400 SF +/-  
 BUILDING TOTAL: 74,140 SF +/-

**PARKING CALCULATIONS**  
 USE: SHOPPING CENTER  
 PARKING RATIO: 1 SPACE PER 225 SF.  
 EX. FOOD STORE (1 SPACE PER 225 SF. MIN.)  
 PARKING REQUIRED: 218 SPACES  
 (48,940 SF / 225 SF = 217.5 SPACES)  
 EX. COMMERCIAL BLDG A  
 PARKING REQUIRED: 31 SPACES  
 (7,000 SF / 225 SF = 31.1 SPACES)  
 EX. COMMERCIAL BLDG B  
 PARKING REQUIRED: 44 SPACES  
 (9,800 SF / 225 SF = 43.6 SPACES)  
 EX. COMMERCIAL BUILDING C  
 PARKING REQUIRED: 37 SPACES  
 (8,400 SF / 225 SF = 37.3 SPACES)  
**TOTAL REQUIRED PARKING: 330 SPACES**  
**TOTAL EXISTING PARKING: 407 SPACES**

**OFF STREET LOADING**  
 REQUIRED LOADING/UNLOADING SPACES: 3 SPACES  
 (74,140 +/- GFA = 3 SPACES)  
 EXISTING LOADING/UNLOADING SPACES: 3 SPACES  
 SPACE SIZE: 12 FT. X 65 FT.

**TRACT MVSA**  
 TREES REQUIRED: 77 TREES  
 (191,786 SF / 2500 SF = 76.7)  
 EXISTING TREES: 77 TREES

**BUFFERYARDS**  
 ADJOINING ZONING: RS12  
 REQUIRED: MIN. 15' TYPE III ADJACENT TO RESIDENTIAL  
 EXISTING: 15' TYPE III ADJACENT TO RESIDENTIAL

PREPARED BY:  
  
 LANDSCAPE ARCHITECTURE CIVIL ENGINEERING LAND PLANNING  
 601 N. TRADE STREET, SUITE 200  
 WINSTON-SALEM, NC 27101  
 www.stimmelpa.com  
 336.733.1067  
 336.733.1067  
 www.stimmelpa.com  
 SCALE: 1" = 50'  
**RZ-1**  
 © STIMMEL ASSOCIATES, P.A.

**BOUNDARY INFO**

LINE	LENGTH	BEARING
L1	76.50	N54°16'52"W
L2	36.86	N39°16'23"W
L3	89.85	N06°33'02"W
L4	2.41	N82°34'24"E
L5	38.98	N06°48'37"W
L6	17.19	N18°31'49"E
L7	59.81	N08°45'45"W
L8	24.58	S83°09'40"W
L9	41.17	S83°09'40"W
L10	21.18	S83°09'40"W
L11	61.95	N83°28'50"E

Curve	Bearing	Chord	Arc	Radius
C1	S59°50'22"W	51.38'	51.46'	263.50'
C2	S48°28'54"W	52.92'	53.01'	263.50'
C3	N76°35'41"W	150.31'	151.93'	300.00'
C4	S88°28'18"W	12.56'	12.56'	298.50'
C5	N89°56'18"E	7.88'	7.88'	80.50'

**LEGEND**

EXISTING IRON PIN	● EIP	GREASE TRAP MANHOLE	⊙	BUFFERYARD	— B —	STORMWATER PIPE	— SB —
CONCRETE RW MONUMENT	⊠	UNCLASSIFIED MANHOLE	⊙	BUILDING SETBACK	— BS —	STONE RIP-RAP	— SR —
SIDEWALK LAMP	⊠	PRIVATE DRAINAGE EASEMENT	— PDE —	PRIVATE DRAINAGE EASEMENT	— PDE —	STAMPED & COLORED ASPHALT	— SCA —
LIGHT POLE	⊠	WATER LINE & SANITARY SEWER EASEMENT (AS NOTED)	— WSE —	WATER LINE & SANITARY SEWER EASEMENT (AS NOTED)	— WSE —	FLAG POLES FEATURE	— FP —
TRAFFIC SIGNAL CONTROL BOX	⊠	ACCESS EASEMENT	— AE —	ACCESS EASEMENT	— AE —	SANITARY SEWER LINE	— SSL —
UTILITY VAULT/HANDHOLE	⊠	UNDERGROUND FIBER OPTICS	— UFO —	UNDERGROUND FIBER OPTICS	— UFO —	WATER LINE	— WL —
ELECTRIC METER	⊠	APPROXIMATE CREEK CENTERLINE	— ACC —	APPROXIMATE CREEK CENTERLINE	— ACC —	GREASE TRAP	— GT —
ELECTRIC TRANSFORMER	⊠	UNDERGROUND POWER LINE	— UPL —	UNDERGROUND POWER LINE	— UPL —	LOADING SPACE	— LS —
UTILITY POLE	⊠	NATURAL GAS LINE	— NGL —	NATURAL GAS LINE	— NGL —	ASPHALT PAVEMENT	— AP —
ELECTRIC METER	⊠	FEMA REGULATORY FLOODWAY	— FRF —	FEMA REGULATORY FLOODWAY	— FRF —	BUILDING	— BLDG —
BOLLARD	⊠	1% ANNUAL CHANCE FLOODPLAIN	— 1% —	1% ANNUAL CHANCE FLOODPLAIN	— 1% —		
GAS METER	⊠	NATURAL UNDISTURBED VEGETATION	— NUV —	NATURAL UNDISTURBED VEGETATION	— NUV —		
GAS VALVE	⊠	SIDEWALK	— SW —	SIDEWALK	— SW —		
SEWER CLEAN OUT	⊠	ASPHALT PAVEMENT MARKING	— APM —	ASPHALT PAVEMENT MARKING	— APM —		
SEWER MANHOLE	⊠	CURB & GUTTER	— CG —	CURB & GUTTER	— CG —		
		PARKING STRIPING	— PS —	PARKING STRIPING	— PS —		
		WALL	— W —	WALL	— W —		
		STREAM BUFFER	— SB —	STREAM BUFFER	— SB —		
		POND EDGE	— PE —	POND EDGE	— PE —		

**EXISTING ZONING PERMITTED USES**

**Retail and Wholesale Trade:**  
 ABC Store  
 Arts & Crafts Studio  
 Food or Drug Store  
 Furniture and Home Furnishings Store  
 General Merchandise Store  
 Hardware Store  
 Nursery, Lawn and Garden Supply Store, Retail Restaurant (without drive-through service)  
 Retail Store, Specialty or Miscellaneous  
 Shopping Center

**Business and Personal Services:**  
 Banking and Financial Services  
 Medical or Dental Laboratory  
 Offices, Miscellaneous  
 Professional Office  
 Services, Business A  
 Services, Personal

**Testing and Research Lab**  
 Veterinary Services

**Institutional and Public Uses:**  
 Government Offices  
 Museum or Art Gallery

**Transportation and Utilities:**  
 Access Easement

**PROPOSED ADDITIONAL PERMITTED USE**

**Recreation Uses:**  
 Recreation Services, Indoor

**BUILDING SETBACKS**  
 FRONT: 20'  
 REAR: --  
 SIDE: --  
 STREET: 20'  
 OTHER: 40' SETBACK FROM ADJACENT RESIDENTIAL ZONING.

**INFRASTRUCTURE**

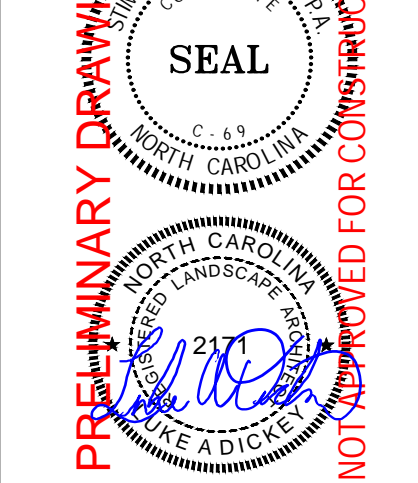
WATER SEWER:	X PUBLIC	PRIVATE
STREETS:	X PUBLIC	PRIVATE

**NOTES**  
 Boundary & Topographic Information  
 Boundary from survey dated 07/30/2024 by MLA Group, 120 Club Oaks Ct, Suite 100, Winston-Salem, NC 27104.  
 Topographic information from digital GIS sources.

General Notes  
 1. This site plan is submitted solely to comply with the requirements of Town of Kernersville UDO Section 6.3.2 and is expressly stated not to be a proposal for modification or alteration of the approved site plan approved in connection with Ordinance No. 0-2015-25 / K-740 as adopted on August 4, 2015. Property Owner declares Vested Rights in the approved site plan and all subsequent permits and approvals which facilitated the construction of the improvements indicated on the approved site plan.



**stimmel**  
 LANDSCAPE ARCHITECTURE  
 CIVIL ENGINEERING  
 LAND PLANNING  
 601 N. TRADE STREET, SUITE 200  
 WINSTON-SALEM, NC 27101  
 P. 336.733.1067  
 www.stimmelpa.com



PROJECT:

**AMENDMENT TO ORIGINAL MAIN STREET MARKET SHOPPING CENTER**  
 KERNERSVILLE, NC

PLANS FOR:  
 PRE-SUBMITTAL  
 SUBMITTAL  
 REVISED SUBMITTAL

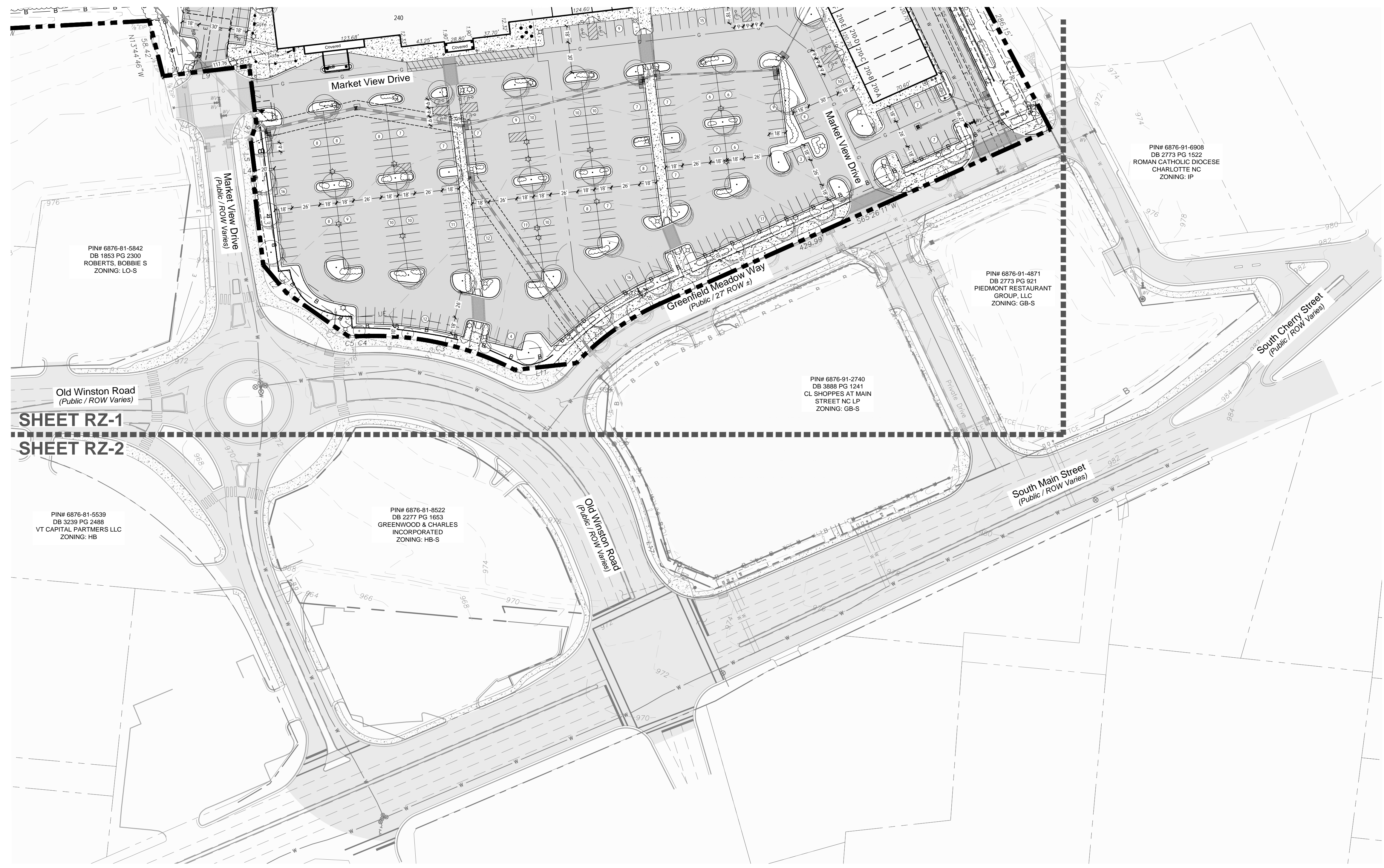
CLIENT:  
 Brian Ross  
 Deep River Partners  
 804 Green Valley Road, Suite 202  
 Greensboro, North Carolina 27408  
 P: (336) 617-2002  
 E: brian@deepriver.com

DATE: 03/24/2026  
 REVISIONS:  
 02.02.2026 Preliminary Sub  
 03.02.2026 Submittal  
 03.24.2026 Revised Sub

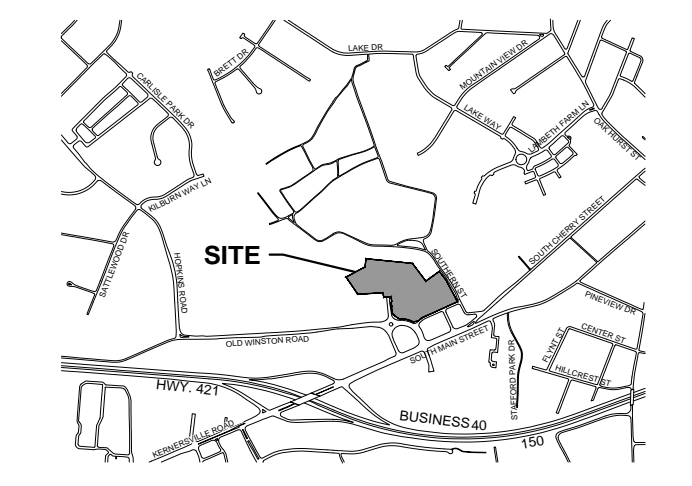
DRAWN: SCT, LD  
 JOB NO: 25-264  
 SHEET TITLE:

**REZONING SITE PLAN**

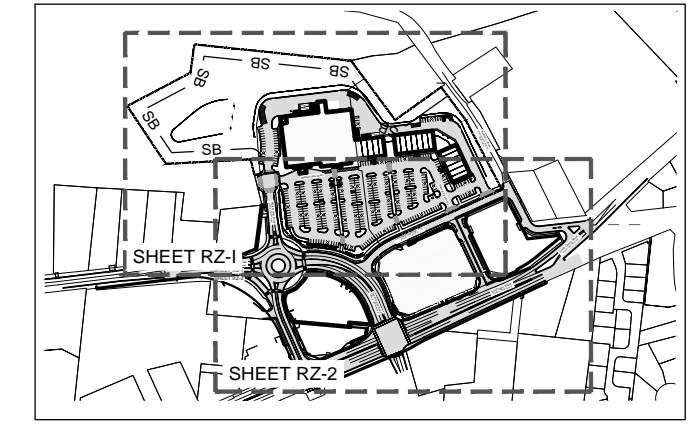
SCALE: 1" = 50'  
 SHEET NO.: **RZ-1**  
 © STIMMEL ASSOCIATES, P.A.



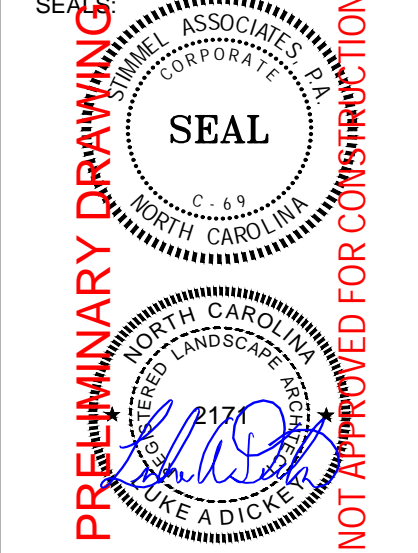
VICINITY MAP SCALE: 1"=2000'



SHEET KEY



**stimmel**  
 LANDSCAPE ARCHITECTURE  
 CIVIL ENGINEERING  
 LAND PLANNING  
 601 N. TRADE STREET, SUITE 200  
 WINSTON-SALEM, NC 27101  
 P: 336.723.1067  
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PROJECT:

**AMENDMENT TO ORIGINAL MAIN STREET MARKET SHOPPING CENTER**  
 KERNERSVILLE, NC

PLANS FOR:  
 □ PRE-SUBMITTAL  
 □ SUBMITTAL  
 ✗ REVISED SUBMITTAL

CLIENT:  
 Brian Ross  
 Deep River Partners  
 804 Green Valley Road, Suite 202  
 Greensboro, North Carolina 27408  
 P: (336) 617-2002  
 E: brian@deerprvr.com

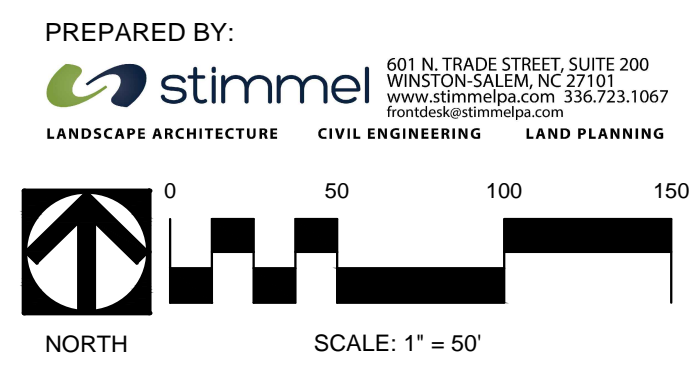
DATE: 03/24/2026  
 REVISIONS:  
 02.02.2026 Preliminary Sub  
 03.02.2026 Submittal  
 03.24.2026 Revised Sub

DRAWN: SCT, LD  
 JOB. NO: 25-264  
 SHEET TITLE:

REZONING SITE PLAN

SCALE: 1"=50'  
 SHEET NO.:

**RZ-2**  
 © STIMMEL ASSOCIATES, P.A.



BOUNDARY INFO

LINE	LENGTH	BEARING
L1	76.50	N54°16'52"W
L2	36.86	N39°16'23"W
L3	89.85	N06°33'02"W
L4	2.41	N82°34'24"E
L5	38.98	N06°48'37"W
L6	17.19	N18°31'49"E
L7	59.81	N08°45'45"W
L8	24.58	S83°09'40"W
L9	41.17	S83°09'40"W
L10	21.18	S83°09'40"W
L11	61.96	N83°28'50"E

Curve	Bearing	Chord	Arc	Radius
C1	S59°50'22"W	51.38'	51.46'	263.50'
C2	S48°28'54"W	52.92'	53.01'	263.50'
C3	N76°35'41"W	150.31'	151.93'	300.00'
C4	S88°28'18"W	12.56'	12.56'	298.50'
C5	N89°56'18"E	7.88'	7.88'	80.50'

LEGEND

- EXISTING IRON PIN
- CONCRETE RW MONUMENT
- SIDEWALK LAMP
- LIGHT POLE
- TRAFFIC SIGNAL CONTROL BOX
- UTILITY VAULT/HANDHOLE
- ELECTRIC METER
- ELECTRIC TRANSFORMER
- UTILITY POLE
- BOLLARD
- GAS METER
- GAS VALVE
- SEWER CLEAN OUT
- SEWER MANHOLE
- SIGN
- CURB CATCH BASIN
- DROP YARD INLET
- STORM MANHOLE
- SLAB-TOP YARD INLET
- ADA RAMP
- POND DRAINAGE INLET
- TREE
- GREASE TRAP/MANHOLE
- UNCLASSIFIED MANHOLE
- HANDICAP PRKGS. SPACE
- FIRE HYDRANT
- WATER METER
- WATER VALVE
- BACKFLOW PREVENTER VALVE
- CHORD
- COMBINED GRID FACTOR
- DEED BOOK
- FIRE DEPARTMENT CONNECTION
- PARCEL IDENTIFICATION NO.
- PLAT BOOK
- POINT OF BEGINNING
- RIGHT-OF-WAY
- BOUNDARY LINE
- GUARDRAIL
- FENCE LINE
- BUILDING SETBACK
- TOPOGRAPHY 10'
- TOPOGRAPHY 2'
- TOPOGRAPHY ELEVATION
- 972
- BUFFERYARD
- BUILDING SETBACK
- PRIVATE DRAINAGE EASEMENT
- WATER LINE & SANITARY SEWER EASEMENT (AS NOTED)
- ACCESS EASEMENT
- UNDERGROUND FIBER OPTICS
- APPROXIMATE CREEK CENTERLINE
- UNDERGROUND POWER LINE
- NATURAL GAS LINE
- FEMA REGULATORY FLOODWAY
- 1% ANNUAL CHANCE FLOODPLAIN
- NATURAL UNDISTURBED VEGETATION
- SIDEWALK
- ASPHALT PAVEMENT MARKING
- BUILDING DIVISIONS
- CURB & GUTTER
- PARKING STRIPING
- WALL
- STREAM BUFFER
- POND EDGE
- STORMWATER PIPE
- STONE RIP-RAP
- STAMPED & COLORED ASPHALT
- FLAG POLES FEATURE
- SANITARY SEWER LINE
- WATER LINE
- GREASE TRAP
- LOADING SPACE
- ASPHALT PAVEMENT
- BUILDING

**STAFF REPORT  
CONDITIONAL DISTRICT REZONING**

**ZONING DOCKET:** K-547.A10

**PLANNING BOARD:** April 13, 2026

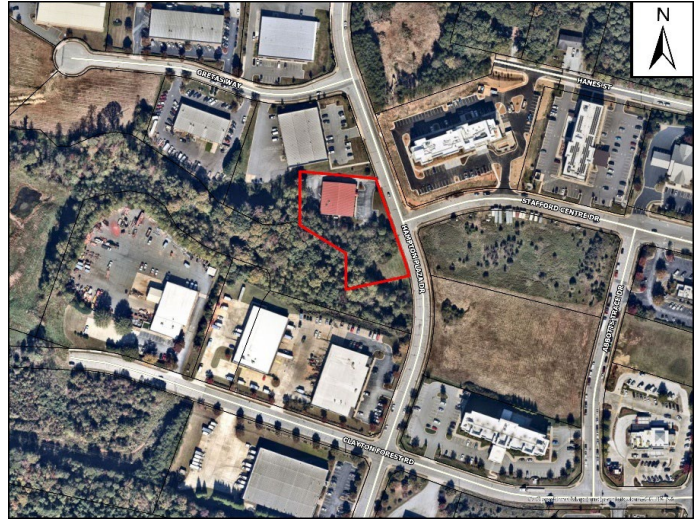
**PETITIONER:** Frank Chapman, Agent for Owner

**OWNER(S):** LHR Industries LLC

**PROPOSED ZONING AMENDMENT:**

**From:** LI-S (*Limited Industrial – Special*)

**To:** LI-C (*Limited Industrial – Conditional*)



**ACREAGE:** 1.4203 ±

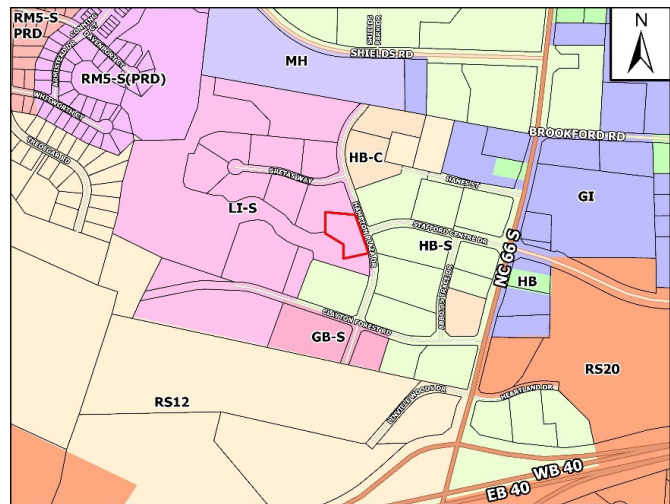
**USES:** *Veterinary Services; Pet Daycare Services; Wholesale Trade A; Wholesale Trade B; Manufacturing A; Manufacturing B; Banking and Financial Services; Medical or Dental Laboratory; Medical and Surgical Offices; Offices, Miscellaneous; Professional Office; Services, Business A; Government Offices; Testing & Research Lab*

**LOCATION OF PROPERTY AND RELATION TO EXISTING ZONING DISTRICTS:**

The property is located at 1470 Hampton Plaza Drive. The rezoning request includes all of parcel 6885-53-0529 .

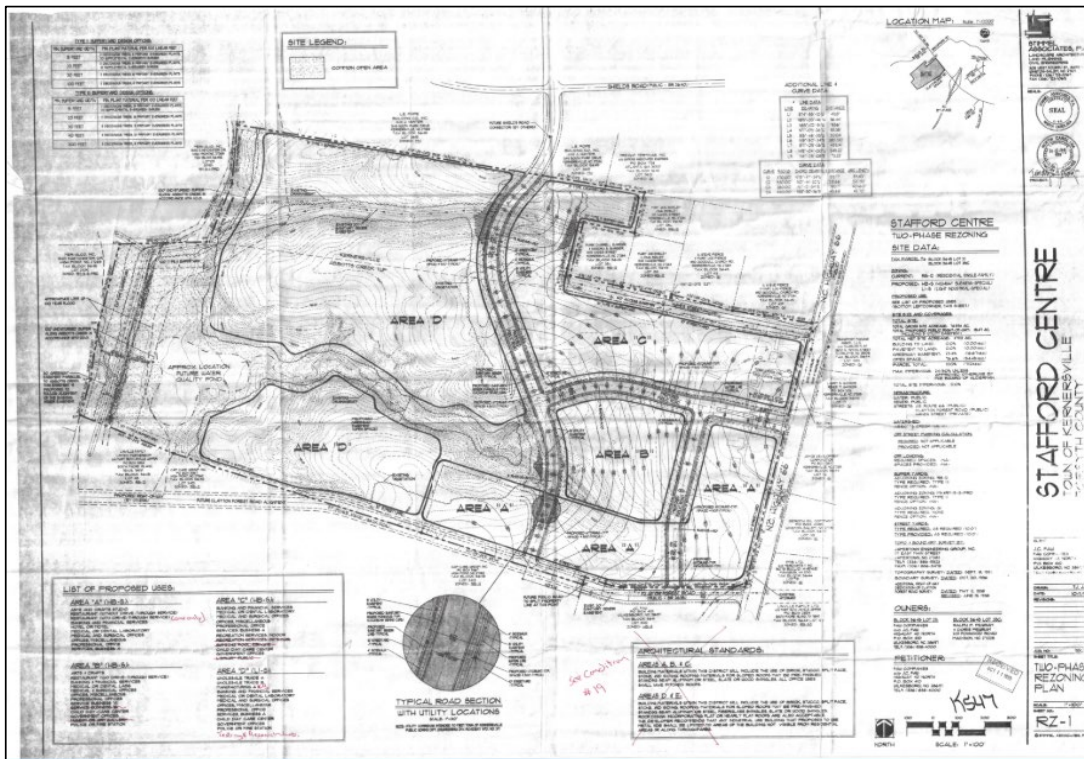
Surrounding properties are zoned as follows:

- North: LI-S
- East (across Hampton Plaza Drive.): HB-S (*Highway Business-Special*)
- South: LI-S
- West: LI-S



**ZONING HISTORY:**

The property subject to this zoning request is currently within the Stafford Centre development, K-547, a two-phase conditional zoning district containing 76.39 acres. The rezoning contained a number of conditions dictating how lots were to be developed such as infrastructure improvements, architectural/site standards, landscaping, sidewalk connections, and zoning uses associated with each of the different zoning districts. The larger Stafford Centre Development was divided into four areas, "A", "B", "C", and "D". The first three were zoned HB-S and "D" was zoned LI-S. Many of the parcels associated with K-547 have been developed or are in the process of being developed in accordance with the conditions of or amendments to the previous rezoning. The current lot being rezoned is a part of area "D" which was assigned a zoning of LI-S and has approved uses such as *Wholesale Trade A, Banking and Financial Institution, and Medical & Surgical Office*. Area "D" is the largest of the Stafford Centre areas, sitting to the rear of the HB-S districts and away from the NC 66 S major thoroughfare. The location of industrial uses in the rear of the development is intended to limit and shield any adverse or unattractive effects of the uses from the NC 66 S roadway. See adopted site plan for K-547 below.



Under K-547, the site subject to this rezoning received a Final Development Plan (FDP) approval in 2005, resulting in the permitted use of *Wholesale Trade A*.

**PURPOSE OF REZONING:**

The applicant is proposing a single-phase conditional rezoning that will retain a base zoning of LI, the conditions of O-00-03 (K-547), and allow for the *Veterinary Services* and *Pet Daycare Services* uses. As proposed, the rezoning includes all previously approved use types, but removes *Child Day Care Center* and *Police or Fire Station* as the subject parcel cannot meet the UDO use requirements for these uses. If approved, this rezoning request will also adopt a site plan that reflects conformance with UDO parking and screening requirements as well as those listed in the conditions of O-00-03 as seen in Appendix B.

**SITE PLAN:**

The site consists of one existing building accessible from Hampton Plaza Drive. The petitioner has proposed a new pedestrian crosswalk from the primary entrance of the building to the Hampton Plaza Drive sidewalk to increase pedestrian walkability around the site and to the greater Stafford Centre development.

A 10' street yard is shown along Hampton Plaza Drive and trees are shown throughout the site to ensure that no parking space is more than 50' from the trunk of a tree to meet requirements of UDO Article 5 Section 5.3.4.C.

The parking lot will not be expanded, but striping will be updated to meet all dimensional requirements of UDO Table 5.3. The parking lot does not currently meet all dimensional requirements for driveway and drive aisle access. The driveway is proposed to be widened to meet minimum requirements of the Town of Kernersville Design and Construction Manual of 26' and the drive aisles throughout the site will be corrected to meet the minimum dimensions. The proposed parking, as shown on the site plan, does not meet the minimum required spaces for the following requested uses: *Banking and Financial Services; Medical or Dental Laboratory; Medical and Surgical Offices; Professional Office; Government Office*. If a future Use and Occupancy permit were applied for requesting any of these five uses, staff would require the minimum parking requirements be met before occupancy. To meet parking requirements, Alternatives and Incentives outlined in UDO Article 5.2.5 may be utilized or a new site plan may be reviewed through the modification process outlined in UDO Article 6.7.1.

**USES:**

The applicant is requesting the following uses for this site: *Veterinary Services; Pet Daycare Services; Wholesale Trade A; Wholesale Trade B; Manufacturing A; Manufacturing B; Banking and Financial Services; Medical or Dental Laboratory; Medical and Surgical Offices; Offices; Miscellaneous; Professional Office; Services, Business A; Government Offices; Testing & Research Lab*. Definitions of these uses can be found in Appendix C of this staff report.

As mentioned above, the site plan as proposed does not meet the minimum parking requirement for the following uses: *Banking and Financial Services; Medical or Dental Laboratory; Medical and Surgical Offices; Professional Office; Government Office*.

If recommended for approval, the future tenant intends to utilize the primary use of *Veterinary Services*. They intend to board pets (such as dogs and cats) during the day while the animals are awaiting or recovering from procedures and have noted an accessory use of *Pet Daycare Services*. To verify that all necessary requirements have been met for this accessory use of *Pet Daycare Services*, the petitioner has included this as a requested use and listed it as accessory on the site plan. The petitioner has confirmed that all necessary requirements of UDO Article 4.4.59 can and will be met with the development of this site.

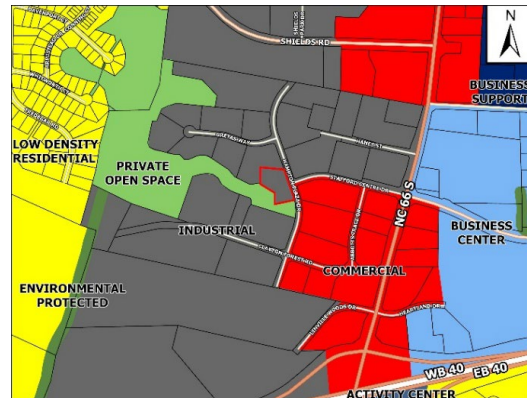
**BUILDING DESIGN:**

The primary structure will remain as originally built, with future interior renovations to meet the needs of the proposed use(s). The petitioner has shown the existing dumpster with a proposed dumpster enclosure to meet UDO requirements of Outdoor Storage Area Screening Standards (UDO Article 5 Section 5.3.6).

**KERNERSVILLE DEVELOPMENT PLAN:**

The current *Land Use Plan* designation for this site is “*Industrial*” which is defined in the Kernersville *Land Use Plan* as:

*“Industrial areas have been established to provide areas for manufacturing, distribution, office, and business service provider uses. The areas also provides locations for business and office parks. The majority of the industrial boundaries follow roads and streams to assist in buffering industrial uses from adjacent properties.”*



The requested uses included in this petition are permitted uses for all properties zoned *Limited Industrial*—a zoning district associated with the *Land Use Plan* designation of “*Industrial*.” As such, the requested use(s) for this site are in conformance with the *Land Use Plan* designation of “*Industrial*.”

**Watershed:**

The site is part of a 76.39-acre Commercial/Industrial Subdivision named Stafford Centre in the Abbotts Creek Watershed. It has an approved SIDA allocation by the Town of Kernersville which allows up to 70% constructed BUA on the site.

Stafford Centre is a high-density development with two existing stormwater ponds providing stormwater treatment. Stormwater runoff will discharge to the west and is then is routed for treatment in the stormwater pond. No additional BUA is proposed with this application. The proposed built upon area (BUA) for this project is 38.2%.

**STAFF SUMMARY:**

This petition is to rezone 1.4203± acres located at 1470 Hampton Plaza Drive from LI-S to LI-C and adopt a site plan and governing regulations for the property. The adoption of this petition, if approved by the Board of Aldermen, will grant the uses *Veterinary Services* and *Pet Daycare Services* to the site.

The associated site plan will bring the site into compliance with the UDO parking and screening requirements as outlined in the Site Plan section of this staff report. The petition is in conformance with the Town of Kernersville's *Land Use Plan* as it supports the goals of the *Industrial* land use designation.

Conditions from the O-00-03 have been maintained and are referenced as Appendix B.

**RECOMMENDATION:**

**Rezoning:** Approval of the following motion:

Move to amend the Unified Development Ordinance of the Town by rezoning the property in case K-574.A10 from LI-S to LI-C, the said rezoning being consistent with the Town's comprehensive plan, *Kernersville Development Plan*, and further being both reasonable and in the public interest because of the following facts:

1. The proposed zoning remains in conformance with the *Land Use Plan* and the requested use(s) comply with the original rezoning's vision of limited industrial uses set away from major thoroughfares; and
2. The petitioner has requested the adoption of a site plan to bring the site into conformance with the parking and screening standards of the UDO.

**Site Plan:** Approval with the following conditions:

**Land Uses**

1. *Veterinary Services; Pet Daycare Services; Wholesale Trade A; Wholesale Trade B; Manufacturing A; Manufacturing B; Banking and Financial Services; Medical or Dental Laboratory; Medical and Surgical Offices; Offices, Miscellaneous; Professional Office; Services, Business A; Government Offices; Testing & Research Lab*

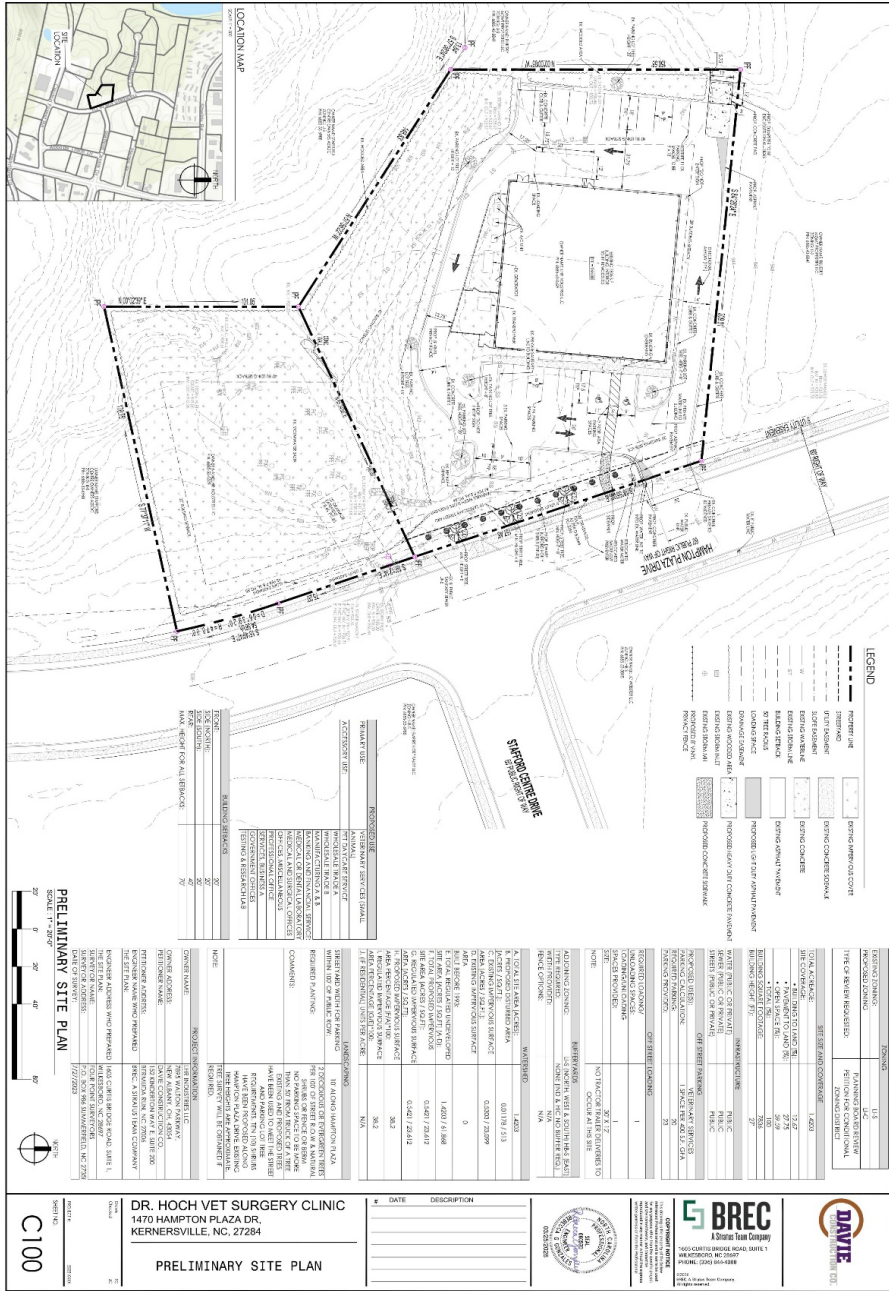
**O-00-03**

2. Previously approved conditions from K-547 (O-00-03) and as shown in Appendix B remain applicable in addition to any of the conditions put forth by this ordinance.

**Site Plan**

3. A civil construction plan shall be submitted for review and match the rezoning site plan prepared by BREC, entitled "DR. HOCH VET SURGERY CLINIC" with the seal date of March 25, 2026 and as shown in staff report's Appendix A.

# APPENDIX A – SITE PLAN



**APPENDIX B – O-00-03 CONDITIONS**

**SPECIAL USE DISTRICT PERMIT  
Issued by  
Board of Aldermen of the Town of Kernersville**

The Board of Aldermen of the Town of Kernersville issues a Special Use District Permit for the site shown on the site plan map included in this zoning petition of **Raymond D. Thomas, Attorney for Faw Companies** (ZONING DOCKET **K-547**). The site shall be developed in accordance with the plan approved by the Board and bearing the inscription: "Attachment A, Special Use Permit" for **Faw Companies** approved by the Board of Aldermen the **4th** day of **January, 2000**, and signed, provided the property is developed in accordance with requirements of the **HB-S & LI-S Two Phase** zoning district of Chapter 19 of the Town Code, the Erosion Control Ordinance, and other applicable laws.

**Road, Utilities, Sidewalks & Dedications**

1. Clayton Forest Road shall be extended to the western property line of Lot 34C, identified as Line L5 with a bearing of S15° 48' 39"W. The typical roadway section for the existing Clayton Forest Road shall apply to the extension. The cost of constructing one-half of a 1,100' (+or-) section of Clayton Forest Road beginning at Line L5 and traveling west shall be paid to the Town in the form of a cash bond or letter of credit from a bank located in Forsyth County. If letter of credit is selected the amount of the letter of credit shall be adjusted annually using the "North Carolina Highway Construction Cost Index - Road Index. The bond shall be \$82,500 and used to complete Clayton Forest Road to the western property line. If the developer constructs the road to the western property line the bond shall be returned to the developer. If the adjacent property owner constructs the road the bond shall be given to the adjacent property owner and/or developer. If the Town of Kernersville must complete the road, the bond will be used by the Town.
2. The proposed NC 66 access between Clayton Forest Road and Hanes Street shall be a right-in/right-out access only. A right-turn lane shall be constructed on NC 66 to access this street with a 100' storage bay and a 125' taper. A right-of-way dedication of 15' along NC 66 running the length of the storage bay and following the taper is required. Developer shall construct this right-turn lane per NCDOT and Town of Kernersville specifications.
3. The developer shall construct a right turn lane on NC 66 to access Clayton Forest Road. The storage bay shall be 150' with a 125' taper. A right-of-way dedication of 15' along NC 66 running the length of the storage bay and following the taper is required. Developer shall construct this right turn lane per NCDOT and Town of Kernersville specifications.
4. A 10' utility/sidewalk easement shall be granted behind the right-of-way along NC66.
5. A 5' wide sidewalk shall be constructed with a 5-foot grass strip along NC 66 and Clayton Forest Road.
6. A negative access easement shall be shown on the final plat to prohibit access along NC 66, excluding the right-in/right-out access.
7. The first access to Clayton Forest Road, approximately 260' from NC 66, shall be a right-in/right-out only at the time the Public Works Director has determined traffic count and/or accidents warrants. The developer shall post a \$2,500 cash bond for the right-in/right-out improvement.

Conditions Continues

8. Drainage easements through areas "A" and "D", shall be dedicated to facilitate street drainage from Clayton Forest Road. Detailed alignment and widths will be determined during the construction design phase or final development phase, whichever comes first.
9. The proposed street between Clayton Forest Road and Shields Road shall consist of 3" H-Binder, 1-1/2" plant mix surface course on 8" ABC stone. The construction plans shall show a profile of this street extending to Shields Road with provisions to accommodate the future grade change of Shields Road once Shields Road is improved to major thoroughfare standards. A slope easement which follows the toe of the slope along the proposed street between Clayton Forest Road and Shields Road shall be dedicated.
10. Developer shall provide an interconnection between Hanes Street and Area "C" on the final development plan(s). Also, interconnection driveways shall be provided between all adjacent developments. Barrier to be provided by petitioner to prevent construction vehicles between Hanes Street and Area C prior to commercial development of this property. Developer shall provide a stub street from Area C to Hanes Street on final development plan that shall be opened if all residential properties on Hanes Street turn to industrial or commercial uses.
11. All environmental permits required to cross the open channels with roadways shall be obtained by the developer.
12. All detailed construction drawings shall be approved by the Public Works department prior to construction.
13. Under the direction of the NCDOT, the developer shall install 1,100' of fiber optic cable to connect future signal cabinets along NC 66 starting south of Clayton Forest Road and running north to Hanes Street. The location and installation shall be reviewed and approved by the NCDOT.
14. A stormwater management plan prepared by a professional engineer, submitted for review and approval by the Public Works Department is required. Detailed calculations will be required for detention ponds.
15. All water & sewer improvements and/or relocations must be approved by the City-County Utility Commission.
16. Provide 8" water lines to fire hydrants. Extend 8" water line to end of proposed streets. All improvements shall meet City County Utilities and Fire Department requirements. Designate fire lanes per Fire Department requirements.
17. Record a 30' greenway easement along Abbotts Creek sewer line easement opposite the creek, with the northern terminating aligning up with Tredegar Subdivision greenway easement.
18. The proposed roads shall be built or bonded prior to the recordation of any required final development plan plat.

**Architectural Construction, Signage and Landscaping**

19. As volunteered by the petitioner, the architectural standards shall be as follows:  
Areas A, B, & C: Building materials within this district will include the use of brick and/or Stucco and potential accent materials of split face textured block and or stone. Roofing materials for sloped roofs may be fiberglass shingles, pre-finished standing seam aluminum or steel, slate or wood shingles. All office uses shall have pitched roofs or flat roof with a parapet wall. The parcels along NC 66 shall be brick and potential accent materials of stucco, split face textured block and or stone.

Conditions Continues


Areas D: Building materials within this district will include the use of brick and/or Stucco and potential accent materials of split face textured block and or stone. Roofing materials for sloped roofs may be pre-finished standing seam aluminum or steel, fiberglass shingles, slate or wood shingles. Roof design incorporating flat or nearly flat roofs are also acceptable. Industrial use building that proposes to use metal side shall be allowed on sides and rears not facing public roads.

20. Twenty foot (20') streetyards shall be provided along NC 66 and Clayton Forest Road.
21. Freestanding signage shall be monument signs 12 feet in height feet or less. Freestanding pole signs shall not be allowed.

**General Conditions**

22. Submit a valid petition for voluntary annexation for the entire "Stafford Centre" site prior to final plat submittal.
23. Submit a recordable final plat showing all required right of way and easement dedications for review and approval prior to submittal of building permit application(s).
24. A barrier along Hanes Street shall be installed prior to any construction or grading at the site.
25. The Planning Board shall consider requiring the installation of the buffer-yard along Hanes Street prior to construction at the site if grading allows.

**END OF CONDITIONS**

  
\_\_\_\_\_  
Jeffrey A. Hatting, Planning Director

  
\_\_\_\_\_  
Diane S. Cook, Town Clerk

## APPENDIX C – USE DEFINITIONS

**VETERINARY SERVICES.** Any facility used for the purpose of giving licensed medical treatment to animals or pets and any other customarily incidental treatment of the animals, such as grooming, boarding, or selling of pet supplies. See definition for Pet Daycare Services for facilities providing boarding of domestic animals as a primary use

**PET DAYCARE SERVICES.** A boarding facility used for the main purpose of the daytime only accommodation of domestic animals excluding horses, cattle, swine, sheep, goats, geese or peafowl. Pet Daycare Services may conduct such other incidental activities such as grooming, training, exercise, boarding, and the retail sales of pet products, but pets shall not be bred, sold, or let for hire. See definition for Veterinary Services for facilities providing medical treatment as a primary use.

**WHOLESALE TRADE A.** An establishment primarily engaged in selling durable and nondurable goods to retailers; to industrial, commercial, institutional, farm, construction contractors, or professional business uses; or to other wholesalers. Merchandise is stored inside enclosed buildings. Activities including physically assembling, sorting, and grading goods in large lots and breaking bulk for redistribution in smaller lots are conducted inside enclosed buildings in such a way as to have a minimal impact on surrounding properties. Operations with over twenty-five percent (25%) of sales to retail customers require the appropriate retail zoning district.

This definition includes all uses in the following SIC groups:

- 502 Furniture and Home furnishings
- 503 Lumber and Construction Materials
- 504 Professional and Commercial Equipment
- 506 Electrical Goods
- 507 Hardware, Plumbing, and Heating Equipment
- 509 Miscellaneous Durable Goods (except Scrap and Waste Materials, SIC group 5093)
- 511 Paper and Paper Products
- 512 Drugs, Proprietarys, and Sundries
- 513 Apparel, Piece Goods, and Notions
- 514 Groceries and Related Products
- 518 Beer, Wine, and Distilled Beverages
- 519 Miscellaneous Nondurable Goods (except Farm Supplies, SIC group 5191)

**WHOLESALE TRADE B.** An establishment primarily engaged in selling durable and nondurable goods to retailers; to industrial, commercial, institutional, farm, construction contractors, or professional business uses; or to other wholesalers. Merchandise may be stored outside enclosed buildings. Activities including physically assembling, sorting, and grading goods in large lots, and breaking bulk for redistribution in smaller lots may be conducted outside enclosed buildings. Operations with over twenty-five percent (25%) of sales to retail customers require the appropriate retail zoning district.

This definition includes all uses in the following SIC groups:

- 501 Motor Vehicles, Parts and Supplies (except Motor Vehicle Parts, Used, SIC group 5015)

505 Metals and Minerals, except Petroleum  
508 Machinery, Equipment and Supplies  
515 Farm-Product Raw Materials  
516 Chemicals and Allied Products  
5191 Farm Supplies

**MANUFACTURING A.** A manufacturing establishment engaged in the fabrication or assembly of products from pre-structured materials or components whose operations, including storage of materials; processing, fabrication or assembly of products; and loading and unloading of new materials and finished products occurs completely within an enclosed building. Because of the nature of its operations and products, Manufacturing A produces little or no noise, odor, vibration, glare, and/or air and water pollution, and, therefore, has minimal impact on surrounding properties. Notwithstanding the previous requirements, NAICS groups only permitted in Manufacturing C shall not be permitted in Manufacturing A.

**MANUFACTURING B.** A manufacturing establishment whose operations, including storage of materials; processing, fabrication or assembly of products; and loading and unloading of new materials and finished products occurs completely within an enclosed building. Noise, odor, dust, or vibration from the manufacturing process may result in only minor impacts on adjacent properties. Notwithstanding the previous requirements, NAICS groups only permitted in Manufacturing C shall not be permitted in Manufacturing B.

**BANKING AND FINANCIAL SERVICES.** A facility engaged in deposit banking or extending credit in the form of loans.

This definition includes all uses in the following SIC groups:

60 Depository Institutions  
61 Non-depository Institutions

**MEDICAL OR DENTAL LABORATORY.** An establishment primarily engaged in providing professional analytic or diagnostic services to the medical profession, or to the patient, on direction of a physician; or an establishment primarily engaged in making dentures, artificial teeth, and appliances to order for the dental profession.

This definition includes all uses in the following SIC group:

807 Medical and Dental Laboratories

**MEDICAL AND SURGICAL OFFICES.** An establishment primarily engaged in furnishing medical and surgical services to individuals and licensed for such practice by the State.

This definition includes all uses in the following SIC groups:

801 Offices and Clinics of Medical Doctors  
802 Offices and Clinics of Dentists  
803 Offices of Osteopathic Physicians  
804 Offices of Other Health Practitioners

OFFICES, MISCELLANEOUS. Office uses not specifically listed and defined elsewhere in this Ordinance as a principal use.

PROFESSIONAL OFFICE. An establishment primarily engaged in providing: engineering, architectural, and surveying services; accounting, auditing, and bookkeeping services; public relations services; legal services; real estate services; the services of insurance agents, brokers and carriers; the services of security and commodity brokers; and the services of bank holding companies.

This definition includes all uses in the following SIC groups:

- 4724 Travel Agencies
- 62 Security and Commodity Brokers
- 63 Insurance Carriers
- 64 Insurance Agents, Brokers and Carriers
- 65 Real Estate
- 67 Holding and Other Investment Offices
- 731 Advertising (Except Outdoor Advertising, SIC Group 7312)

SERVICES, BUSINESS A. An establishment primarily engaged in providing a service(s) to businesses and to a lesser extent, individuals. All merchandise and rental equipment is stored inside enclosed buildings.

Business Services A includes the following list of uses (including SIC groups and all subcategories not elsewhere listed):

- 733 Mailing, Reproduction, Commercial Art and Photography
- 735 Equipment Rental and Leasing (only with inside storage of equipment)
- 737 Computer Programming, Data Processing and other Computer Related Services (Except Computer Programming, 7371; Prepackaged Software, 7372; and, Computer System Design, 7373)
- 738 Miscellaneous Business Services
- 7699 Uses from SIC 7699 primarily engaged in providing repair and other services to businesses and to a lesser extent, individuals, that by the nature of their operation have little impact on adjoining property due to noise, odor, vibration, and/or air or water pollution. All repair items and supplies are stored in enclosed buildings. These uses include repair of small or precision equipment, such as medical, dental, laboratory, or drafting equipment.

GOVERNMENT OFFICES. The offices of the executive, legislative, judicial, administrative and regulatory branches of federal, State and local governments.

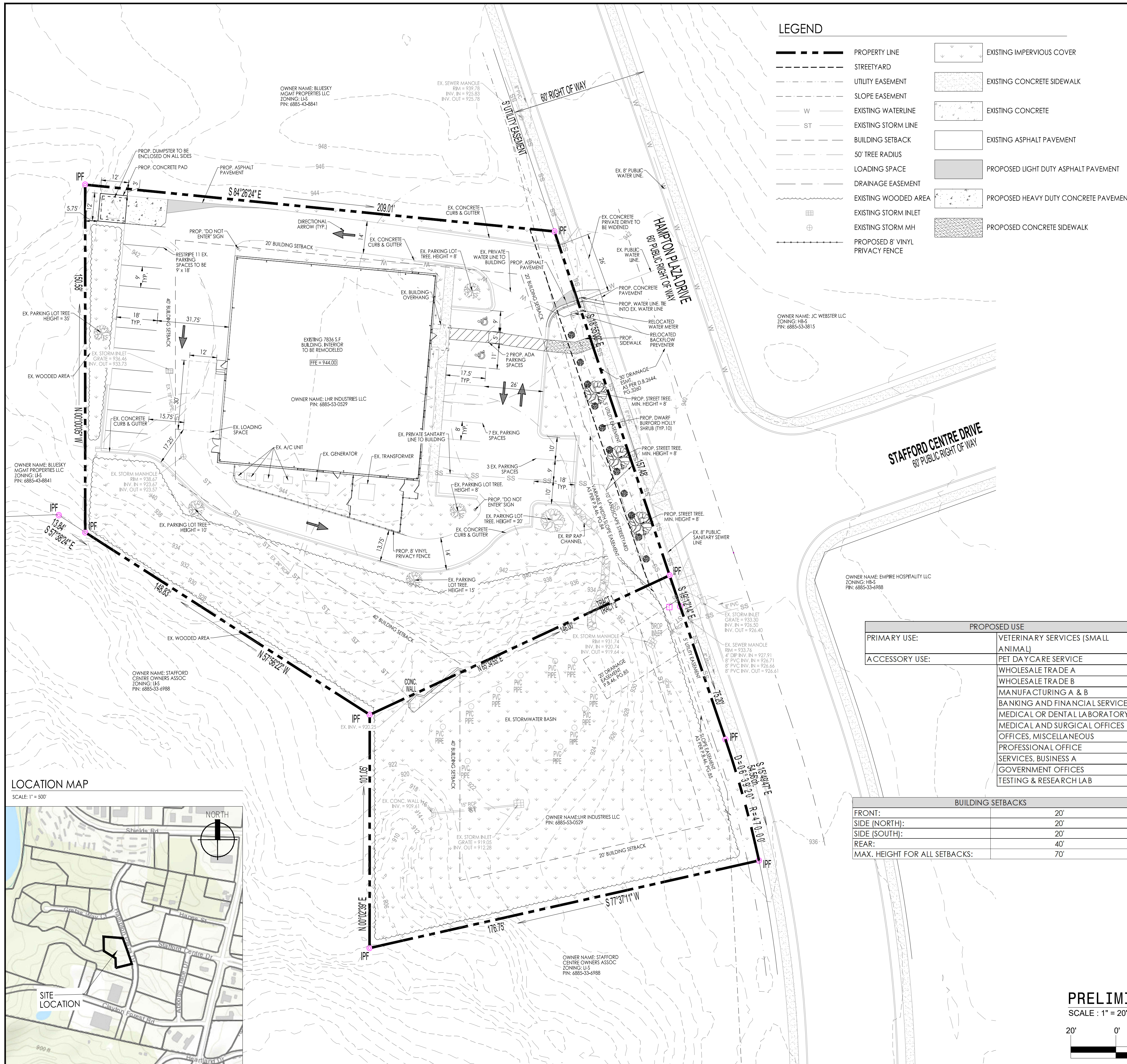
This definition includes all uses in the following SIC groups:

- 91 Executive, Legislative, and General
- 92 Justice, Public Order, and Safety
- 93 Finance, Taxation, & Monetary Policy
- 94 Administration of Human Resources
- 95 Environmental Quality and Housing
- 96 Administration of Economic Programs
- 97 National Security and International Affairs

TESTING AND RESEARCH LABORATORY. An establishment primarily engaged in commercial research and providing testing services such as calibration and certification of instruments, food testing services, forensic laboratories, metallurgical testing, and industrial X-ray inspection services, etc.

This definition includes all uses in the following SIC group:

873 Research and Testing Services



**LEGEND**

---	PROPERTY LINE	[Pattern]	EXISTING IMPERVIOUS COVER
---	STREETYARD	[Pattern]	EXISTING CONCRETE SIDEWALK
---	UTILITY EASEMENT	[Pattern]	EXISTING CONCRETE
---	SLOPE EASEMENT	[Pattern]	EXISTING ASPHALT PAVEMENT
W	EXISTING WATERLINE	[Pattern]	PROPOSED LIGHT DUTY ASPHALT PAVEMENT
ST	EXISTING STORM LINE	[Pattern]	PROPOSED HEAVY DUTY CONCRETE PAVEMENT
---	BUILDING SETBACK	[Pattern]	PROPOSED CONCRETE SIDEWALK
---	50' TREE RADIUS		
---	LOADING SPACE		
---	DRAINAGE EASEMENT		
---	EXISTING WOODED AREA		
---	EXISTING STORM INLET		
---	EXISTING STORM MH		
---	PROPOSED 8" VINYL PRIVACY FENCE		

**ZONING**

EXISTING ZONING:	LI-S
PROPOSED ZONING:	LI-C
TYPE OF REVIEW REQUESTED:	PLANNING BOARD REVIEW PETITION FOR CONDITIONAL ZONING DISTRICT

**SITE SIZE AND COVERAGE**

TOTAL ACRES:	1.4203
SITE COVERAGE:	
• BUILDING TO LAND (%):	12.67
• PAVEMENT TO LAND (%):	27.75
• OPEN SPACE (%):	59.59
• TOTAL (%):	100
BUILDING SQUARE FOOTAGE:	7836
BUILDING HEIGHT (FT):	27'

**INFRASTRUCTURE**

WATER (PUBLIC OR PRIVATE)	PUBLIC
SEWER (PUBLIC OR PRIVATE)	PUBLIC
STREETS (PUBLIC OR PRIVATE)	PUBLIC

**OFF STREET PARKING**

PROPOSED USE(S):	VETERINARY SERVICES
PARKING CALCULATION:	1 SPACE PER 400 S.F. GFA
REQUIRED PARKING:	20
PARKING PROVIDED:	23

**OFF STREET LOADING**

REQUIRED LOADING/ UNLOADING SPACES:	1
LOADING/UNLOADING SPACES PROVIDED:	1
SIZE:	30' X 12'
NOTE:	NO TRACTOR TRAILER DELIVERIES TO OCCUR AT THIS SITE

**BUFFERYARDS**

ADJOINING ZONING:	LI-S (NORTH, WEST & SOUTH) HB-S (EAST)
TYPE REQUIRED:	NONE (IND & HIC NO BUFFER REQ.)
WIDTH PROVIDED:	N/A
FENCE OPTIONS:	N/A

**WATERSHED**

A. TOTAL SITE AREA [ACRES]:	1.4203
B. PROPOSED DISTURBED AREA [ACRES / SQ.FT.]:	0.01178 / 513
C. EXISTING IMPERVIOUS SURFACE AREA [ACRES / SQ.FT.]:	0.5303 / 23,099
D. EXISTING IMPERVIOUS SURFACE AREA BUILT BEFORE 1993:	0
E. TOTAL REGULATED UNDEVELOPED SITE AREA [ACRES / SQ.FT.] (A-D):	1.4203 / 61,868
F. TOTAL PROPOSED IMPERVIOUS SITE AREA [ACRES / SQ.FT.]:	0.5421 / 23,612
G. REGULATED IMPERVIOUS SURFACE AREA [ACRES / SQ.FT.]:	0.5421 / 23,612
H. PROPOSED IMPERVIOUS SURFACE AREA PERCENTAGE (F/A)*100:	38.2
I. REGULATED IMPERVIOUS SURFACE AREA PERCENTAGE (G/E)*100:	38.2
J. [(F RESIDENTIAL) UNITS PER ACRE:	N/A

**PROPOSED USE**

PRIMARY USE:	VETERINARY SERVICES (SMALL ANIMAL)
ACCESSORY USE:	PET DAYCARE SERVICE WHOLESALE TRADE A WHOLESALE TRADE B MANUFACTURING A & B BANKING AND FINANCIAL SERVICE MEDICAL OR DENTAL LABORATORY MEDICAL AND SURGICAL OFFICES OFFICES, MISCELLANEOUS PROFESSIONAL OFFICE SERVICES, BUSINESS A GOVERNMENT OFFICES TESTING & RESEARCH LAB

**BUILDING SETBACKS**

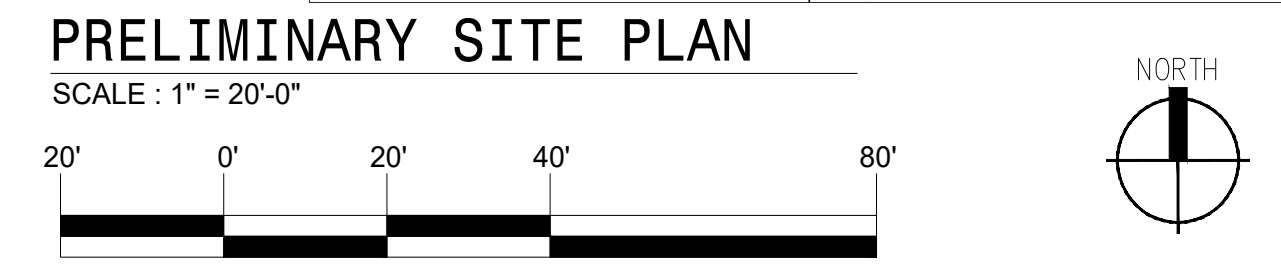
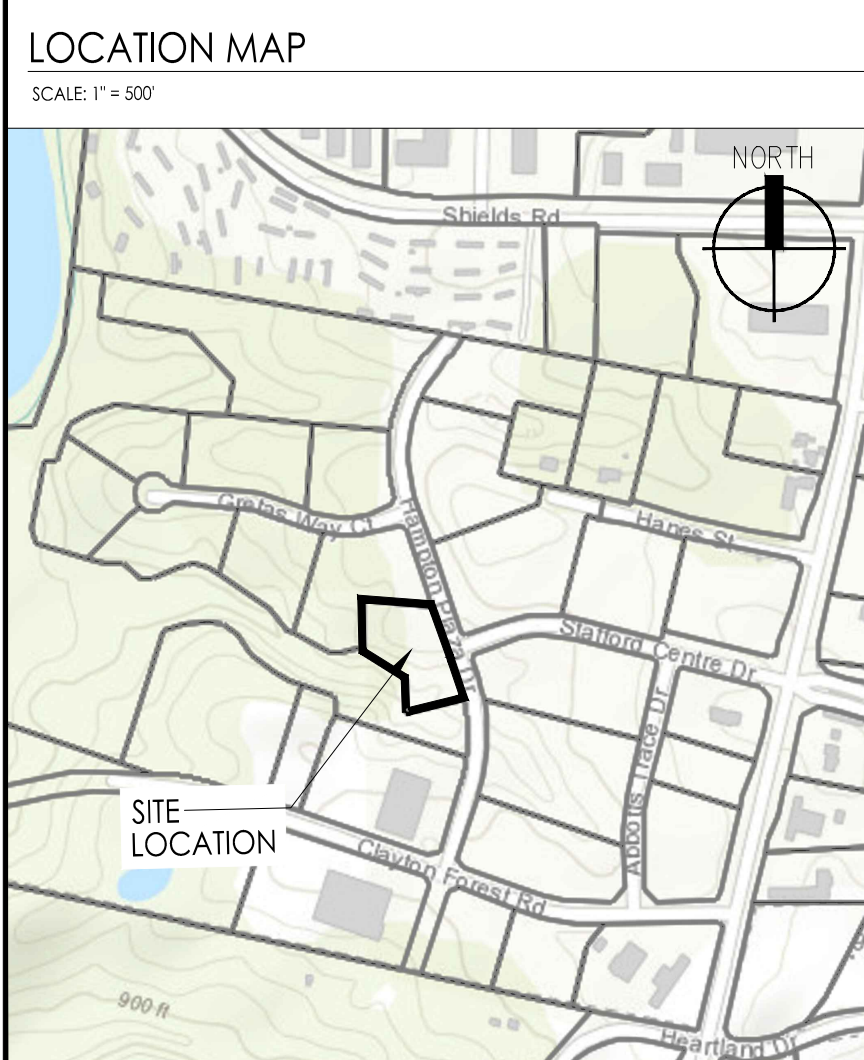
FRONT:	20'
SIDE (NORTH):	20'
SIDE (SOUTH):	20'
REAR:	40'
MAX. HEIGHT FOR ALL SETBACKS:	70'

**LANDSCAPING**

STREETYARD WIDTH FOR PARKING WITHIN 100' OF PUBLIC ROW:	10' ALONG HAMPTON PLAZA
REQUIRED PLANTING:	2 DECIDUOUS OR EVERGREEN TREES PER 100' OF STREET R.O.W & NATURAL SHRUBS OR FENCE OR BERM
COMMENTS:	NO PARKING SPACE TO BE MORE THAN 50' FROM TRUCK OF A TREE EXISTING AND PROPOSED TREES HAVE BEEN USED TO MEET THE STREET AND PARKING LOT TREE REQUIREMENTS. TEN (10) SHRUBS HAVE BEEN PROPOSED ALONG HAMPTON PLAZA DRIVE. EXISTING TREE HEIGHTS ARE APPROXIMATE.
NOTE:	TREE SURVEY WILL BE OBTAINED IF REQUIRED.

**PROJECT INFORMATION**

OWNER NAME:	LHR INDUSTRIES LLC
OWNER ADDRESS:	7895 WALTON PARKWAY, NEW ALBANY, OH. 43054
PETITIONER NAME:	DAVIE CONSTRUCTION CO.
PETITIONER ADDRESS:	152 KINDERTON WAY E, SUITE 200 BERMUDA RUN, NC 27006
ENGINEER NAME WHO PREPARED THE SITE PLAN:	BREC, A STRATUS TEAM COMPANY
ENGINEER ADDRESS WHO PREPARED THE SITE PLAN:	1405 CURTIS BRIDGE ROAD, SUITE 1, WILKESBORO, NC 28697
SURVEYOR NAME:	FOUR POINT SURVEYORS
SURVEYOR ADDRESS:	P.O. BOX 986 SUMMERFIELD, NC 27358
DATE OF SURVEY:	7/27/2023



**BREC**  
A Stratus Team Company  
1405 CURTIS BRIDGE ROAD, SUITE 1  
WILKESBORO, NC 28697  
PHONE (336) 844-4088

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#	DATE	DESCRIPTION

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**DR. HOCH VET SURGERY CLINIC**  
1470 HAMPTON PLAZA DR,  
KERNERSVILLE, NC, 27284

**PRELIMINARY SITE PLAN**

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Drawn: IC  
Checked: JC

PROJECT #: 2025-XXXX  
SHEET NO. **C100**

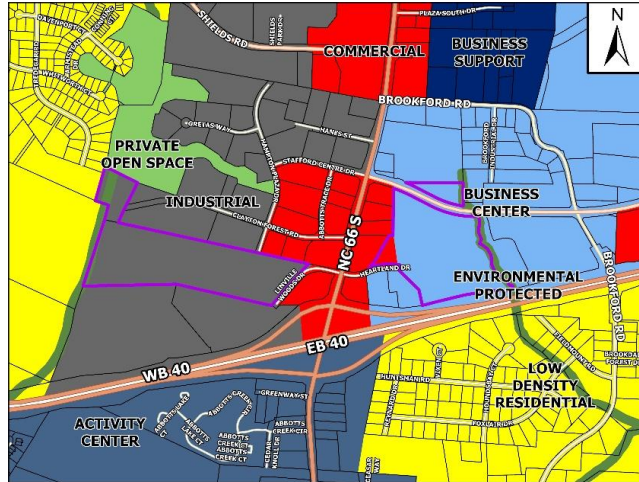
**STAFF REPORT**  
**KERNERSVILLE DEVELOPMENT PLAN**  
**LAND USE PLAN AMENDMENT**

**LAND USE PLAN AMENDMENT:**  
KDP-80

**PLANNING BOARD:**  
March 9, 2026

**PETITIONER:**  
Curtis Swisher,  
Agent for the Town of Kernersville

**LAND USE PLAN DESIGNATION:**  
**From:** *Business Center,  
Commercial, and Industrial*  
**To:** *Commercial*



**ACREAGE:** 54.695 +/- acres

**LOCATION OF PROPERTY:**

The properties are located on the east and west side of NC 66 S., sitting north of I-40 and includes the following PINs: 6885-63-9393.00, 6885-62-9741.00, 6885-42-1599.00, 6885-33-5228.00.

**ASSOCIATED REZONING CASE:** K-830

**From:** RS-12 (*Residential Single Family, Minimum Lot Size 12,000*) and RS-20 (*Residential Single Family, Minimum Lot Size 20,000*)  
**To:** GB-C (*General Business-Conditional*) – Two-Phase

**LAND USE PLAN FINDINGS:**

Case K-830 is a two-phase conditional rezoning from RS-12 and RS-20 to GB-C to allow for the following uses:

*Residential Building, Multifamily; Residential Building, Townhouse; Residential Building, Urban; Boarding or Rooming House; Combined Use; Congregate Care Facility; Family Group Home B; Family Group Home C; Fraternity or Sorority; Life Care Community; ABC Store; Arts and Crafts Studio; Brewery; Brewpub; Building Materials Supply; Convenience Store; Food or Drug Store; Furniture and Home Furnishings Store; General Merchandise Store; Hardware Store; Microbrewery; Motorcycle Dealer; Nursery, Lawn and Garden Supply Store, Retail; Outdoor Display Retail (over 2 acres); Restaurant (without drive-through service); Restaurant (with drive-through service); Retail Store, Specialty or Miscellaneous; Shopping Center; Wholesale Trade A; Banking and Financial Services; Bed and Breakfast; Building Contractors, General; Car Wash; Event Center; Funeral Home; Health Services, Miscellaneous; Hotel or Motel; Medical or Dental Laboratory; Medical and Surgical Offices; Motor Vehicle, Rental and Leasing; Motor Vehicle, Repair and Maintenance; Motor Vehicle, Body or Paint Shop; Nightclub; Non-store Retailer;*

*Offices, Miscellaneous; Professional Office; Service. Business A; Services, Personal, Testing and Research Lab; Veterinary Services; Warehousing; Recreation Services, Indoor; Recreation Services, Outdoor; Recreation Facility, Public; Theater, Indoor; Adult Day Care Center; Cemetery, Licensed; Cemetery, Unlicensed; Child Care (Drop-in); Child Care (Sick Children); Child Care Institution; Child Day Care Center; Church or Religious Institution, Community; Church or Religious Institution, Neighborhood; Club or Lodge; College or University; Government Offices; Habilitation Facility C; Hospital or Health Center; Vocational Training Facility; Library, Public; Museum or Art Gallery; Neighborhood Organization; Nursing Care Institution; Police or Fire Station; Post Office; School, Athletics; School, Private; School, Public; School, Vocational or Professional; Stadium, Coliseum, Exhibition Building; Manufacturing A; Access Easement, Private Off-site; Broadcast Studio; Helistop; Park and Shuttle Lot; Parking, Commercial; Terminal, Bus or Taxi; Utilities.*

Based on the rezoning request and requested uses, the *Land Use Plan (LUP)* should be evaluated to determine whether or not an amendment is warranted. Kernersville's practice, typically, is to consider an amendment to the *LUP* when reasonable if approving the rezoning. Based on the rezoning request for a two-phase conditional rezoning to General Business, "Commercial" is a likely nexus between the *LUP* and the requested zoning district.

The *LUP* currently designates the parcels encompassed in this rezoning request as "Industrial", "Commercial", and "Business Center." *LUP* designations in the vicinity of this site include "Business Center", "Industrial", "Commercial", and "Low-Density Residential." South of I-40, designations are "Activity Center" and "Low Density Residential."

The existing *LUP* designations are as follows:

**"Business Center"** – *"Intended to accommodate a wide variety of employment uses such as office, research, corporate park, and institutional and related uses. It requires a unified design scheme, including enhanced facades on the buildings, substantial surrounding landscaping, restrictive site lighting and signage, full screening of loading areas, and permits no outdoor storage."*

**"Industrial"** – *"Industrial areas have been established to provide areas for manufacturing, distribution, office, and business service provider uses. The areas also provide locations for business and office parks. The majority of the industrial boundaries follow roads and streams to assist in buffering industrial uses from adjacent properties."*

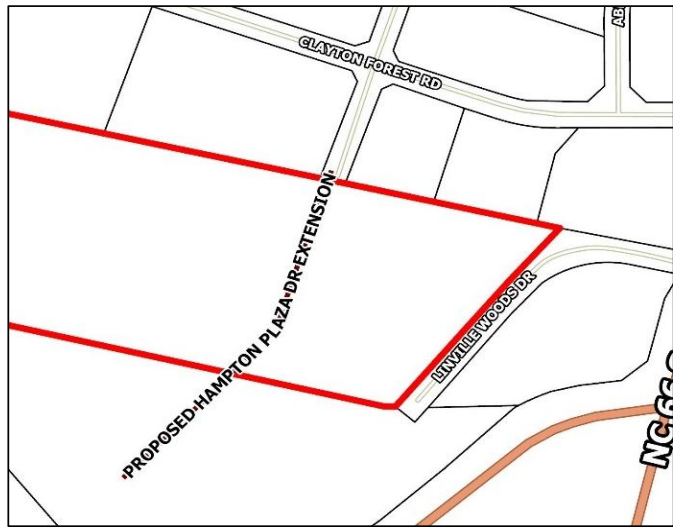
**"Commercial"** – *"Commercial areas have been established to provide for high traffic commercial areas. They are located in three separate areas and limited in size to prevent them from overburdening the capacity of the roads and distracting from Kernersville's small-town atmosphere."*

There are several applicable small area plans within the *LUP*. Impacting the request’s western side is the **NC 66 / Stafford Centre Commercial Center** which “was created by the Board of Aldermen to serve the commercial service needs of the light industrial, logistic, office, and medical businesses of the NC 66 South corridor. The commercial pocket promotes the concentration of commercial into pockets to discourage commercial rezoning in the Land Use Plan’s designated Industrial, Business Support, and Business Center areas.”

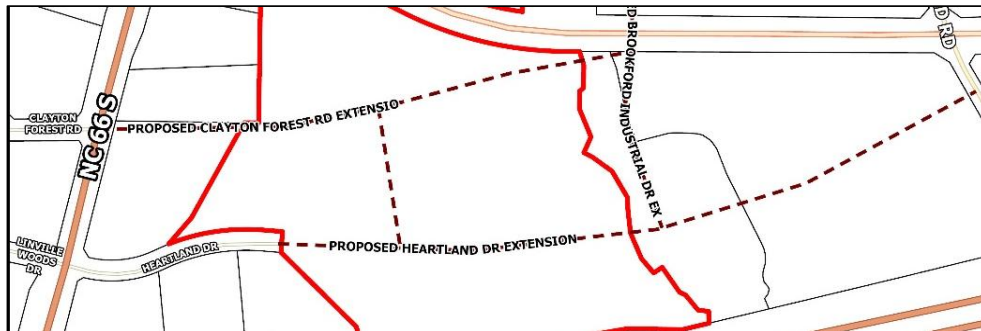
Then on the east side of NC 66, the request’s eastern side is impacted by the **I-40/NC 66 Interchange Northeast Quadrant**. This small area plan grew out of the I-40/NC 66 Corridor Study (1991), which identified this area for “corporate park and industrial type land uses.” The small area plan recommends retaining the designations that would support “high quality office and industrial development.”

**THOROUGHFARE AND STREET PLAN ANALYSIS:**

The *Thoroughfare and Street Plan* shows road improvements on both the eastern and western portions of this rezoning. On the western side, the Thoroughfare Plan considers an extension of Hampton Plaza Drive to the south, eventually intersecting with an extended Linville Woods Dr (shown at right; subject parcel in red).



On the eastern side, there are two proposed road extensions running east to west. One is the Clayton Forest Rd. extension, the other is a Heartland Drive extension; a connection between the two is also considered (shown below). With existing constraints – the Williams Gas Pipeline being the most restrictive on the applicant – an alternative design has been proposed that would meet the intent of providing alternative routes from NC 66 to Kernersville Medical Parkway. The applicant has shown, on their Form 2 site plan, extending Heartland Drive to Kernersville Medical Parkway to satisfy the need to alleviate pressure on the Kernersville Medical Parkway, Stafford Centre Dr., and NC 66 intersection.



Road improvements have been studied through the applicant's Traffic Impact Study (TIS). NCDOT has reviewed and approved the originally submitted TIS, which differed from the final Form 2 site plan proposal with the Heartland Drive public road extension. NCDOT has responded in writing that they feel that the improvements to NC 66 and associated intersections can be accommodated with the change to the Heartland Drive extension.

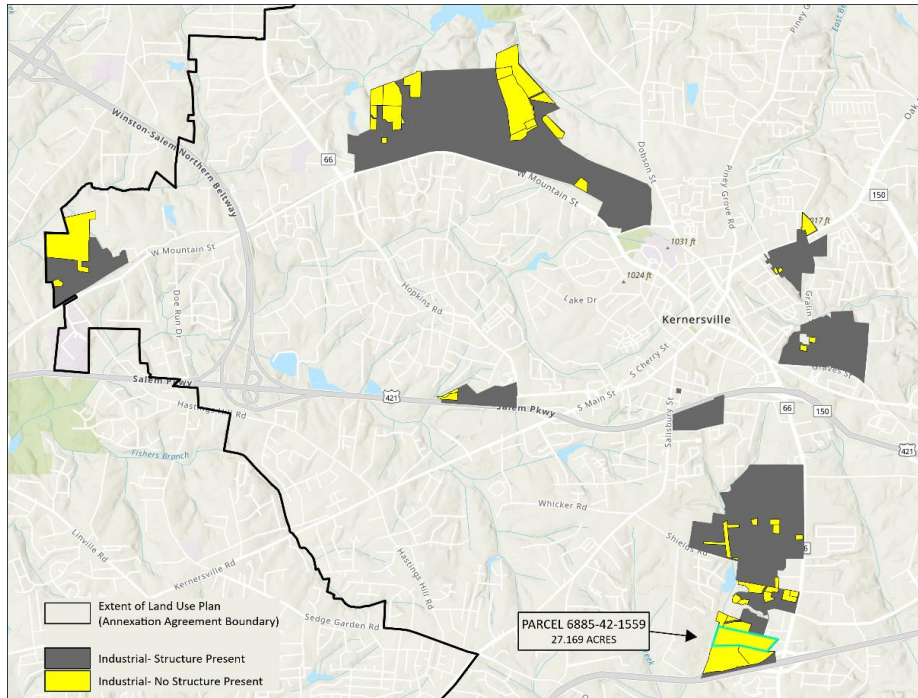
**STAFF ANALYSIS:**

For many years, the NC 66 South corridor between Salem Parkway/US 421 and I-40 has been the home of large commercial and industrial land uses. The commercial pockets have, naturally, been located closer to the highway interchanges, with some sporadic small retail and restaurant locations throughout the corridor. Many of these land uses, such as the Plaza Shopping Center, have existed for over twenty years. Newer iterations of commercial land uses in this corridor have been concentrated at local street intersections or have been part of the Stafford Centre planned development.

The southwestern quadrant of NC 66 and I-40 has a much larger range of existing uses. The "Activity Center" designation on the western side of NC 66 enabled more diverse land uses to develop over time. Anchored by the institutional uses of Piedmont Triad Regional Council and Bishop McGuinness High School at NC 66 and Old Salem Road, the area has transitioned from large lot single family residential into smaller lot single family residential and townhouses at Welden; apartments at Welden and Abbotts Creek, commercial at Welden, the former Better Business Bureau site, the Cone Health building, and Abbotts Creek as the "Activity Center" has been implemented. The southeastern quadrant of NC 66 and I-40 has remained largely low-density, single-family development, except for parcels right along NC 66.

In over thirty years of planning for the southern portion of the NC 66 corridor, a lot has changed. There have been some small lot commercial development outside of a larger planned development, and some *Land Use Plan* changes to support other institutional type uses (Room at the Inn, K-819) and high density multi-family with a commercial element (Macy Grove Apartments, K-803.A1; Kernersville Medical Parkway Apartments, K-823). Construction of Kernersville Medical Parkway and the development and subsequent expansion of Novant Hospital and the Veteran's Administration Healthcare Clinic are also changes that have furthered the implementation of the *LUP*. Amending the *LUP* and zoning designations for this area without a more refined scope does run the risk of opening up development that is not in conformance with the stated small area plans or what the community needs and values in this heavily industrialized corridor.

Changing the *LUP* solely based on an applicant's request could cause the continued erosion of dedicated areas for office and/or industrial land uses in a corridor primed and ready for these uses based on existing land uses. The parcels along Kernersville Medical Parkway have been intended for supporting medical and office uses, hence the designation as "Business Center." Land uses furthering the "Business Center" designation are ones that are employment creators in office, research, corporate park, institutional and related uses. Some of the uses requested with the rezoning may implement this; however, many of the uses are commercial in nature and may not provide the number or quality of jobs an office park could.



Additionally, removal of the “Industrial” land use designation would eliminate almost 10% of the land currently identified for future industrial purposes that are not currently developed. The map to the left shows the areas identified in the LUP as “Industrial”. The parcels in grey have a structure existing – whether or not it is currently being utilized for an industrial purpose. The parcels in yellow are

undeveloped sites. GIS reports that all of the industrial land without structures is approximately 312 acres; thus, the portion of the rezoning request on the western side of NC 66 is just shy of 10%. This represents a significant loss in area available for future industrial type zoning and land uses, especially in an area adjacent to Stafford Centre, which has a significant light industrial component and the same designation in the *LUP*.

Further, there are issues in extending the “Commercial” designation further off of the NC 66 South corridor. While Kernersville Medical Parkway is a large road, and may look similar to NC 66, which both have four travel lanes, it is designated as an arterial road and not designed to carry the volume of traffic that NC 66 does. In light of other uses that have been approved on Kernersville Medical Parkway, staff also wants to ensure that Kernersville Medical Parkway retains its capacity to prioritize emergency traffic.

While outside the scope of the *Kernersville Development Plan* staff report, the Aldermen might consider tailoring the requested use list (shown on page 1) to better fit the intent of the area as it has evolved from the initial adoption of the *Land Use Plan*. This might allow the change from three (3) separate *LUP* designations to two (2) distinct *LUP* designations and be flexible within the intentions of the small area plans. Thus, retaining the *LUP* designation of “Industrial” on the western side and acceptance of “Commercial” designation for the two properties on the eastern side of NC 66 South with a modified use list might be the best option to retain land for future industrial uses while also retaining sites that can host land uses that are either of a commercial or a business center nature.

**STAFF RECOMMENDATION:**

Approval of the attached resolution to designate the properties of PINs 6885-63-9393.00, 6885-62-9741.00 from "*Business Center*" and "*Commercial*" to "*Commercial*" and retain the designation of "*Industrial*" for PINs 6885-42-1599.00, 6885-33-5228.00, subject to rezoning approval of case K-830.

**RESOLUTION**

WHEREAS, the Town of Kernersville desires to have orderly growth to protect the health, safety and welfare of its residents and businesses; and

WHEREAS, the *Kernersville Development Plan* is the comprehensive plan for the community and contains the community planning elements of land use; transportation; community appearance; historic preservation; parks & recreation; environmental; financing of public improvements; and

WHEREAS, the *Kernersville Development Plan* has been duly adopted and amended; and

WHEREAS, community planning is a process that requires constant evaluation of the community situation and review of its plans; and

WHEREAS, a rezoning has been proposed that requires a review of the *Land Use Plan* to determine if modifications should be made; and

WHEREAS, the “*Business Center*” land use designation was established to “accommodate a wide variety of employment uses such as office, research, corporate park, and institutional and related uses” and many of these goals and purposes could be accomplished in a “*Commercial*” LUP designation through careful consideration of proposed uses in the associated two-phase rezoning (K-830); and

WHEREAS, the “*Industrial*” land use designation was established to “areas for manufacturing, distribution, office, and business service provider uses” and eliminating the land designated as “*Industrial*” would eliminate nearly 10% of the undeveloped land designated for future “*Industrial*” uses;

NOW, THEREFORE, BE IT RESOLVED, by the Mayor and Board of Aldermen of the Town of Kernersville to hereby amend the *Land Use Plan* by changing the properties of PINs 6885-63-9393.00, 6885-62-9741.00 from “*Business Center*” and “*Commercial*” to “*Commercial*” and retain the designation of “*Industrial*” for the properties of PINs 6885-42-1599.00, 6885-33-5228.00, subject to rezoning approval of case K-830.

\_\_\_\_\_  
Mayor Dawn H. Morgan

Attest

\_\_\_\_\_  
Town Clerk

**STAFF REPORT  
CONDITIONAL DISTRICT REZONING**

**ZONING DOCKET:** K-830

**PLANNING BOARD:** April 13, 2026

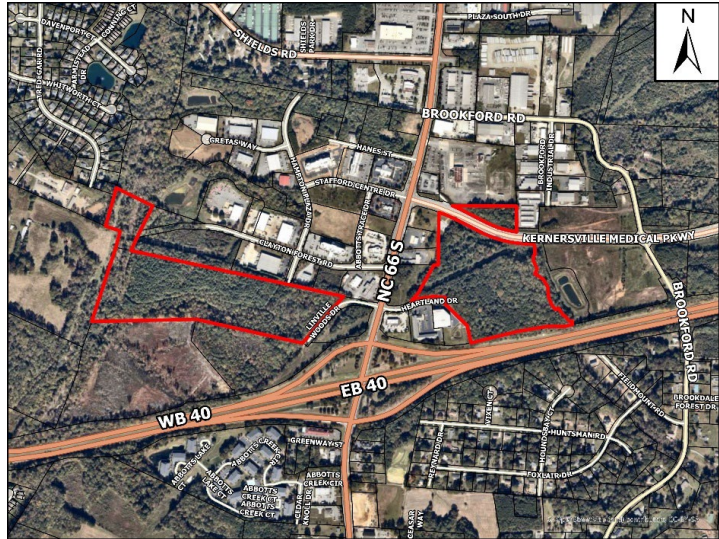
**PETITIONER:** Michael S. Fox,  
Attorney for Owner

**OWNER(S):** Linville Family, LLC

**PROPOSED ZONING  
AMENDMENT:**

**From:** RS-12 (*Residential Single Family, 12,000*), RS-20 (*Residential Single Family, 20,000*)

**To:** GB-C (*General Business – Conditional Two Phase*)



**PROPOSED USES GB-C:**

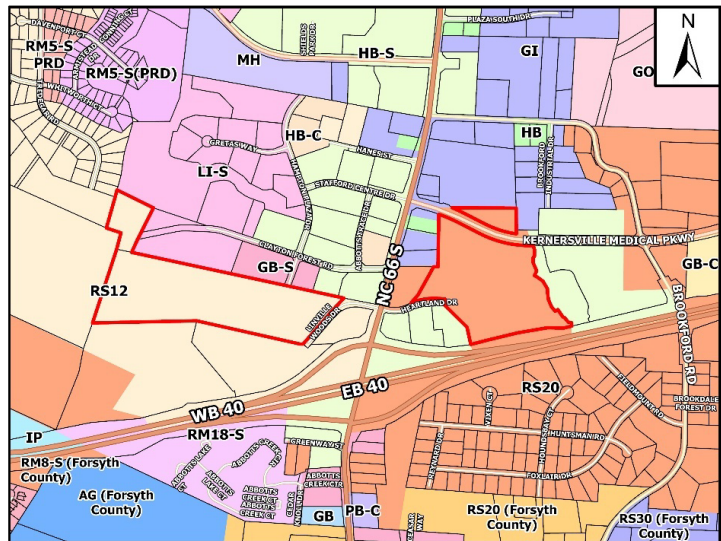
*Residential Building, Multifamily; Residential Building, Townhouse; Residential Building, Urban; Boarding or Rooming House; Combined Use; Congregate Care Facility; Family Group Home B; Family Group Home C; Fraternity or Sorority; Life Care Community; ABC Store; Arts and Crafts Studio; Brewery; Brewpub; Building Materials Supply; Convenience Store; Food or Drug Store; Furniture and Home Furnishings Store; General Merchandise Store; Hardware Store; Microbrewery; Motorcycle Dealer; Nursery, Lawn and Garden Supply Store, Retail; Outdoor Display Retail (over 2 acres); Restaurant (without drive-through service); Restaurant (with drive-through service); Retail Store, Specialty or Miscellaneous; Shopping Center; Wholesale Trade A; Banking and Financial Services; Bed and Breakfast; Building Contractors, General; Car Wash; Event Center; Funeral Home; Health Services, Miscellaneous; Hotel or Motel; Medical or Dental Laboratory; Medical and Surgical Offices; Motor Vehicle, Rental and Leasing; Motor Vehicle, Repair and Maintenance; Motor Vehicle, Body or Paint Shop; Nightclub; Non-store Retailer; Offices, Miscellaneous; Professional Office; Service, Business A; Services, Personal, Testing and Research Lab; Veterinary Services; Warehousing; Recreation Services, Indoor; Recreation Services, Outdoor; Recreation Facility, Public; Theater, Indoor; Adult Day Care Center; Cemetery, Licensed; Cemetery, Unlicensed; Child Care (Drop-in); Child Care (Sick Children); Child Care Institution; Child Day Care Center; Church or Religious Institution, Community; Church or Religious Institution, Neighborhood; Club or Lodge; College or University; Government Offices; Habilitation Facility C; Hospital or Health Center; Vocational Training Facility; Library, Public; Museum or Art Gallery; Neighborhood Organization; Nursing Care*

*Institution; Police or Fire Station; Post Office; School, Athletics; School, Private; School, Public; School, Vocational or Professional; Stadium, Coliseum, Exhibition Building; Manufacturing A; Access Easement, Private Off-site; Broadcast Studio; Helistop; Park and Shuttle Lot; Parking, Commercial; Terminal, Bus or Taxi; Utilities.*

**ACREAGE:** 54.695 +/-

**LOCATION OF PROPERTY AND RELATION TO EXISTING ZONING DISTRICTS:**

The properties are located on the east and west side of NC 66 S. and north of Interstate 40. All parcels are currently located within the Town of Kernersville Extraterritorial Jurisdiction (ETJ) and abut property within the Town of Kernersville limits. The rezoning request includes all of parcels 6885-62-9741, 6885-63-9393, 6885-42-1599, 6885-33-5228.



Surrounding properties are zoned as follows:

- North: *Limited Industrial - Special (LI-S), General Business - Special (GB-S), Highway Business - Special (HB-S), General Industrial (GI)*
- East: HB-S, LI-S, & GI
- South: RS-12 & HB-S
- West: RS-12, HB-S, & *Highway Business (HB)*

A contiguous annexation request has been submitted concurrently with this rezoning application.

**PURPOSE OF REZONING:**

This is a two-phase conditional rezoning from RS-20 (*Residential Single Family, 20,000 minimum lot size*) and RS-12 (*Residential Single Family, 12,000 minimum lot size*) to GB-C (*General Business – Conditional District*). During a two-phase petition, the Board of Aldermen consider granting the rezoning with conditions. The Board of Aldermen may determine the uses, public improvement needs, and additional conditions that would protect public health, safety and welfare of existing and future residents.

If the rezoning is approved, a Final Development Plan is submitted to the Planning Board for review and approval at the time the developer has designed a specific site plan to ensure that the Board of Aldermen’s approved conditions are met. Multiple Final Development Plans may be pursued for small planning areas of the rezoning.

## **USES**

*See Appendix B for list of the petitioner's requested uses and associated UDO definitions.*

The applicant has proposed a list of uses, which contains most of the uses allowed within a General Business (GB) district, primarily limiting the more intensive uses which are not allowed within the Highway Corridor Overlay District (HCOD). If approved, the applicant could request any of the listed uses during the Final Development Process and develop in accordance with that use and any adopted conditions. The *Land Use Plan*, as discussed further below, designates the subject parcels as “*Industrial*”, “*Commercial*”, and “*Business Center*.” In order to accommodate their desired uses, the *Land Use Plan* has been considered with KDP-80. Staff recommends modifying the designation of the land on the eastern side of NC 66 to “*Commercial*” and retaining the “*Industrial*” designation of the western side of NC 66.

As part of the KDP-80 staff report, staff suggested that the Aldermen consider eliminating some of the uses proposed with this rezoning to try to accomplish the small area plans and original intent of the *LUP*, particularly on the eastern side of NC 66 with the change from “*Business Support*” to “*Commercial*.” While several uses included are residential in nature, they do not fit within the “*Commercial*” or “*Industrial*” designations in the *LUP*, if adopted as presented by staff. Further, several uses are also not applicable uses that would implement the “*Commercial*” or “*Industrial*” designations. These specific land uses that would not implement the *LUP* as adopted and amended should be stricken.

The uses that do not implement the LUP designations are as follows:

*Residential Building, Multi-family; Residential Building, Townhouse; Residential Building, Urban; Boarding or Rooming House; Combined Use; Family Group Home B; Family Group Home C; Fraternity or Sorority; Bed and Breakfast; Cemetery, Licensed; Cemetery, Unlicensed; Habilitation Facility C; Neighborhood Organization; Police or Fire Station; Stadium, Coliseum, Exhibition Building; Access Easement Private Off-Site; Helistop; Park and Shuttle Lot; Parking, Commercial; Terminal, Bus or Taxi; Utilities.*

## **SITE PLAN**

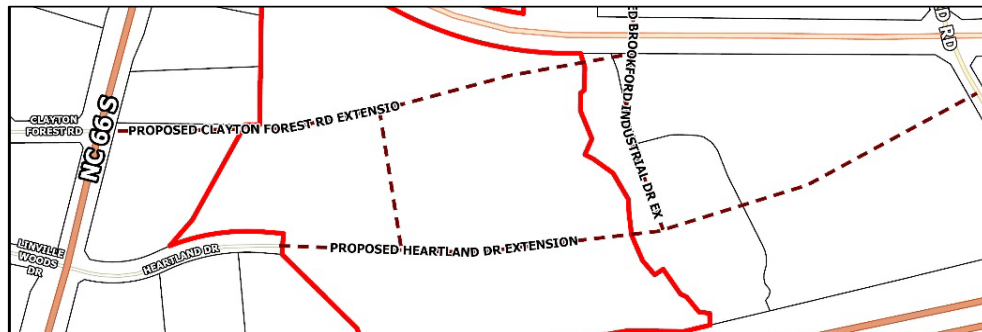
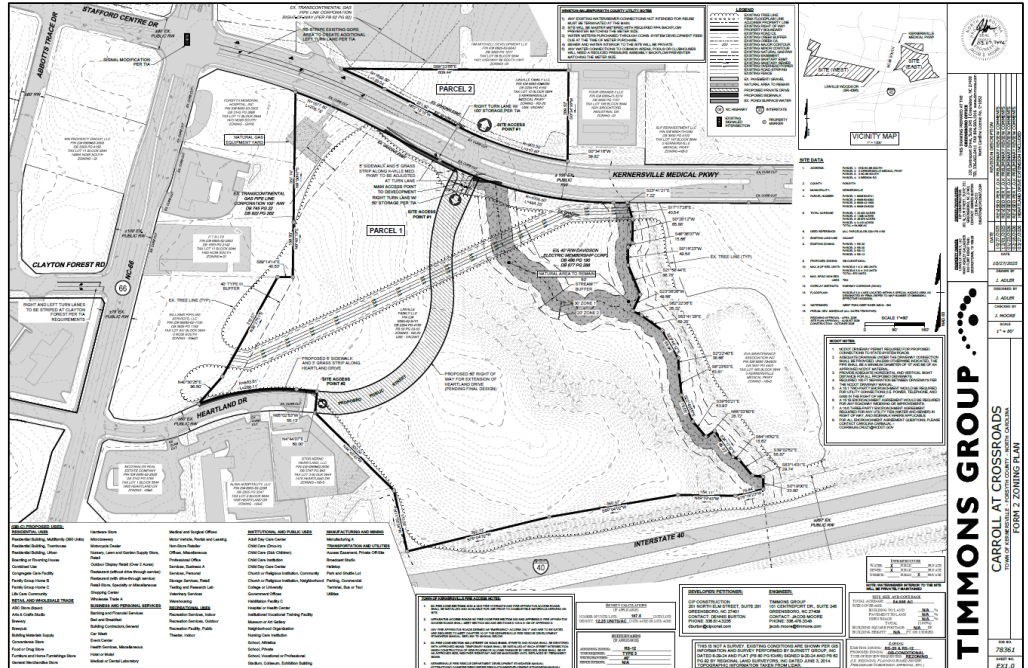
The rezoning request consists of four (4) separate parcels that combined totals 54.695+/- acres. The two-phase site plans – one for the eastern side and one for the western side – show preliminary lay outs for development. As noted above, a Final Development Plan is required when the applicant is ready to present a specific site plan showing the layout of the proposed development in more detail.

Eastern Side

The two parcels on the eastern side of NC 66 are roughly bounded by Heartland Dr., Kernersville Medical Parkway, and I-40. There is no frontage directly onto NC 66 by any parcels included in this request.

As noted in the KDP-80 staff report, the applicant is proposing to

extend Heartland Drive as a public street from its existing terminus to Kernersville Medical Parkway as an alternative to the Thoroughfare and Street Plans' proposed extension of Clayton Forest Rd. to Kernersville Medical Parkway and Heartland Dr.'s extension to Brookford Rd.

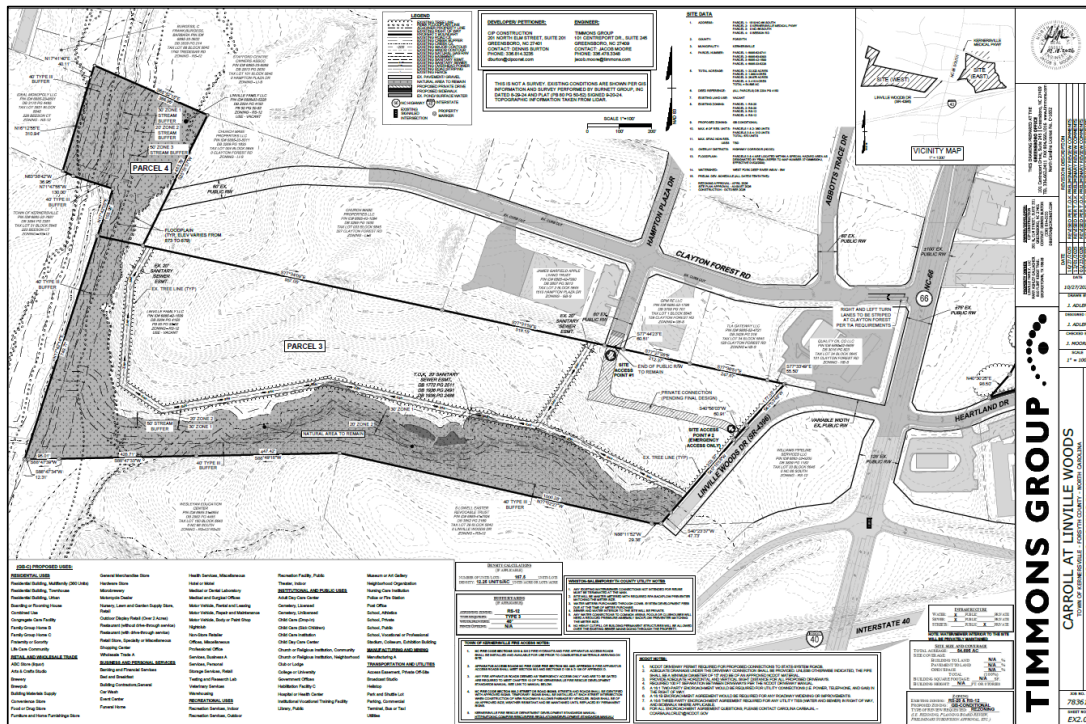


Forming almost a “Y” shape, there is a regulated stream along the eastern property line that the applicant notes as a “natural area to remain.” This will help provide a buffer to properties on the east while also meeting minimum environmental regulations for that regulated waterbody. Staff believes the public extension of Heartland Drive is more feasible than the extension of both

Heartland Drive and Clayton Forest Drive, and will alleviate pressure on the intersection at Kernersville Medical Parkway, NC 66 and Stafford Centre Dr. However, this proposal was proffered after the initial Traffic Impact Study (TIS) was performed, and road improvements at full build out are not fully known. NCDOT has reviewed this theoretical alignment and did not have any immediate concerns. A condition that the TIS be updated to reflect final proposed uses and the modifications proposed after the initial scope were set for the TIS at the time of the first Final Development Plan submittal is included in staff's proposed conditions.

Western Side

The parcels on the western side of NC 66 are shown in the site plan, below. It shows the primary access point as Hampton Plaza Drive with a secondary, but gated, access onto Linville Woods Drive. While the *Thoroughfare and Streets Plan* originally called for a north-south extension of Hampton Plaza Drive, an extension of Linville Woods Drive could accomplish the same intent and would avoid disturbing the regulated stream and stream buffer along the south property line. This would be a preferred alternative to avoid impacting sensitive and regulated water bodies.



The site is impacted along the southern and western property lines with environmental buffers. They are proposed to be undisturbed natural areas. Seen just above the gray, shaded areas is a public sewer easement. These will influence the final layout of the site when the applicant is preparing their final development plan.

The applicant has requested the consideration of medium and high density residential uses as part of the requested uses in the rezoning application. Staff is recommending these uses, and others, be stricken from the rezoning request in order to implement the designations of the Land Use Plan. However, if the uses remain, the applicant has included a note limiting the residential units on each portion of the rezoning request (shown below). The eastern side would be capped at 360 residential units; the western side would be capped at 310 units. This would become the maximum allowed number of residential units allowed at the subject parcels.

<b>MAX. # OF RES. UNITS:</b>	<b>PARCELS 1 &amp; 2: 360 UNITS</b>
	<b>PARCELS 3 &amp; 4: 310 UNITS</b>
	<b>TOTAL: 670 UNITS</b>
<b>MAX. SF/AC NON-RES.</b>	
<b>USES</b>	<b>TBD</b>

**BUILDING DESIGN AND OVERLAY DISTRICT**

The petitioner is not required to submit building elevations during the initial, first phase of the two-phase process. The detailed site plan and building elevations will be required for the second phase, the Final Development Plan submittal, subject to approval of this rezoning request.

The eastern parcels of this site are within the Highway Corridor Overlay District (HCOD) as designated along I-40 and Kernersville Medical Parkway. The HCOD has enhanced building design and site layout requirements, staff recommends including a condition that HCOD building design and site layout requirements apply to both western and eastern portions of this petition. Conformance with HCOD site and building design standards will be verified during the Final Development Plan process.

**KERNERSVILLE DEVELOPMENT PLAN:**  
**Land Use Plan & Thoroughfare and Street Plan**

Staff's evaluation of the Kernersville Development Plan can be found in KDP-80. The text below is pulled from the staff report; however, for entire analysis, please refer to the associated staff report.

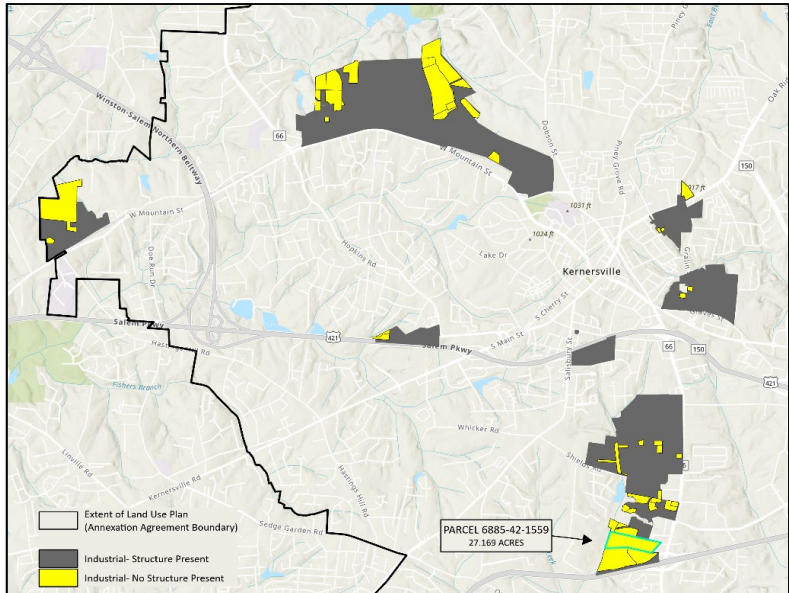
For many years, the NC 66 South corridor between Salem Parkway/US 421 and I-40 has been the home of large commercial and industrial land uses. The commercial pockets have, naturally, been located closer to the highway interchanges, with some sporadic small retail and restaurant locations throughout the corridor. Many of these land uses, such as the Plaza Shopping Center, have existed for over twenty years. Newer iterations of commercial land uses in this corridor have been concentrated at local street intersections or have been part of the Stafford Centre planned development.

The southwestern quadrant of NC 66 and I-40 has a much larger range of existing uses. The “*Activity Center*” designation on the western side of NC 66 enabled more diverse land uses to develop over time. Anchored by the institutional uses of Piedmont Triad Regional Council and Bishop McGuinness High School at NC 66 and Old Salem Road, the area has transitioned from large lot single family residential into smaller lot single family residential and townhouses at Welden; apartments at Welden and Abbotts Creek, commercial at Welden, the former Better Business Bureau site, the Cone Health building, and Abbotts Creek as the “*Activity Center*” has been implemented. The southeastern quadrant of NC 66 and I-40 has remained largely low-density, single-family development, except for parcels right along NC 66.

In over thirty years of planning for the southern portion of the NC 66 corridor, a lot has changed. There have been some small lot commercial development outside of a larger planned development, and some *Land Use Plan* changes to support other institutional type uses (Room at the Inn, K-819) and high density multi-family with a commercial element (Macy Grove Apartments, K-803.A1; Kernersville Medical Parkway Apartments, K-823). Construction of Kernersville Medical Parkway and the development and expansion of Novant Hospital and the Veteran’s Administration Healthcare Clinic are also changes that have furthered the implementation of the *LUP*. Amending the *LUP* and zoning designations for this area without a more refined scope does run the risk of opening up development that is not in conformance with the stated small area plans or what the community needs and values in this heavily industrialized corridor.

Changing the *LUP* solely based on an applicant’s request could cause the continued erosion of dedicated areas for office and/or industrial land uses in a corridor primed and ready for these uses based on existing land uses. The parcels along Kernersville Medical Parkway have been intended for supporting medical and office uses, hence the designation as “*Business Center*.” Land uses furthering the “*Business Center*” designation are ones that are employment creators in office, research, corporate park, institutional and related uses. Some of the uses requested with the rezoning may implement this; however, many of the uses are commercial in nature and may not provide the number or quality of jobs an office park could.

Additionally, removal of the “Industrial” land use designation would eliminate almost 10% of the land currently identified for future industrial purposes that are not currently developed. The map to the left shows the areas identified in the LUP as “Industrial”. The parcels in grey have a structure existing – whether or not it is currently being utilized for an industrial purpose. The parcels in yellow are undeveloped sites. GIS reports that all of the industrial land without structures is approximately 312 acres; thus, the portion of the rezoning request on the western side of NC 66 is just shy of 10%. This represents a significant loss in area available for future industrial type zoning and land uses, especially in an area adjacent to Stafford Centre, which has a significant light industrial component and the same designation in the LUP.



Further, there are issues in extending the “Commercial” designation further off of the NC 66 South corridor. While Kerner Medical Parkway is a large road, and may look similar to NC 66, which both have four travel lanes, it is designated as an arterial road and not designed to carry the volume of traffic that NC 66 does. In light of other uses that have been approved on Kerner Medical Parkway, staff also wants to ensure that Kerner Medical Parkway retains its capacity to prioritize emergency traffic.

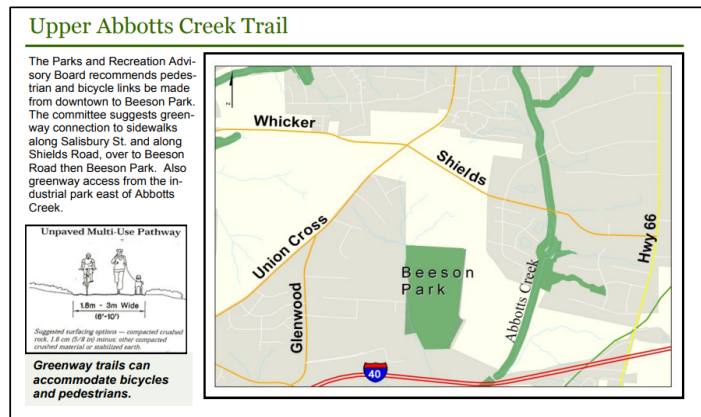
The applicant is proposing to meet the intent of the *Thoroughfare and Streets Plan* with alternative designs on both the east and west side of NC 66 South. There are constraints – whether environmental or utility – that prevent implementation of the adopted *Thoroughfare and Streets Plan* as adopted. However, the alternatives do seek to provide some of the same connections, meeting the intent of the *Plan*. On the northwestern parcel, PIN 6885-33-5228, the *Thoroughfare and Streets Plan* contemplates an extension of Clayton Forest Drive to bisect the parcel. The applicant has discussed the idea of a donation of all or part of this property, which is nearly entirely encumbered by floodplain, to the Town of Kerner for support of a connection to Ivey Redmon Sports Complex in the future. This would require an extension of the existing Clayton Forest Rd. and a floodplain crossing, and the details of a proposed connection are outside the scope of this report. Acceptance of this dedication is entirely the discretion of the Board of Aldermen.

While it was outside the scope of the KDP-80 staff report, staff recommends the as part of the consolidation of LUP designations, the Aldermen consider striking some of the proposed uses in

order to implement the *LUP* designations. This might allow flexibility within the intentions of the small area plans to accommodate many of the remaining, requested uses. Thus, retaining the *LUP* designation of “*Industrial*” on the western side and acceptance of “*Commercial*” designation for the two properties on the eastern side of NC 66 with a modified use list might be the best option to retain land for future industrial uses while also providing opportunities for development of a commercial or a business center nature.

### **PEDESTRIAN AND BIKE PLAN**

The *Pedestrian and Bike Plan*, adopted in 2007, describes the community desires for growth in regards to personal transportation. One of the many goals of this plan is to “create safe, convenient, and attractive connections between all neighborhoods, schools, businesses, churches, parks, and other recreational facilities.” It also broadly states a desire to increase the community atmosphere and physical interconnectedness of Kernersville by encouraging the development of



pedestrian pathways “via a system of greenways and bicycle lanes.” The *Pedestrian and Bike Plan* includes a Greenway Plan map which indicates the future greenway areas established to pursue these goals. A segment of the Upper Abbots Creek Trail greenway is shown on the Greenway Plan map along the western boundary of the western parcels (PINs 6885-42-1599 & 6885-33-5228) of this rezoning. The goal of this greenway is to connect downtown to Ivey Redmon Sports Complex. See the provided excerpt from the *Pedestrian and Bike Plan*.

While the site plan does not show any proposed greenway easement, this can be shown on any Final Development Plans. The benefit of waiting is to have a greater understand of the constructability of the greenway segment and see it in light of the proposed development. If the Board wishes to approve this rezoning, staff recommends adding a condition requiring this greenway easement be shown on subject Final Development Plan(s) and dedicated at time of final plat. UDO Article 10 Section 10.2.1(E)(2) states, “Where a proposed greenway, park, playground, school or other public use as shown on adopted plans and studies is located within an area proposed for subdivision, the Board of Aldermen may require reservation of the area or dedication of an easement for such use of an area within the subdivision.”

Further pedestrian connections, such as sidewalks, are also not included in the submitted site plan as required in the Form 2 Site Plan Requirements of UDO Article 6 Section 6.1.4. The Form 2 encompasses the minimum required elements for site plans submitted for the first phase of any two-phase rezoning petition. The standards require that all existing and proposed sidewalks be shown on the site plan. As no sidewalks are shown, staff also recommends adding a condition that

sidewalks are constructed along all public streets constructed and along at least one side of any private drives.

### **TRANSPORTATION**

The applicant submitted a Traffic Impact Study (TIS), sometimes referred to as a Traffic Impact Analysis (TIA) with their initial request. The TIS details different recommended road improvements for the project, and takes into account the amount of increased traffic as project sites build out based on a chosen scenario. The TIS utilized and stated the following to determine their trip counts: “The proposed development will consist of 360 multi-family units east of NC 66 and 320 multi-family units west of NC 66, totaling 680 multi-family units.” This is ten (10) units more than shown on the site plans as the maximum threshold for residential units. The petitioner shows the following improvements as stated in the TIS:

1. No necessary improvements needed at the intersection of Hampton Plaza Drive and Clayton Forest Drive.
2. Striping of right and left turn lanes at the intersection of Clayton Forest Road and NC 66 S.
3. No recommend improvements at the intersection of Heartland Drive and NC 66 S.
4. Signal modification at the NC 66 S., Stafford Centre Drive, and Kernersville Medical Parkway intersection.
5. Addition of a left turn lane going south from Kernersville Medical Parkway onto NC 66 S.
6. Addition of a right turn lane with 100’ of storage going east on Kernersville Medical Parkway to turn into the development.

The TIS was reviewed and approved by NCDOT as sufficient for the necessary increased traffic if the development is approved and fully built out as shown. That being said, the initial recommendations in the TIS did not conform to the *Thoroughfare and Streets Plan* and the changes did not appear to provide reasonable alternatives. The applicant worked with staff to provide a compromise in order to more closely meet the recommendations in the *Plan*. Because the proffered extension of Heartland Drive to Kernersville Medical Parkway was not included in the original scope of the TIS, and because the scope of the TIS only included one use (high density residential), staff has proposed a condition to require the TIS be updated prior to submittal of any Final Development Plans. This would allow the applicant to show the newly proposed road extension, update for the final uses the applicant will be proposing, and adjust for any other scope changes. This could affect the itemized improvements numbered 1-6 above; it might add or eliminate improvements to the NC 66 corridor and the intersecting streets based on the extension of Heartland Drive and final use(s) proposed.

NCDOT is aware of the proposal to extend Heartland Drive to Kernersville Medical Parkway and did not have immediate concerns. Specific improvements to intersections and roadways will be required to be shown on Final Development Plans. However, staff does know that with the intention to extend Heartland Drive to Kernersville Medical Parkway, NCDOT will require the intersection of NC 66 at Heartland and Linville Woods Drives be changed to a reduced conflict intersection. This was discussed as part of a Development Review Committee meeting and

provided in comments to the applicant. The details of that reduced conflict intersection would have to be shown on the Final Development Plans.

### **PROPOSED ANNEXATION**

Alongside this rezoning, a voluntary annexation petition has been submitted by the applicant. Staff believes that if the Board wishes to pursue approval of this rezoning, it is important to gain the benefits of annexing the site into the town. The added tax value will aid in maintaining road infrastructure that will be utilized by the site per the submitted site plan. The Town of Kernersville maintains Kernersville Medical Parkway, Heartland Drive, Stafford Centre Drive, Clayton Forest Road, and Hampton Plaza Drive. Furthermore, the Town will be in a position to better equip itself for the future economic growth of this rezoning area with the increased revenue—particularly to pursue future improvements noted within the *Kernersville Development Plan*. Annexation of a future “*Commercial*” or “*Industrial*” area benefits the Town because of the future job opportunities which may be developed. Jobs in the area will further stimulate the growing economy of southern Kernersville and encourage diverse opportunities for work, leisure, and residence.

### **WATERSHED AND FLOODPLAIN**

The property is located within the Lower Abbots Creek Watershed.

Western Site: Stormwater generally flows to the southwest. There are streams on the west and south side of property. The stream on the west side of the property is Abbots Creek and has a regulated 100-foot stream buffer and a regulated floodplain. The stream on the south side of the property has a regulated 50-foot buffer.

Eastern Site: Stormwater generally flows to the east. There are streams on the east side of property. The streams on have a regulated 50-foot buffer.

This project would be subject to the Town of Kernersville Watershed, Stormwater, Buffer and Floodplain Ordinances.

The proposed development will be utilizing the high-density stormwater development option. High-density stormwater development is development that has added greater than 24% built-upon area (BUA) and has a density higher than 2 units/acre.

High density projects are required to install engineered stormwater control measures (SCMs) to treat stormwater prior to discharging from the site. The final design of the SCMs will be sized and located to accommodate drainage areas and impervious surfaces as required. The final site configuration and road alignment shall accommodate 3:1 slopes and outlet locations that provide diffused flow into stream buffers.

### **STAFF SUMMARY AND ANALYSIS:**

This request is to rezone 54.695 acres +/- from RS-12 & RS-20 to GB-C through a two-phase conditional rezoning process. The site consists of four parcels, two on each side of NC 66 S. Supplemental to this petition is a petition for annexation into the Town of Kernersville. The

rezoning petition includes many proposed uses allowed within the GB zoning district and within the Highway Corridor Overlay District (HCOD).

The site plans, while broad at this stage of the rezoning process, have aspects that do not meet the Town of Kernersville's development standards. Provision of sidewalks is not clear, and right-of-way dedication for a future greenway is not provided. While it could be done later, it isn't shown now, meeting the Form 2 site plan requirements. Further, the extent of the transportation improvements is still unknown. The applicant, though requesting 90 uses to be allowed in the rezoning ordinance, only ran the models on the TIS with one use. Since the TIS was completed and submitted, the applicant has also modified the proposed road improvements to meet the Town of Kernersville's expectations regarding connectivity in the *Thoroughfare and Street Plan*. The specificity of improvements to individual intersections is unknown, as well as future traffic volume. All of these are impacted by the uses and the layout of the site.

In order to best implement a modified *Land Use Plan*, staff recommends limiting the uses to those that will best advance the application of the *Land Use Plan*. In order to preserve land dedicated to industrial uses as well as support the commercial designation and the existing industry in the area, the use list has been modified to remove residential and other supportive housing uses, as well as other uses that would be incompatible in this location.

**RECOMMENDATION:**

**Rezoning:** Approval of the following motion:

Move to recommend approval of the requested rezoning and amendment to the Unified Development Ordinance of the Town for case K-830. The said rezoning being consistent with the Town's Comprehensive Plan, *Kernersville Development Plan*, as proposed in KDP-80, and further being in the public interest because:

1. Road improvements will make the NC 66 South corridor safer and more efficient.
2. The petitioner requested a Conditional District rezoning Two-Phase to allow a specific site plan to be considered with subsequent requirement of detailed FDPs to be submitted for Planning Board's review in order to ensure development is consistent with all requirements of proposed conditions and as required by the Unified Development Ordinance.
3. The petitioner's plan and annexation will increase the tax revenue of the Town of Kernersville and encourage further economic growth through the southern portion of town.

**Site Plan:** Approval with the following conditions:

**Land Uses**

1. *Congregate Care Facility; Life Care Community; ABC Store; Arts and Crafts Studio; Brewery; Brewpub; Building Materials Supply; Convenience Store; Food or Drug Store; Furniture and Home Furnishings Store; General Merchandise Store; Hardware Store; Microbrewery; Motorcycle Dealer; Nursery, Lawn and Garden Supply Store, Retail; Outdoor Display Retail (over 2 acres); Restaurant (without drive-through service);*

*Restaurant (with drive-through service); Retail Store, Specialty or Miscellaneous; Shopping Center; Wholesale Trade A; Banking and Financial Services; Building Constructors, General; Car Wash; Event Center; Funeral Home; Health Services, Miscellaneous; Hotel or Motel; Medical or Dental Laboratory; Medical and Surgical Offices; Motor Vehicle, Rental and Leasing; Motor Vehicle, Repair and Maintenance; Motor Vehicle, Body or Paint Shop; Nightclub; Non-store Retailer; Offices, Miscellaneous; Professional Office; Service, Business A; Services, Personal, Testing and Research Lab; Veterinary Services; Warehousing; Recreation Services, Indoor; Recreation Services, Outdoor; Recreation Facility, Public; Theater, Indoor; Adult Day Care Center; Child Care (Drop-in); Child Care (Sick Children); Child Care Institution; Child Day Care Center; Church or Religious Institution, Community; Church or Religious Institution, Neighborhood; Club or Lodge; College or University; Government Offices; Hospital or Health Center; Vocational Training Facility; Library, Public; Museum or Art Gallery; Nursing Care Institution; Post Office; School, Athletics; School, Private; School, Public; School, Vocational or Professional; Broadcast Studio.*

**Overlay District Design Standards**

2. Development of this site, regardless of future subdivisions, shall conform with Building and Site Design standards of the Highway Corridor Overlay District as seen in UDO Article 3 Section 3.10.7(C) and UDO Article 3 Section 3.10.7(D).
  
3. Building elevations with exhibits identifying architectural style, color(s), and construction materials which meet the design standards of the Highway Corridor Overlay District as described in UDO Article 3 Section 3.10.7(C) shall be submitted at the time of preliminary submittal of the Final Development Plan(s).

**Annexation**

4. Site shall be annexed into the Town of Kernersville prior to submittal of Final Development Plan.

**Environmental**

5. Area(s) noted as “Natural Area to Remain”, shown on Appendix A, shall be shown, noted, and recorded on the final plat.

**Easements**

6. Written, express approval shall be obtained from any easement holder(s) if any work pursued under this rezoning will have any impact to or on any proposed or existing easement. This shall apply to any easement within the subject rezoning parcel(s) or easements which may be impacted by the development of subject rezoning parcels such as but not limited to gaining access to the site. This approval shall be obtained prior to and submitted with preliminary submittal of Final Development Plan(s).

7. Written, express approval shall be obtained from the holder of Transcontinental Gas Pipe Line Right of Way for any construction and or construction activity whether temporary or permanent which is proposed within said Right of Way. This shall be obtained prior to and submitted with preliminary submittal of Final Development Plan(s).
8. A sealed as-built survey shall be submitted prior to foundation pour for any structure located within 5' of any existing or proposed easement to verify that structures do not encroach upon the easement.

**Construction Sequencing**

9. Phasing plan shall be submitted at time of preliminary submittal of Final Development Plan(s).

**Roads and Streets**

10. Prior to the submittal of the any Final Development Plan, the applicant shall submit an updated TIS showing the revised street network and modeled on the specific, proposed uses for each area encompassed in the Final Development Plan being submitted.
11. In accordance with the *Kernersville Development Plan* and the *Design and Construction Specifications Manual*, all streets are required to be built to Town of Kernersville standards whether public or private. Streets meeting the requirements of the *Thoroughfare and Street Plan* shall be public.
12. The applicant shall consider dedicating a minimum 60' right-of-way to the Town of Kernersville for the future Clayton Forest extension through PIN 6885-33-5228 as shown in the adopted *Thoroughfare and Street Plan*. This shall be shown on any future Final Development Plans and recorded at final plat.
13. Future parking lot connections or stub outs shall be shown wherever possible and feasible to any future parking areas or driveways to adjacent properties.

**Landscaping, Bufferyards, Greenspace and Streetyard**

14. A public greenway easement shall be dedicated along Abbotts Creek within PIN 6885-42-1599 and 6885-33-5228 in accordance with the *Greenway Plan* of the *Kernersville Development Plan*.

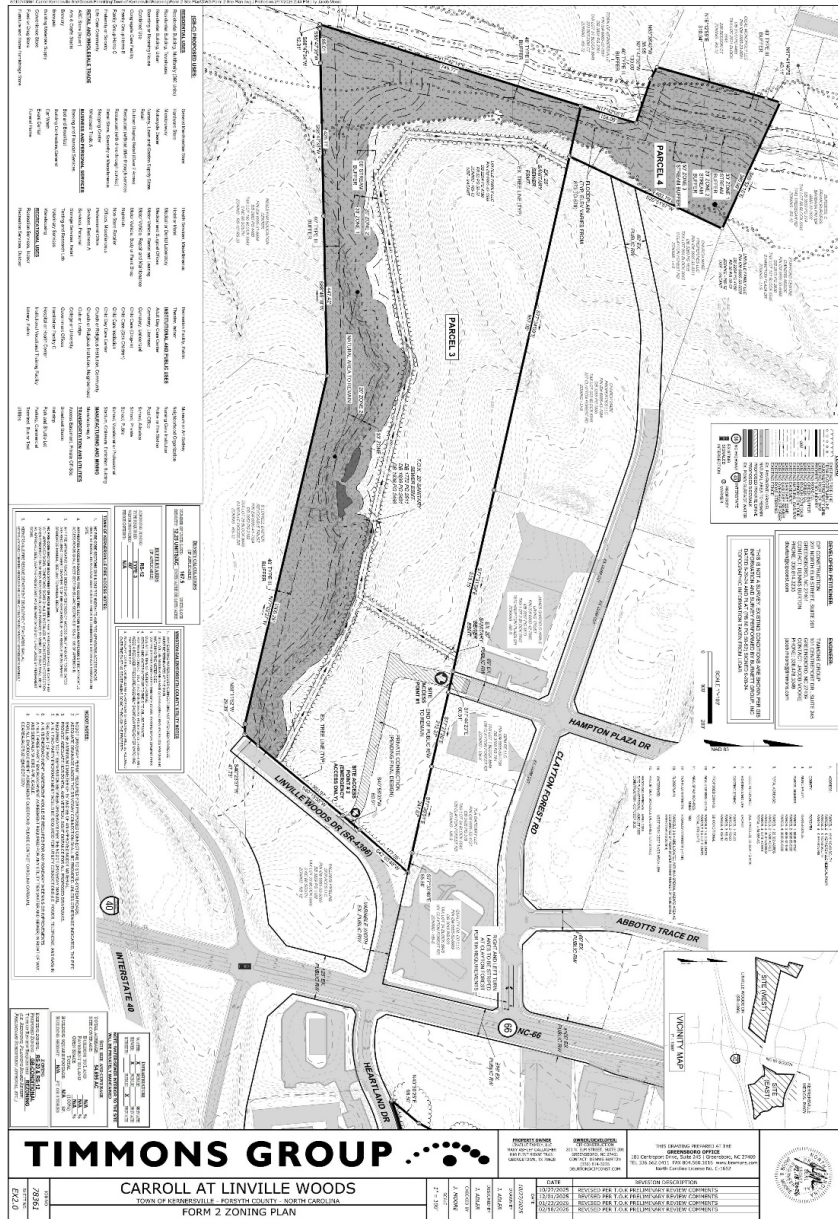
**Lighting**

15. Lighting plans shall be required at the time of Final Development plan based on the proposed development. The lighting for the project shall be designed to provide adequate pedestrian lighting and dissipate at the property line. Light fixtures shall be downward directed fully shielded.

**Site Plan**

16. Final Development Plan(s) shall be consistent with the two-phase rezoning plan prepared by Timmons Engineering entitled “Carroll at Linville Woods,” dated October 27, 2025 and updated through February 18, 2026 and “Carroll at Crossroads”, dated October 27, 2025 and updated through March 27, 2026. as shown in Appendix A.

# Appendix A





## Appendix B

RESIDENTIAL BUILDING, MULTIFAMILY. A residential building which contains three (3) or more dwelling units and which occupies one zoning lot. This term includes single room occupancy (SRO) facilities.

RESIDENTIAL BUILDING, TOWNHOUSE. A residential building which contains three (3) or more dwelling units; each unit occupies one zoning lot.

RESIDENTIAL BUILDING, URBAN. A residential building which contains two (2) or more dwelling units and is located within the Town of Kernersville. All land within the project site shall be in single, multiple, or joint ownership, and if dwelling units are for sale, all land in common open space shall be owned by a nonprofit corporation in which all owners of property within the development have automatic membership rights and assessment obligations for the maintenance of these areas.

BOARDING OR ROOMING HOUSE. An owner-occupied dwelling, or part thereof, in which lodging is provided to more than three (3) but not more than eight (8) paying guests on a weekly or longer basis

COMBINED USE. A principal building which is used for any combination of dwelling unit(s), including single family, duplex and multifamily, and any other use(s) permitted in the zoning district.

CONGREGATE CARE FACILITY. A type of elderly housing, as defined by this Ordinance, which consists of one or more structures used to provide housing; part-time medical care, housekeeping, and personal care; and shared food preparation, dining, recreational, and social facilities. Congregate care facilities do not include nursing care institutions or similar institutions devoted primarily to the care of the chronically ill or incurable.

FAMILY GROUP HOME B. A transitional housing facility with support and supervisory personnel licensed by the State of North Carolina or operated by a nonprofit corporation chartered pursuant to Chapter 55A, North Carolina General Statutes, which provides room and board, personal care and rehabilitation services in a supportive family environment for not more than twelve (12) residents, exclusive of supervisory personnel, including but not limited to, handicapped persons, older adults, foster children, abused individuals, homeless persons, and those recovering from drug or alcohol abuse. This use shall not serve primarily as an alternative to incarceration, shall not include individuals who are dangerous to others, as defined in North Carolina General Statute 122C3-(11)b, and shall not include persons living together as a fraternal, sororal, social, honorary, or professional organization.

FAMILY GROUP HOME C. A transitional housing facility with support and supervisory personnel licensed by the State of North Carolina or operated by a nonprofit corporation chartered pursuant to Chapter 55A, North Carolina General Statutes, which provides room and

board, personal care and rehabilitation services in a supportive family environment for not more than twenty (20) residents, exclusive of supervisory personnel, including but not limited to, handicapped persons, older adults, foster children, abused individuals, homeless persons, and those recovering from drug or alcohol abuse. This use shall not serve primarily as an alternative to incarceration, shall not include individuals who are dangerous to others, as defined in North Carolina General Statute 122C3-(11)b, and shall not include persons living together as a fraternal, sororal, social, honorary, or professional organization.

**FRATERNITY OR SORORTIY.** A residence occupied by and maintained for the use of fraternal, sororal, social, honorary, or professional organizations.

**LIFE CARE COMMUNITY.** An area of land under unified ownership planned and developed as a unit to provide for the transitional residency and care of persons aged fifty-five (55) years or older and/or handicapped. Life care communities may offer a full range of living and care arrangements, including independent living in attached or detached dwelling units, assisted living in congregate care facilities, and full-time health care in nursing care institutions.

**ABC STORE.** An establishment run by the Alcoholic Beverage Control Board selling alcoholic beverages.

**ARTS AND CRAFTS STUDIO.** The creation of objects in a studio, made one at a time, by hand. Such creation includes, but is not limited to, woodworking, tin-smithing, silver-smithing, pottery throwing, glass blowing, painting, weaving, caning, metal working, and sculpting.

**BREW PUB.** An eating and drinking establishment that produces less than 15,000 barrels of malt beverages per year.

**BREWERY.** A facility that contains a taproom and/or brewpub and produces more than 15,000 barrels of beer per year and sells the majority of the beer it produces for off-site resale and consumption.

**BUILDING MATERIALS SUPPLY.** An establishment engaged in selling lumber and a general line of building materials and hardware to the public. This definition includes all uses in the following SIC group:

521 Lumber and Other Building Materials

**CONVENIENCE STORE.** Any retail establishment offering for sale any combination of gasoline, diesel fuel, kerosene, automotive products, prepackaged food products, household items, and/or other goods commonly associated with the same and having a gross floor area of less than five thousand (5,000) square feet.

**FOOD OR DRUG STORE.** An establishment primarily engaged in selling food for home preparation and consumption, or prescription drugs, nonprescription medicines, and related lines. This definition includes all uses in the following SIC groups:

54 Food Stores  
591 Drug Stores and Proprietary Stores

FURNITURE AND HOME FURNISHINGS STORE. An establishment primarily engaged in the retail sale of new or used household furniture, floor coverings, draperies, curtains, and upholstery materials, and miscellaneous home furnishings such as bedding and linens, lamps and shades, mirrors, venetian blinds, and window shades. This definition includes all uses in the following SIC group:

57 Furniture and Home-furnishings Stores

GENERAL MERCHANDISE STORE. An establishment primarily engaged in selling a number of lines of merchandise. This definition includes all uses in the following SIC groups:

523 Paint, Glass, and Wallpaper Stores  
53 General Merchandise Stores  
553 Auto and Home Supply Stores  
56 Apparel and Accessory Stores  
572 Household Appliance Stores  
573 Radio, Television, and Computer Stores

HARDWARE STORE. An establishment primarily engaged in the retail sale of a number of basic hardware lines, such as tools, builders' hardware, paint, glass, housewares, household appliances, and cutlery. This definition includes all uses in the following SIC group:

525 Hardware Stores

MICROBREWERY. A facility that contains a taproom and produces less than 15,000 barrels of beer per year and sells the majority of the beer it produces for off-site resale and consumption.

MOTORCYCLE DEALER. An establishment primarily engaged in the retail sale of new and used motorcycles, motor scooters, mopeds, all-terrain vehicles, snowmobiles, go-carts, utility trailers, and similar items. This definition includes all uses in the following SIC groups:

557 Motorcycle Dealers  
559 Automotive Dealers, Nec

NURSERY, LAWN AND GARDEN SUPPLY STORE, RETAIL. An establishment primarily engaged in the retail sale of trees, shrubs, other plants, seeds, bulbs, mulches, soil conditioners, fertilizers, pesticides, garden tools, and other garden supplies to the general public. These establishments primarily sell products purchased from others, but may sell some plants which are grown at the establishment. This definition includes all uses in the following SIC group:

526 Retail Nurseries and Garden Stores

OUTDOOR DISPLAY RETAIL. An establishment primarily engaged in selling motor vehicles, trucks, manufactured homes, recreational vehicles, boats, or other large items which require outdoor display. This definition includes all uses in the following SIC groups:

- 527 Mobile Home Dealers
- 551 New and Used Car Dealers
- 552 Used Car Dealers
- 555 Boat Dealers
- 556 Recreational Vehicle Dealers

RESTAURANT (WITH DRIVE-THROUGH SERVICE). An establishment which delivers prepared food and/or beverages to customers in motor vehicles, regardless of whether or not it also serves prepared food and/or beverages to customers who are not in motor vehicles, for consumption either on or off the premises.

RESTAURANT (WITHOUT DRIVE-THROUGH SERVICE). An establishment which serves food and beverages primarily to customers seated at tables or counters located within the building or designated outdoor seating areas. This includes cafes, tea rooms, and outdoor cafes.

RETAIL STORE, SPECIALTY OR MISCELLANEOUS. An establishment primarily engaged in selling merchandise for personal or household consumption not classified elsewhere. This definition includes all uses in the following SIC groups:

- 593 Used Merchandise Stores
- 594 Miscellaneous Shopping Goods Stores
- 599 Retail Stores, NEC, except for the uses  
auction rooms (general merchandise) - retail;  
fireworks - retail; monuments, finished to  
custom order - retail; and sales barns – retail  
listed in 5999.

SHOPPING CENTER. A building or group of buildings totaling thirty-five thousand (35,000) square feet or more of gross floor area, either connected or freestanding, which is designed with common parking, pedestrian movement, ingress and egress, and used for the sale of merchandise or services to the public. There must be a minimum of four (4) stores. No outparcel shall be included in the calculation of building square footage for shopping centers.

SHOPPING CENTER. A building or group of buildings totaling thirty-five thousand (35,000) square feet or more of gross floor area, either connected or freestanding, which is designed with common parking, pedestrian movement, ingress and egress, and used for the sale of merchandise

or services to the public. There must be a minimum of four (4) stores. No outparcel shall be included in the calculation of building square footage for shopping centers.

**WHOLESALE TRADE A.** An establishment primarily engaged in selling durable and nondurable goods to retailers; to industrial, commercial, institutional, farm, construction contractors, or professional business uses; or to other wholesalers. Merchandise is stored inside enclosed buildings. Activities including physically assembling, sorting, and grading goods in large lots and breaking bulk for redistribution in smaller lots are conducted inside enclosed buildings in such a way as to have a minimal impact on surrounding properties. Operations with over twenty-five percent (25%) of sales to retail customers require the appropriate retail zoning district. This definition includes all uses in the following SIC groups:

- 502 Furniture and Home furnishings
- 503 Lumber and Construction Materials
- 504 Professional and Commercial Equipment
- 506 Electrical Goods
- 507 Hardware, Plumbing, and Heating Equipment
- 509 Miscellaneous Durable Goods (except Scrap and Waste Materials, SIC group 5093)
- 511 Paper and Paper Products
- 512 Drugs, Proprietarys, and Sundries
- 513 Apparel, Piece Goods, and Notions
- 514 Groceries and Related Products
- 518 Beer, Wine, and Distilled Beverages
- 519 Miscellaneous Nondurable Goods (except Farm Supplies, SIC group 5191)

**BANKING AND FINANCIAL SERVICES.** A facility engaged in deposit banking or extending credit in the form of loans. This definition includes all uses in the following SIC groups:

- 60 Depository Institutions
- 61 Non-depository Institutions

**BED AND BREAKFAST.** An owner occupied or manager-occupied residential structure providing rooms for overnight lodging, or lodging and meals, for more than three (3) but not more than eight (8) guests on a paying basis.

**BUILDING CONTRACTORS, GENERAL.** An establishment providing general contracting and/or building construction services for residential, farm, industrial, or commercial uses, and which typically does not involve outdoor storage of machinery or equipment. This definition includes the following SIC groups:

**CAR WASH.** A facility where motor vehicles are washed, cleaned, and/or waxed by hand or with manually-operated equipment or automatic machinery. This definition includes all uses in the following SIC group:

7542 Carwashes

EVENT CENTER. A public or privately owned structure or area used for the purposes of social, entertainment, or educational gatherings to include meetings, music events, parties, weddings, and receptions. Entertainment facilities may include performance areas, multi-purpose spaces, and/or meeting rooms available for use by private groups. Accessory uses may include food preparation facilities, offices, and space for event center retail sales.

FUNERAL HOME. An establishment engaged in undertaking services, such as preparing the human dead for burial and in arranging and managing funerals. This definition includes crematories and mortuaries. This definition includes all uses in the following SIC group:

726 Funeral Service and Crematories

HEALTH SERVICES, MISCELLANEOUS.

Kidney dialysis centers, blood banks, birth control clinics, drug treatment centers, and similar uses. This definition includes all uses in the following SIC group:

809 Health and Allied Services, NEC

HOTEL OR MOTEL. A building or group of buildings used principally to provide shelter, with or without meals, for not fewer than four (4) paying guests.

MEDICAL OR DENTAL LABORATORY. An establishment primarily engaged in providing professional analytic or diagnostic services to the medical profession, or to the patient, on direction of a physician; or an establishment primarily engaged in making dentures, artificial teeth, and orthodontic appliances to order for the dental profession. This definition includes all uses in the following SIC group:

807 Medical and Dental Laboratories

MEDICAL AND SURGICAL OFFICES. An establishment primarily engaged in furnishing medical and surgical services to individuals and licensed for such practice by the State. This definition includes all uses in the following SIC groups:

801 Offices and Clinics of Medical Doctors

802 Offices and Clinics of Dentists

803 Offices of Osteopathic Physicians

804 Offices of Other Health Practitioners

MOTOR VEHICLE RENTAL AND LEASING. An establishment primarily engaged in furnishing motor vehicle rental, leasing, and parking services to the public. This definition includes all uses in the following SIC groups:

- 751 Automotive Rentals, No Drivers
- 752 Automobile Parking

**MOTOR VEHICLE REPAIR AND MAINTENANCE.** An establishment engaged in providing mechanical automotive maintenance and repair, such as engine repair, exhaust system replacement and transmission repair, and/or providing other related services, such as upholstery or glass replacement. This use includes service stations but does not include body work or painting. This definition includes all uses in the following SIC groups:

- 7536 Automotive Glass Replacement Shops
- 7537 Automotive Transmission Repair Shops
- 7538 General Automotive Repair Shops
- 7549 Automotive Services, NEC

**MOTOR VEHICLE BODY OR PAINT SHOP.** An establishment primarily engaged in body work, painting, or customizing of automobiles or other motor vehicles.

**NIGHTCLUB.** Any place established primarily for the provision of entertainment, dancing to live or recorded music or other indoor entertainment or social gathering place or similar establishment not specifically listed elsewhere. The establishment may also be engaged in the retail sale of prepared food for on-premises consumption. Excluded from this definition are restaurants that meet the requirements established by definition in this Ordinance, and other uses specifically listed elsewhere in this Ordinance. This definition includes, but is not limited to, uses in the following North American Industry Classification System (NAICS) groups:

- 7131 Amusement parks and arcades (indoor)
- 713990 Ballrooms, billiard parlors, billiard rooms, dance halls, discotheques, nightclubs, pool parlors, pool rooms
- 722410 All Listed Uses including Bars, Taverns, Nightclubs, Discotheques, Dance Clubs including such establishments that also provide limited food services
- 813410 Fraternal associations or lodges (social or civic), social organizations (civic and fraternal), youth social clubs, social clubs

**NON-STORE RETAILER.** An establishment primarily engaged in the retail sale of products by mail-order, from vending machines, and by telephones and television. This definition includes all uses in the following SIC group:

- 596 Non-store Retailers

**OFFICES, MISCELLANEOUS.** Office uses not specifically listed and defined elsewhere in this Ordinance as a principal use.

**PROFESSIONAL OFFICE.** An establishment primarily engaged in providing: engineering, architectural, and surveying services; accounting, auditing, and bookkeeping services; public

relations services; legal services; real estate services; the services of insurance agents, brokers and carriers; the services of security and commodity brokers; and the services of bank holding companies. This definition includes all uses in the following SIC groups:

- 4724 Travel Agencies
- 62 Security and Commodity Brokers
- 63 Insurance Carriers
- 64 Insurance Agents, Brokers and Carriers
- 65 Real Estate
- 67 Holding and Other Investment Offices
- 731 Advertising (Except Outdoor Advertising, SIC Group 7312)
- 732 Credit Reporting and Collection Agencies
- 736 Personnel Supply Services
- 7371 Computer Programming Services
- 7372 Prepackaged Software
- 7373 Computer System Design
- 811 Legal Services
- 871 Engineering and Architectural Services
- 872 Accounting, Auditing, and Bookkeeping
- 874 management and Public Relations

SERVICES, BUSINESS A. An establishment primarily engaged in providing a service(s) to businesses and to a lesser extent, individuals. All merchandise and rental equipment is stored inside enclosed buildings. Business Services A includes the following list of uses (including SIC groups and all subcategories not elsewhere listed):

- 733 Mailing, Reproduction, Commercial Art and Photography
- 735 Equipment Rental and Leasing (only with inside storage of equipment)
- 737 Computer Programming, Data Processing and other Computer Related Services (Except Computer Programming, 7371; Prepackaged Software, 7372; and, Computer System Design, 7373)
- 738 Miscellaneous Business Services
- 7699 Uses from SIC 7699 primarily engaged in providing repair and other services to businesses and to a lesser extent, individuals, that by the nature of their operation have little impact on adjoining property due to noise, odor, vibration, and/or air or water pollution. All repair items and supplies are stored in enclosed buildings. These uses include repair of small or precision equipment, such as medical, dental, laboratory, or drafting equipment.

SERVICES, PERSONAL. An establishment primarily engaged in providing a service(s) to individuals such as a beauty and/or barber shop, a dry-cleaning establishment, advertising, or computer services. Personal Services A includes the following list of uses (including SIC groups and all subcategories not elsewhere listed):

- 7212 Garment Pressing and Agents for Laundries

- and Drycleaners
- 7215 Coin-Operated Laundries and Cleaning
- 7216 Drycleaning Plants, Except Rug
- 7217 Carpet and Upholstery Cleaning
- 722 Photographic Studios, Portrait
- 723 Beauty Shops
- 724 Barber Shops
- 725 Shoe Repair and Shoeshine Parlors
- 729 Miscellaneous Personal Services
- 762 Electrical Repair Shops
- 763 Watch, Clock, and Jewelry Repair
- 764 Reupholstery and Furniture Repair
- 7699 Uses from SIC 7699 primarily engaged in providing repair and other services to individuals including repair of personal use property such as cameras, musical instruments, and bicycles, and other services, including locksmiths and custom picture framing. All merchandise, repair items, and equipment must be stored indoors.

TESTING AND RESEARCH LABORATORY. An establishment primarily engaged in commercial research and providing testing services such as calibration and certification of instruments, food testing services, forensic laboratories, metallurgical testing, and industrial X-ray inspection services, etc. This definition includes all uses in the following SIC group:

VETERINARY SERVICES. Any facility used for the purpose of giving licensed medical treatment to animals or pets and any other customarily incidental treatment of the animals, such as grooming, boarding, or selling of pet supplies.

WAREHOUSING. Establishments primarily engaged in the warehousing and storage of general merchandise, refrigerated goods, and farm products. This definition includes all uses in the following SIC group:

- 422 Public Warehousing and Storage

RECREATION SERVICES, INDOOR. Establishments engaged in providing indoor amusement or entertainment services. This definition includes all uses in the following SIC groups:

- 791 Dance Studios, Schools, and Halls
- 792 Producers, Orchestras, Entertainers
- 793 Bowling Centers
- 7941 Sports Clubs, Managers, and Promoters
- 7991 Physical Fitness Facilities
- 7993 Coin-Operated Amusement Devices
- 7997 Membership Sports and Recreation Clubs

7999 Amusement and Recreation, NEC (Except  
Batting Cages, Go-Cart Raceway, and Golf  
Course, Miniature)

RECREATION SERVICES, OUTDOOR. Establishments engaged in providing outdoor amusement or entertainment services. This definition includes all uses in the following SIC groups:

0000 Athletic Fields, Private  
7948 Racing, Including Track Operation  
7996 Amusement Parks  
7999 Batting Cages  
7999 Go-Cart Raceway  
7999 Golf Course, Miniature

RECREATION FACILITY, PUBLIC. An area or facility designed to meet the demand for active recreation, including play fields, ball diamonds, parks with picnic and playground equipment, par courses, tennis courts, swimming pools, tot lots and similar uses, available to the public and under the management or control of a public agency.

THEATER, INDOOR. An establishment for the indoor viewing of motion pictures by patrons. This definition includes all uses in the following SIC group:

7832 Motion Picture Theaters, Except Drive-In

ADULT DAY CARE CENTER. A day care facility in which day care is provided to seven (7) or more adolescents, or disabled or older adults.

CEMETERY, LICENSED. Land and facilities used for burial of the dead meeting the requirements of a perpetual care cemetery under State law. Such a facility includes any burial ground, mausoleum, or columbarium operated by a cemetery company and meeting licensing requirements of the State.

CEMETERY, UNLICENSED. Land and facilities used for the burial of the dead, including municipal, private family, farm, church or animal cemeteries, which have not been licensed and do not meet the licensing requirements of a perpetual care cemetery under State law.

CHILD CARE (DROP-IN). A child care arrangement where children attend on an intermittent, unscheduled basis and care is provided for less than four (4) hours per day.

CHILD CARE (SICK CHILDREN). A child day care or other child care arrangement with special provision for the care of sick children.

**CHILD CARE INSTITUTION.** A facility providing residential and nonresidential care for thirteen (13) or more children under the age of twenty-one (21), who are handicapped or who are without the benefit of parents who can provide for those children's basic physical, emotional, educational, spiritual, and/or other special needs.

**CHILD DAY CARE CENTER.** A day care facility in which day care is provided for thirteen (13) or more children when any child is preschool-age, or sixteen(16) or more children when all children are school-age.

**CLUB OR LODGE.** A building or land used for the activities of a private club or social organization, and not adjunct to, or operated as, or in connection with a public tavern, cafe, or other place open to the public.

**COLLEGE OR UNIVERSITY.** An institution of higher education offering undergraduate and/or graduate degrees.

**GOVERNMENT OFFICES.** The offices of the executive, legislative, judicial, administrative and regulatory branches of federal, State and local governments. This definition includes all uses in the following SIC groups:

- 91 Executive, Legislative, and General
- 92 Justice, Public Order, and Safety
- 93 Finance, Taxation, & Monetary Policy
- 94 Administration of Human Resources
- 95 Environmental Quality and Housing
- 96 Administration of Economic Programs
- 97 National Security and International Affairs

**HABILITATION FACILITY C.** Any facility in which thirteen (13) or more handicapped persons receive habilitation services, rehabilitation services or engage in recreational activities, regardless of whether these services and activities are therapeutic or educational in nature. These facilities are licensed by the State of North Carolina and do not provide room and board. This definition does not include the principal uses Schools, Elementary or Schools, Secondary. These facilities are intended to serve handicapped persons as defined in State law, in accordance with rights provided by applicable laws.

**HOSPITAL OR HEALTH CENTER.** A facility providing medical, psychiatric, or surgical services for sick or injured persons, including emergency treatment, diagnostic services, training, research, and administration. This definition includes all uses in the following SIC group:

- 806 Hospitals

**INSTITUTIONAL VOCATIONAL TRAINING FACILITY.** A facility for the vocational training of individuals who are economically disadvantaged or have physical or mental disabilities. The facility may contain uses to support training activities such as offices, classrooms, retail sales, and light manufacturing activities.

**LIBRARY, PUBLIC.** A publicly operated facility housing a collection of books, magazines, audio and video tapes, or other material for use by the general public.

**MUSEUM OR ART GALLERY.** A structure used for the display and preservation of paintings, sculpture, and other constructed or natural objects illustrating human or natural history. This definition includes all uses in the following SIC group:

84 Museums, Botanical, Zoological Gardens

**NEIGHBORHOOD ORGANIZATION.** A facility operated by a nonprofit organization which provides informational, educational, social, or economic counseling or similar services to persons residing in a neighborhood. A majority of the organization's membership and board must live in the neighborhood being served.

**NURSING CARE INSTITUTION.** A home licensed by the State for persons aged, ill or handicapped in which two (2) or more persons not of the immediate family of the owner of manager of said home are provided with food, shelter, and nursing care. The term nursing care institution includes convalescent home, home for the aging, sanitarium, home for the blind, rest home, or any similar establishment.

**POLICE OR FIRE STATION.** A facility established for public law enforcement purposes or public fire protection and prevention purposes.

**POST OFFICE.** A facility or structure used for the collection, sorting, and distribution of mail within several zip code areas, having retail services for the general public, such as stamps, postcards, or postal insurance.

**SCHOOL, ATHLETICS.** A use providing for the education or training of athletes.

**SCHOOL, PRIVATE.** A structure used primarily by and for any two (2) or more age or grade levels not operated by the public school system, but registered with the North Carolina Department of Public Instruction. Any school for children age six (6) or under not meeting these requirements shall be considered a day care facility for purposes of this Ordinance.

**SCHOOL, PUBLIC.** A structure used primarily by and for any two (2) or more age or grade levels and operated by the public school system or approved by the North Carolina Department of Public Instruction as meeting the requirements of state law. Any school for children age six (6) or under not meeting these requirements shall be considered a day care facility for purposes of this Ordinance.

SCHOOL, VOCATIONAL OR PROFESSIONAL. A use providing education or training in business, commerce, language, or other similar activity or occupational pursuit, and not otherwise defined as home occupation, college or university, or elementary or secondary school.

#### STADIUM OR COLESIUM, EXHIBITION BUILDING

BROADCAST STUDIO. An establishment primarily engaged in providing two-way radio/telephone communication services, telephone voice and data communications, telegraph services, radio and television broadcasting, or cable and other pay television services, but excluding those uses classified as utilities. This definition includes all uses in the following SIC group:

48      Communications

MANUFACTURING A. A manufacturing establishment engaged in the fabrication or assembly of products from prestructured materials or components whose operations, including storage of materials; processing, fabrication or assembly of products; and loading and unloading of new materials and finished products occurs completely within an enclosed building. Because of the nature of its operations and products, Manufacturing A produces little or no noise, odor, vibration, glare, and/or air and water pollution, and, therefore, has minimal impact on surrounding properties. Notwithstanding the previous requirements, NAICS groups only permitted in Manufacturing C shall not be permitted in Manufacturing A.

EASEMENT, PRIVATE OFF-SITE ACCESS. An easement which grants the right of access to property zoned differently from the property underlying the access easement.

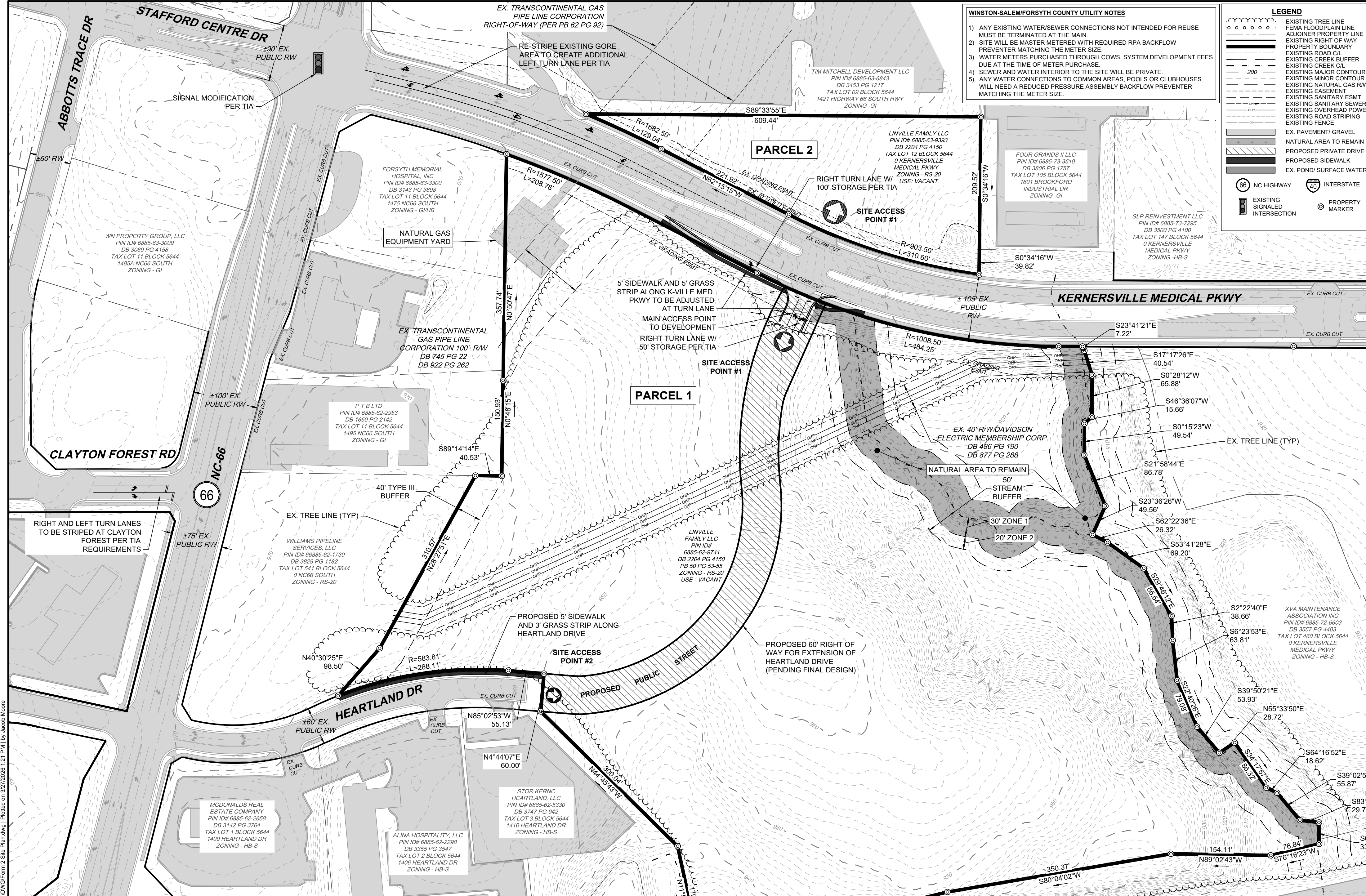
PARK AND SHUTTLE LOT. Specially designated parking areas where commuting motorists park their vehicles and ride with other commuters who have a common destination. Ridesharing from the lots may be done by car pool, van pool, or public transit.

PARKING, COMMERCIAL. A principal use of a zoning lot with or without a parking structure for use as a place for the temporary or long-term parking of motor vehicles.

TERMINAL BUS OR TAXI. A facility for the storage, maintenance, and dispatch of buses or taxis, and associated customer ticketing and waiting areas.

HELISTOP. A limited use helicopter terminal facility, restricted by the owner to the support of a related business, institution, or other operation. The word helistop shall mean an area, either on the ground or on a building, and shall include the landing pad used by helicopters for the purpose of picking up or discharging passengers or cargo, routine maintenance facilities, parking area, fuel pumping facilities (only if such activity is approved by the appropriate agencies), and storage or hangar facilities, but no other accessory facilities. The term helistop includes the terms private-use heliport and personal-use heliport contained in Federal Aviation Administration publications, except for the limitations on the facility as noted.

UTILITIES. Facilities of any agency which, under public franchise or ownership, provides the general public with electricity, gas, oil, water, sewage, electronic signals, or rail transportation. The term utility shall not be construed to include the following: corporate or general offices; storage or service buildings or yards; gas or oil processing, manufacturing or storage facilities; transmission towers; or postal facilities.

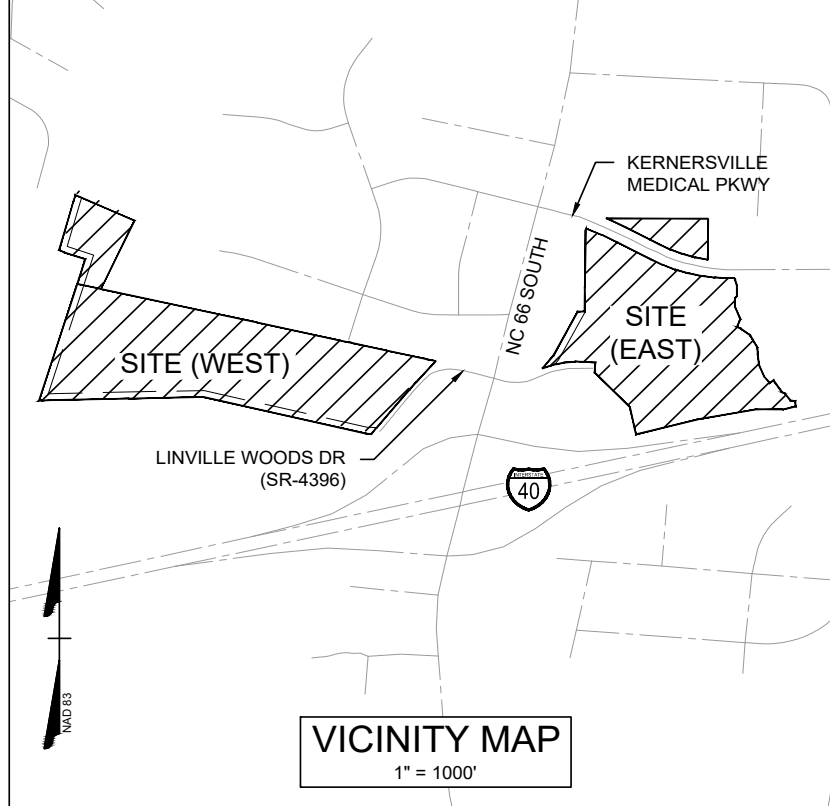


**WINSTON-SALEM/FORSYTH COUNTY UTILITY NOTES**

- 1) ANY EXISTING WATER/SEWER CONNECTIONS NOT INTENDED FOR REUSE MUST BE TERMINATED AT THE MAIN.
- 2) SITE WILL BE MASTER METERED WITH REQUIRED RPA BACKFLOW PREVENTER MATCHING THE METER SIZE.
- 3) WATER METERS PURCHASED THROUGH COWS. SYSTEM DEVELOPMENT FEES DUE AT THE TIME OF METER PURCHASE.
- 4) SEWER AND WATER INTERIOR TO THE SITE WILL BE PRIVATE.
- 5) ANY WATER CONNECTIONS TO COMMON AREAS, POOLS OR CLUBHOUSES WILL NEED A REDUCED PRESSURE ASSEMBLY BACKFLOW PREVENTER MATCHING THE METER SIZE.

**LEGEND**

- EXISTING TREE LINE
- FEMA FLOODPLAIN LINE
- ADJACENT PROPERTY LINE
- EXISTING RIGHT OF WAY
- PROPERTY BOUNDARY
- EXISTING ROAD CL
- EXISTING CREEK BUFFER
- EXISTING CREEK CL
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- EXISTING NATURAL GAS RW
- EXISTING EASEMENT
- EXISTING SANITARY ESMT
- EXISTING SANITARY SEWER
- EXISTING OVERHEAD POWER
- EXISTING ROAD STRIPING
- EXISTING FENCE
- EX. PAVEMENT/ GRAVEL
- NATURAL AREA TO REMAIN
- PROPOSED PRIVATE DRIVE
- PROPOSED SIDEWALK
- EX. POND/ SURFACE WATER
- NC HIGHWAY
- INTERSTATE
- EXISTING SIGNALLED INTERSECTION
- PROPERTY MARKER



**SITE DATA**

1. ADDRESS: PARCEL 1: 1519 NC 66 SOUTH  
PARCEL 2: 101 CENTREPT DR, SUITE 245  
PARCEL 3: 0 NC-66 SOUTH  
PARCEL 4: 0 BEESON RD
2. COUNTY: FORSYTH
3. MUNICIPALITY: KENERSVILLE
4. PARCEL NUMBER: PARCEL 1: 0885-63-0741  
PARCEL 2: 0885-63-0993  
PARCEL 3: 0885-63-1989  
PARCEL 4: 0885-63-5228
5. TOTAL ACREAGE: PARCEL 1: 22.322 ACRES  
PARCEL 2: 1.988 ACRES  
PARCEL 3: 26.875 ACRES  
PARCEL 4: 3.112 ACRES  
TOTAL = 54.695 AC
6. DEED REFERENCE: (ALL PARCELS) DB 2204 PG 4150
7. EXISTING LAND USE: VACANT
8. EXISTING ZONING: PARCEL 1: RS-20  
PARCEL 2: RS-20  
PARCEL 3: RS-12  
PARCEL 4: RS-12
9. PROPOSED ZONING: GB-CONDITIONAL
10. MAX # OF RES. UNITS: PARCELS 1 & 2: 360 UNITS  
PARCELS 3 & 4: 310 UNITS  
TOTAL: 670 UNITS
11. MAX SF/AC NON RES: TBD
12. OVERLAY DISTRICTS: HIGHWAY CORRIDOR (HCDD)
13. FLOODPLAIN: PARCELS 3 & 4 ARE LOCATED WITHIN A SPECIAL HAZARD AREA AS DESIGNATED BY FEMA (REFER TO MAP NUMBER 37106885004). EFFECTIVE 01/02/2009
14. WATERSHED: WEST FORK DEEP RIVER W-4 - RW
15. PRELIM DEV. SCHEDULE (ALL DATES TENTATIVE):  
REZONING APPROVAL - APRIL 2025  
SITE PLAN APPROVAL - AUGUST 2025  
CONSTRUCTION - OCTOBER 2025

**NCDDOT NOTES:**

1. NCDDOT DRIVEWAY PERMIT REQUIRED FOR PROPOSED CONNECTIONS TO STATE-SYSTEM ROADS.
2. ADEQUATE DRAINAGE UNDER THE DRIVEWAY CONNECTION SHALL BE PROVIDED, UNLESS OTHERWISE INDICATED. THE PIPE SHALL BE A MINIMUM DIAMETER OF 18" AND BE OF AN APPROVED NCDDOT MATERIAL.
3. PROVIDE ADEQUATE HORIZONTAL AND VERTICAL SIGHT DISTANCE FOR ALL PROPOSED DRIVEWAYS.
4. REQUIRED 100 FT SEPARATION BETWEEN DRIVEWAYS PER THE NCDDOT DRIVEWAY MANUAL.
5. A 16:1 TWO-PARTY ENCROACHMENT AGREEMENT REQUIRED FOR UTILITY CONNECTIONS (I.E. POWER, TELEPHONE, AND GAS) IN THE RIGHT OF WAY.
6. A 16:1B ENCROACHMENT AGREEMENT WOULD BE REQUIRED FOR ANY ROADWAY WIDENING OR IMPROVEMENTS.
7. A 16:1 THREE-PARTY ENCROACHMENT AGREEMENT REQUIRED FOR ANY UTILITY TIES (WATER AND SEWER) IN RIGHT OF WAY AND SIDEWALK WHERE APPLICABLE.
8. FOR ALL ENCROACHMENT AGREEMENT QUESTIONS, PLEASE CONTACT CAROLINA CARBAJAL - CCARBAJAL@NCDDOT.GOV

**INFRASTRUCTURE**

WATER:	X	PUBLIC	PRIVATE
SEWER:	X	PUBLIC	PRIVATE
STREET:		PUBLIC	PRIVATE

**NOTE: WATER/SEWER INTERIOR TO THE SITE WILL BE PRIVATELY MAINTAINED**

**SITE SIZE AND COVERAGE**

TOTAL ACREAGE:	54.695 AC
SIZE COVERAGE:	
BUILDING TO LAND:	N/A %
PAVEMENT TO LAND:	N/A %
OPEN SPACE:	N/A %
TOTAL:	(100%)
BUILDING SQUARE FOOTAGE:	N/A - SF
BUILDING HEIGHT:	N/A - FT OR STORES

**(GB-C) PROPOSED USES:**

**RESIDENTIAL USES**

- Residential Building, Multifamily (360 Units)
- Residential Building, Townhouse
- Residential Building, Urban
- Boarding or Rooming House
- Combined Use
- Congregate Care Facility
- Family Group Home B
- Family Group Home C
- Life Care Community

**RETAIL AND WHOLESALE TRADE**

- ABC Store (liquor)
- Arts & Crafts Studio
- Brewery
- Brewpub
- Building Materials Supply
- Convenience Store
- Food or Drug Store
- Furniture and Home Furnishings Store
- General Merchandise Store

**HARDWARE STORE**

- Hardware Store
- Microbrewery
- Motorcycle Dealer
- Nursery, Lawn and Garden Supply Store, Retail
- Outdoor Display Retail (Over 2 Acres)
- Restaurant (without drive-through service)
- Restaurant (with drive-through service)
- Retail Store, Specialty or Miscellaneous
- Shopping Center
- Wholesale Trade A

**BUSINESS AND PERSONAL SERVICES**

- Banking and Financial Services
- Bed and Breakfast
- Building Contractors, General
- Car Wash
- Event Center
- Health Services, Miscellaneous
- Hotel or Motel
- Medical or Dental Laboratory

**MECHANICAL AND ELECTRICAL**

- Medical and Surgical Offices
- Motor Vehicle, Rental and Leasing
- Non-Store Retailer
- Offices, Miscellaneous
- Professional Office
- Services, Business A
- Services, Personal
- Storage Services, Retail
- Testing and Research Lab
- Veterinary Services
- Warehousing

**RECREATIONAL USES**

- Recreation Services, Indoor
- Recreation Services, Outdoor
- Recreation Facility, Public
- Theater, Indoor

**INSTITUTIONAL AND PUBLIC USES**

- Adult Day Care Center
- Child Care (Drop-In)
- Child Care (Sick Children)
- Child Care Institution
- Child Day Care Center
- Church or Religious Institution, Community
- Church or Religious Institution, Neighborhood
- College or University
- Government Offices
- Habilitation Facility C
- Hospital or Health Center
- Institutional Vocational Training Facility
- Museum or Art Gallery
- Neighborhood Organization
- Nursing Care Institution
- School, Athletics
- School, Private
- School, Vocational or Professional
- Stadium, Coliseum, Exhibition Building

**MANUFACTURING AND MINING**

- Manufacturing A

**TRANSPORTATION AND UTILITIES**

- Access Easement, Private Off-Site
- Broadcast Studio
- Helistop
- Park and Shuttle Lot
- Parking, Commercial
- Terminal, Bus or Taxi
- Utilities

**TOWN OF KENERSVILLE FIRE ACCESS NOTES:**

1. NC FIRE CODE SECTIONS 3310 & 3312 FIRE HYDRANTS AND FIRE APPARATUS ACCESS ROADS SHALL BE INSTALLED AND AVAILABLE FOR USE PRIOR TO COMBUSTIBLE MATERIALS ARRIVING ON SITE.
2. APPARATUS ACCESS ROADS NC FIRE CODE SECTION 603 AND APPENDIX D FIRE APPARATUS ACCESS ROADS SHALL MEET SECTION 503 AND SECTIONS 105 & D 106 OF APPENDIX D.
3. ANY FIRE APPARATUS ROADS DEEMED AS 'EMERGENCY ACCESS ONLY' AND ARE TO BE GATED ARE REQUIRED TO MEET CHAPTER 10 OF THE KENERSVILLE FIRE RESCUE DEVELOPMENT STANDARDS MANUAL. SEE LINK TO MANUAL BELOW.
4. NC FIRE CODE SECTION 603.2 STREET OR ROAD SIGNS, STREETS AND ROADS SHALL BE IDENTIFIED WITH APPROVED SIGNS. TEMPORARY SIGNS SHALL BE INSTALLED AT EACH STREET INTERSECTION WHEN CONSTRUCTION OF NEW ROADWAYS ALLOWS PASSAGE BY VEHICLES. SIGNS SHALL BE OF AN APPROVED SIZE, WEATHER RESISTANT AND BE MAINTAINED UNTIL REPLACED BY PERMANENT SIGNS.
5. KENERSVILLE FIRE RESCUE DEPARTMENT DEVELOPMENT STANDARDS MANUAL: <https://tfdnc.org/file-repository/regulations-development-standards-manual/>

**DENSITY CALCULATIONS (IF APPLICABLE)**

NUMBER OF UNITS/LOTS: 167.5 UNITS/LOTS  
DENSITY: 12.25 UNITS/AC UNITS/ACRE OR LOTS/ACRE

**BUFFERYARDS (IF APPLICABLE)**

ADJOINING ZONING: RS-12  
TYPE REQUESTED: TYPE 3  
WIDTH PROVIDED: 40'  
FENCE OPTIONS: N/A

**DEVELOPER/ PETITIONER:**  
CIP CONSTRUCTION  
101 CENTREPT DR., SUITE 201  
GREENSBORO, NC 27401  
CONTACT: DENNIS BURTON  
PHONE: 336.814.3235  
dburton@cipconsl.com

**ENGINEER:**  
TIMMONS GROUP  
101 CENTREPT DR., SUITE 245  
GREENSBORO, NC 27409  
CONTACT: JACOB MOORE  
PHONE: 336.478.3348  
jacob.moore@timmons.com

**THIS IS NOT A SURVEY. EXISTING CONDITIONS ARE SHOWN PER GIS INFORMATION AND SURVEY PERFORMED BY BURNETT GROUP, INC DATED 8-29-24 AND PLAT (PB 80 PG 53-55) SIGNED 9-20-24 AND PB 62 PG 92 BY REGIONAL LAND SURVEYORS, INC DATED JUNE 3, 2014. TOPOGRAPHIC INFORMATION TAKEN FROM LIDAR.**



THIS DRAWING PREPARED AT THE GREENSBORO OFFICE  
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North Carolina License No. C-1932

**OWNERS/ ARCHITECT/ ENGINEER/ CONTRACTOR:**  
201 N. ELM STREET, SUITE 201  
MARY ASHLEY GALLAGHER  
CONTACT: DENNIS BURTON  
GEORGETOWN, VA 76268  
DENNIS@CIPCONSL.COM

**REVISION DESCRIPTION**

DATE	REVISION DESCRIPTION
10/27/2025	REVISED PER T.O.K. PRELIMINARY REVIEW COMMENTS
07/23/2025	REVISED PER T.O.K. PRELIMINARY REVIEW COMMENTS
02/27/2025	REVISED PER T.O.K. PRELIMINARY REVIEW COMMENTS

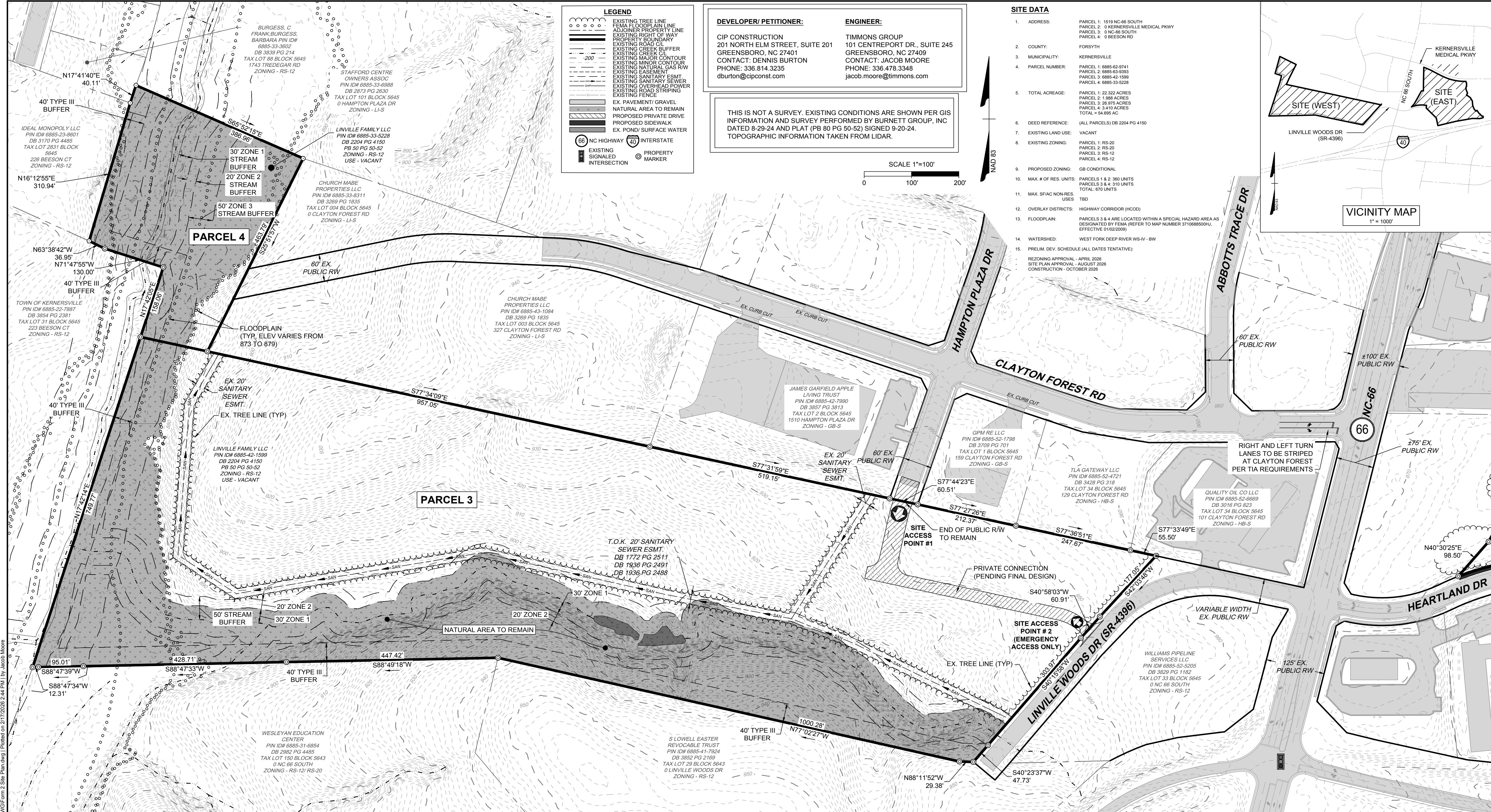
DATE: 10/27/2025  
DRAWN BY: J. ADLER  
DESIGNED BY: J. ADLER  
CHECKED BY: J. MOORE  
SCALE: 1" = 80'

# TIMMONS GROUP

**CARROLL AT CROSSROADS**  
TOWN OF KENERSVILLE - FORSYTH COUNTY - NORTH CAROLINA  
**FORM 2 ZONING PLAN**

JOB NO.: 78361  
SHEET NO.: EX.1.0

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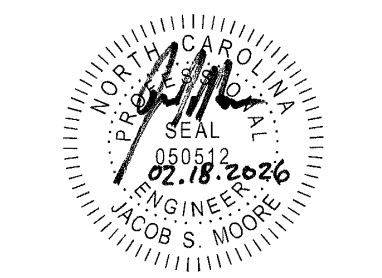
**ENGINEER:**  
TIMMONS GROUP  
101 CENTREPORT DR., SUITE 245  
GREENSBORO, NC 27409  
CONTACT: JACOB MOORE  
PHONE: 336.478.3348  
jacob.moore@timmons.com

THIS IS NOT A SURVEY. EXISTING CONDITIONS ARE SHOWN PER GIS INFORMATION AND SURVEY PERFORMED BY BURNETT GROUP, INC DATED 8-28-24 AND PLAT (PB 80 PG 50-52) SIGNED 9-20-24. TOPOGRAPHIC INFORMATION TAKEN FROM LIDAR.

SCALE 1"=100'

**SITE DATA**

- ADDRESS: PARCEL 1: 1519 NC 66 SOUTH; PARCEL 2: 0 KERNERSVILLE MEDICAL PKWY; PARCEL 3: NC 66 SOUTH; PARCEL 4: 0 BEESSON RD
- COUNTY: FORSYTH
- MUNICIPALITY: KERNERSVILLE
- PARCEL NUMBER: PARCEL 1: 6885-02-8741; PARCEL 2: 6885-03-0953; PARCEL 3: 6885-04-1599; PARCEL 4: 6885-13-0228
- TOTAL ACREAGE: PARCEL 1: 22.322 ACRES; PARCEL 2: 1.988 ACRES; PARCEL 3: 26.979 ACRES; PARCEL 4: 3.410 ACRES; TOTAL: 54.695 AC
- DEED REFERENCE: (ALL PARCELS) DB 2204 PG 4100
- EXISTING LAND USE: VACANT
- EXISTING ZONING: PARCEL 1: RS-20; PARCEL 2: RS-20; PARCEL 3: RS-12; PARCEL 4: RS-12
- PROPOSED ZONING: GB CONDITIONAL
- MAX. # OF RES. UNITS: PARCELS 1 & 2: 360 UNITS; PARCELS 3 & 4: 170 UNITS; TOTAL: 530 UNITS
- MAX. SF/AC NON RES. USES: TBD
- OVERLAY DISTRICTS: HIGHWAY CORRIDOR (HC00)
- FLOODPLAIN: PARCELS 3 & 4 ARE LOCATED WITHIN A SPECIAL HAZARD AREA AS DESIGNATED BY FEMA REFERRED TO MAP NUMBER 2716888004N, EFFECTIVE 01/02/2009
- WATERSHED: WEST FORK DEEP RIVER WS IV - BW
- PRELIM DEV. SCHEDULE (ALL DATES TENTATIVE):  
REZONING APPROVAL: APRIL 2026  
SITE PLAN APPROVAL: AUGUST 2026  
CONSTRUCTION: OCTOBER 2026



THIS DRAWING PREPARED AT THE GREENSBORO OFFICE  
101 Centreport Drive, Suite 245 | Greensboro, NC 27409  
TEL: 336.478.3348 | WWW.TIMMONSGROUP.COM  
North Carolina License No. C-1052

**REVISION DESCRIPTION**

DATE	REVISION DESCRIPTION
10/27/2025	REVISED PER T.O.K. PRELIMINARY REVIEW COMMENTS
12/01/2025	REVISED PER T.O.K. PRELIMINARY REVIEW COMMENTS
07/23/2026	REVISED PER T.O.K. PRELIMINARY REVIEW COMMENTS
02/18/2026	REVISED PER T.O.K. PRELIMINARY REVIEW COMMENTS

DATE: 10/27/2025  
DRAWN BY: J. ADLER  
DESIGNED BY: J. ADLER  
CHECKED BY: J. MOORE  
SCALE: 1" = 100'

# TIMMONS GROUP

CARROLL AT LINVILLE WOODS  
TOWN OF KERNERSVILLE - FORSYTH COUNTY - NORTH CAROLINA  
FORM 2 ZONING PLAN

**(GB-C) PROPOSED USES:**

RESIDENTIAL USES	GENERAL MERCHANDISE STORE	HEALTH SERVICES, MISCELLANEOUS	RECREATION FACILITY, PUBLIC	MUSEUM OR ART GALLERY
Residential Building, Multifamily (360 Units)	General Merchandise Store	Hotel or Motel	Theater, Indoor	Museum or Art Gallery
Residential Building, Townhouse	Hardware Store	Medical or Dental Laboratory	Theater, Outdoor	Neighborhood Organization
Residential Building, Urban	Microbrewery	Medical and Surgical Offices	Adult Day Care Center	Nursing Care Institution
Boarding or Rooming House	Motorcycle Dealer	Motor Vehicle, Rental and Leasing	Cemetery, Licensed	Police or Fire Station
Combined Use	Nursery, Lawn and Garden Supply Store, Retail	Motor Vehicle, Repair and Maintenance	Cemetery, Unlicensed	Post Office
Congregate Care Facility	Outdoor Display Retail (Over 2 Acres)	Motor Vehicle, Body or Paint Shop	Child Care (Drop-In)	School, Athletics
Family Group Home B	Restaurant (without drive-through service)	Nightclub	Child Care (Sick Children)	School, Private
Family Group Home C	Restaurant (with drive-through service)	Non-Store Retailer	Child Care Institution	School, Public
Fraternity or Sorority	Retail Store, Specialty or Miscellaneous	Offices, Miscellaneous	Church or Religious Institution, Community	School, Vocational or Professional
Life Care Community	Wholesale Trade A	Professional Office	Church or Religious Institution, Neighborhood	Stadium, Coliseum, Exhibition Building
<b>RETAIL AND WHOLESALE TRADE</b>	<b>BUSINESS AND PERSONAL SERVICES</b>	Services, Business A	Club or Lodge	<b>MANUFACTURING AND MINING</b>
ABC Store (liquor)	Banking and Financial Services	Services, Personal	College or University	Manufacturing A
Brewery	Bed and Breakfast	Testing and Research Lab	Government Offices	<b>TRANSPORTATION AND UTILITIES</b>
Brewpub	Building Contractors, General	Veterinary Services	Habitatation Facility C	Access Easement, Private Off-Site
Building Materials Supply	Car Wash	Warehousing	Hospital or Health Center	Helistop
Convenience Store	Event Center	Recreation Services, Indoor	Institutional Vocational Training Facility	Park and Shuttle Lot
Food or Drug Store	Funeral Home	Recreation Services, Outdoor	Library, Public	Parking, Commercial
Furniture and Home Furnishings Store				Terminal, Bus or Taxi
				Utilities

**DENSITY CALCULATIONS (IF APPLICABLE)**

NUMBER OF UNITS/LOTS:	167.5	UNITS/LOT
DENSITY:	12.25 UNITS/AC	UNITS/ACRE OR LOTS/ACRE

**BUFFER YARDS (IF APPLICABLE)**

ADJOINING ZONING:	RS-12
TYPE REQUIRED:	TYPE 3
VIETES PROVIDED:	40'
FENCE OPTIONS:	N/A

**TOWN OF KERNERSVILLE FIRE ACCESS NOTES:**

- NC FIRE CODE SECTIONS 310 & 312 FIRE HYDRANTS AND FIRE APPARATUS ACCESS ROADS SHALL BE INSTALLED AND AVAILABLE FOR USE PRIOR TO COMBUSTIBLE MATERIALS ARRIVING ON SITE.
- APPARATUS ACCESS ROADS NC FIRE CODE SECTION 303 AND APPENDIX D FIRE APPARATUS ACCESS ROADS SHALL MEET SECTION 903 AND SECTION 9.105.4.1 OF APPENDIX D.
- ANY FIRE APPARATUS ROADS DEEMED AS "EMERGENCY ACCESS ONLY" AND ARE TO BE GATED ARE REQUIRED TO MEET CHAPTER 10 OF THE KERNERSVILLE FIRE RESCUE DEVELOPMENT STANDARDS MANUAL. SEE LINK TO MANUAL BELOW.
- NC FIRE CODE SECTION 902.2 STREET OR ROAD SIGNS: STREETS AND ROADS SHALL BE IDENTIFIED WITH APPROVED SIGNS. TEMPORARY SIGNS SHALL BE INSTALLED AT EACH STREET INTERSECTION WHEN CONSTRUCTION OF NEW ROADWAYS ALLOWS PASSAGE BY VEHICLES. SIGNS SHALL BE OF AN APPROVED SIZE, WEATHER RESISTANT AND BE MAINTAINED UNTIL REPLACED BY PERMANENT SIGNS.
- KERNERSVILLE FIRE RESCUE DEPARTMENT DEVELOPMENT STANDARDS MANUAL: <https://townofkernersvillefire.org/regulations/development-standards-manual/>

**WINSTON-SALEM/FORSYTH COUNTY UTILITY NOTES**

- ANY EXISTING WATERSEWER CONNECTIONS NOT INTENDED FOR REUSE MUST BE TERMINATED AT THE MAIN.
- SITE WILL BE MASTER METERED WITH REQUIRED SRA BACKFLOW PREVENTER MATCHING THE METER SIZE.
- WATER METERS PURCHASED THROUGH COWS. SYSTEM DEVELOPMENT FEES DUE AT THE TIME OF METER PURCHASE.
- SEWER AND WATER INTERIOR TO THE SITE WILL BE PRIVATE.
- ANY WATER CONNECTIONS TO COMMON AREAS, POOLS OR CLUBHOUSES WILL NEED A REDUCED PRESSURE ASSEMBLY BACKFLOW PREVENTER MATCHING THE METER SIZE.
- NO HEAVY CUT/FILL OR BUILDING PERMANENT STRUCTURES WILL BE ALLOWED OVER THE EXISTING SEWER MAINS GOING THROUGH THE PROPERTY.

**NC DOT NOTES:**

- NC DOT DRIVEWAY PERMIT REQUIRED FOR PROPOSED CONNECTIONS TO STATE SYSTEM ROADS.
- ADEQUATE DRAINAGE UNDER THE DRIVEWAY CONNECTION SHALL BE PROVIDED UNLESS OTHERWISE INDICATED. THE PIPE SHALL BE A MINIMUM DIAMETER OF 15" AND BE OF AN APPROVED NC DOT MATERIAL.
- PROVIDE ADEQUATE HORIZONTAL AND VERTICAL SIGHT DISTANCE FOR ALL PROPOSED DRIVEWAYS.
- REQUIRED 100 FT SEPARATION BETWEEN DRIVEWAYS PER THE NC DOT DRIVEWAY MANUAL.
- A 16' 1" TWO-PARTY ENCROACHMENT WOULD BE REQUIRED FOR UTILITY CONNECTIONS (E, POWER, TELEPHONE, AND GAS) IN THE RIGHT OF WAY.
- A 16' 1" ENCROACHMENT AGREEMENT WOULD BE REQUIRED FOR ANY ROADWAY WIDENING OR IMPROVEMENTS.
- A 16' 1" THREE-PARTY ENCROACHMENT AGREEMENT WOULD BE REQUIRED FOR ANY UTILITY TIES (WATER AND SEWER) IN RIGHT OF WAY.
- FOR ALL ENCROACHMENT AGREEMENT QUESTIONS, PLEASE CONTACT CAROLINA CARBAJAL - CCARBAJAL@NC DOT.GOV

**INFRASTRUCTURE**

WATER:	X PUBLIC	PRIVATE
SEWER:	X PUBLIC	PRIVATE
STREETS:	PUBLIC	X PRIVATE

NOTE: WATERSEWER INTERIOR TO THE SITE WILL BE PRIVATELY MAINTAINED

**SITE SIZE AND COVERAGE**

TOTAL ACREAGE:	54.695 AC
SITE COVERAGE:	
BUILDING TO LAND:	N/A %
PAVEMENT TO LAND:	N/A %
OPEN SPACE:	N/A %
TOTAL:	(100%)
BUILDING SQUARE FOOTAGE:	N/A SF
BUILDING HEIGHT:	N/A FT OR STORES

**ZONING**

EXISTING ZONING: RS-20 & RS-12  
PROPOSED ZONING: GB-CONDITIONAL  
TYPE OF REVIEW REQUESTED: REZONING  
G.E. REZONING PLANNING BOARD ZETTER  
PRELIMINARY SUBMITTAL APPROVAL, ETC.)

JOB NO.: 78361  
SHEET NO.: EX2.0

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