

Traverse City Historic Districts Commission Regular Meeting

Thursday, June 25, 2026
12:00 PM



2nd Floor Committee Room, Governmental Center
400 Boardman Avenue
Traverse City, Michigan 49684
Posted: Friday, June 19, 2026 4:03 PM

The City of Traverse City does not discriminate on the basis of disability in the admission to, access to, treatment in, or employment in, its programs or activities. Deb Allen, Assistant City Manager, 400 Boardman Avenue, Traverse City, Michigan 49684, phone 231-922-4440, TDD/TTY 231-922-4412, VRS 231-421-7008, has been designated to coordinate compliance with the non-discrimination requirements contained in Section 35.107 of the Department of Justice regulations. Information concerning the provisions of the Americans with Disabilities Act, and the rights provided thereunder, are available from the ADA Coordinator.

If you are planning to attend and you have a disability requiring any special assistance at the meeting and/or if you have any concerns, please immediately notify the ADA Coordinator.

The City of Traverse City is committed to a dialog that is constructive, respectful and civil. We ask that all individuals interacting verbally or in writing with the Commission honor these values.

Historic Districts Commission:
c/o Dave Weston, Zoning Administrator
(231) 922-4464
Web: www.traversecitymi.gov
400 Boardman Avenue
Traverse City, MI 49684

Welcome to the Traverse City Historic Districts Commission meeting!

Agenda

		Page
1. CALL TO ORDER		
2. APPROVAL OF MINUTES		
A. Approval of the May 28, 2026 regular meeting minutes		3 - 4
	Historic Districts Commission - 28 May 2026 - Minutes - Pdf	
3. REQUEST 26-HDC-05 FROM TRAVERSE ARCHITECTURAL GROUP, 830 COTTAGEVIEW DRIVE, SUITE 201, TRAVERSE CITY, MICHIGAN FOR:		
A. Approval of plans for the alteration of an existing detached garage located at the property commonly known as 601 Fifth Street, Traverse City, Michigan.		5 - 14
	<i>Central Neighborhood Historic District</i>	
	601 Fifth Street - Garage	
4. OTHER BUSINESS		
5. ADJOURNMENT		



**Minutes of the
Historic Districts Commission
for the City of Traverse City
Regular Meeting
Thursday, May 28, 2026**

A regular meeting of the Historic Districts Commission of the City of Traverse City was called to order at the 2nd Floor Committee Room, Governmental Center, 400 Boardman Avenue, Traverse City, Michigan, at 12 p.m.

The following Commissioners were in attendance: Commissioners MacLeod, Mansuy, Vice Chairperson Twietmeyer, and Chairperson Loup

The following Commissioners were absent: Commissioners Shinnars, Siciliano, and Shannon

(a) **CALL TO ORDER**

(b) **ROLL CALL**

(c) **APPROVAL OF MINUTES**

- (1) Approval of the April 30, 2026 regular meeting minutes.

Motion by Vice Chairperson Twietmeyer, seconded by Commissioner Mansuy, to approve the April 30, 2026 regular meeting minutes as presented. Upon vote the motion carried 4-0.

CARRIED.

(d) **3. REQUEST 26-HDC-03 FROM ALEXANDER FORTOSIS 410 SIXTH STREET, TRAVERSE CITY, MICHIGAN for:**

- (1) Approval of plans for the replacement and relocation of 3 windows located at the property mentioned.

Kelsey Duda, 909 S. Bayshore Drive, Elk Rapids, Michigan presented drawings and answered questions from the Commission. Motion by Commissioner Mansuy, seconded by Vice Chairperson Twietmeyer, to approve the drawings as presented. Upon vote the motion carried 4-0. Vice Chairperson Twietmeyer will

serve as the project liaison.

CARRIED.

(e) **REQUEST 26-HDC-04 FORM JACLYNN AND MATTHEW MARTIN, 524 WEST 8TH STREET, TRAVERSE CITY, MICHIGAN for:**

- (1) Approval of plans for a rear addition, changing three windows and replacing a window with French doors off the northeast side of the house located at the property mentioned.

Jaclynn Martin presented drawings and answered questions from the Commission. Motion by Chairperson Loup, seconded by Vice Chairperson Twietmeyer, to approve the drawings as presented, contingent that the west elevation window be larger to match the upper windows. Upon vote the motion carried 4-0. Commissioner MacLeod will serve as the project liaison.

CARRIED.

(f) **OTHER BUSINESS**

- (1) Staff updated the Commission on the status of expanding the Historic Districts.

(g) **ADJOURNMENT**

- (1) Meeting adjourned at 12:37 p.m.

David Weston, Secretary



TRAVERSE CITY HISTORIC DISTRICTS COMMISSION
APPLICATION FOR

HISTORICAL PRESERVATION PERMIT

Date of Application: _____

Property Address: _____

Local Historic District: _____

Existing Zoning Classification: _____

Architectural / Design Firm: _____

Address: _____

Description of Plans: _____

THE COMPLETED APPLICATION SHALL BE SUBMITTED TO THE CITY PLANNING DEPARTMENT A MINIMUM OF 10 DAYS PRIOR TO THE MEETING AT WHICH THE REQUEST WILL BE CONSIDERED AND SHALL MEET ALL REQUIREMENTS LISTED ON THE REVERSE SIDE.

Owner Name: _____ Phone: _____ Fax: _____

Address: _____

Signature of Owner: _____

Signature of Applicant (if different): *Jesus Cardona Villa* _____

Relationship of Applicant to Owner: _____

SUBMISSION REQUIREMENTS

To be considered by the Traverse City Historic Districts Commission, ten (10) copies of your plan drawn to scale, including the following items, must be submitted to the Planning Department:

1. Plans describing the proposed changes, showing the structure in question and also showing its relationship of the exterior architectural features of such structure to the rest of the structure.
2. Drawing and/or photographs showing the relationship of the exterior architectural features of such structure to the rest of the structure.
3. Drawings must clearly show the exterior design, arrangement, texture and materials proposed to be used.
4. The major improvement program, if any, shall be submitted in writing.
5. For demolition requests, an analysis of the economic feasibility of preservation of the structure shall be submitted.
6. Any other information deemed to be pertinent to the secretary and within the purpose of this ordinance.

The applicant acknowledges that the City may be required from time to time to release records in its possession. The applicant hereby gives permission to the City to release any records or materials received by the City as it may be requested to do so as permitted by the Freedom of Information Act, MCL 15.231 et seq.

8/20/25, 10:01 AM

CORNER VIEW.png







REV	DATE	BY	CHK	DESCRIPTION
01	11/25/24	DLA	DLA	Conceptual Base Drawing
02	7/7/25	DLA	KVK	DLA Added house addition to Site PLAN
03	10/30/25	DLA	MMW	DLA Revised house and garage plans

SCOTT REITER & DAVID VOSTRIZANSKY

OVERALL EXISTING CONDITIONS PLAN
Section 3, Town 27 North, Range 11 West
City of Traverse City, Grand Traverse County, Michigan

CONCEPTUAL

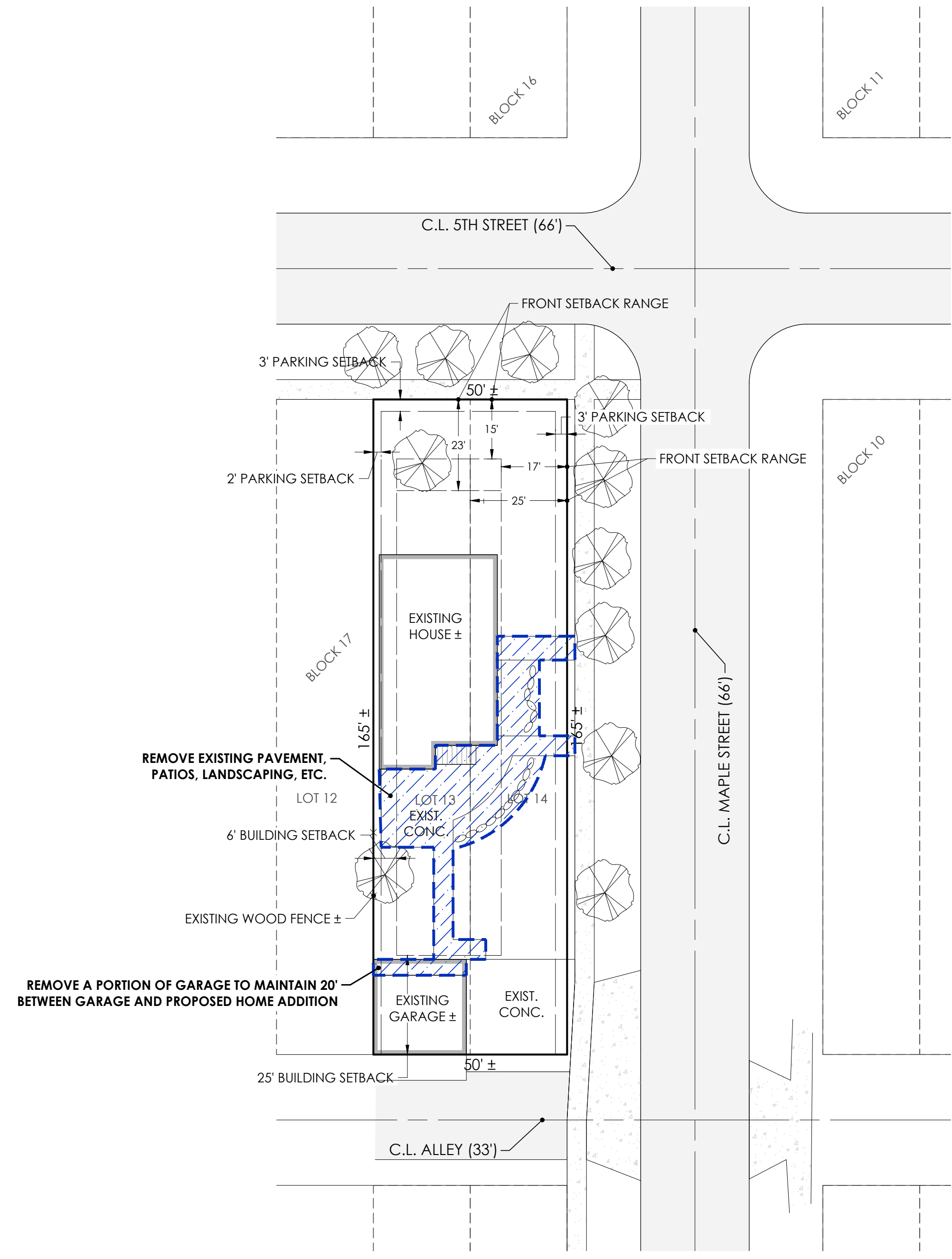
DATE: DLM

DATE: MAM DLM

DATE: 11/25/2024

NO: 24250

C2.0



PARCEL DESCRIPTION: LOTS 13-14, BLOCK 17, HANNAH, LAY & CO'S 6TH ADDITION.
 PARCEL ZONED: R-1b
 ADJACENT ZONING: R-1b
 ADDRESS: 601 5TH STREET
 TAX ID: 28-51-638-137-00
 HISTORIC DISTRICT: PROPERTY IS LOCATED WITHIN THE HISTORIC DISTRICT

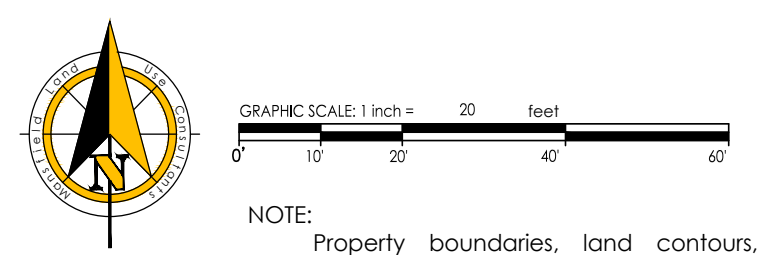
SETBACK FRONT (5TH):
 BUILDING: 15' MINIMUM, 23' MAXIMUM
 PARKING: 3'

SETBACK FRONT (MAPLE):
 BUILDING: 17' MINIMUM, 25' MAXIMUM
 PARKING: 3'

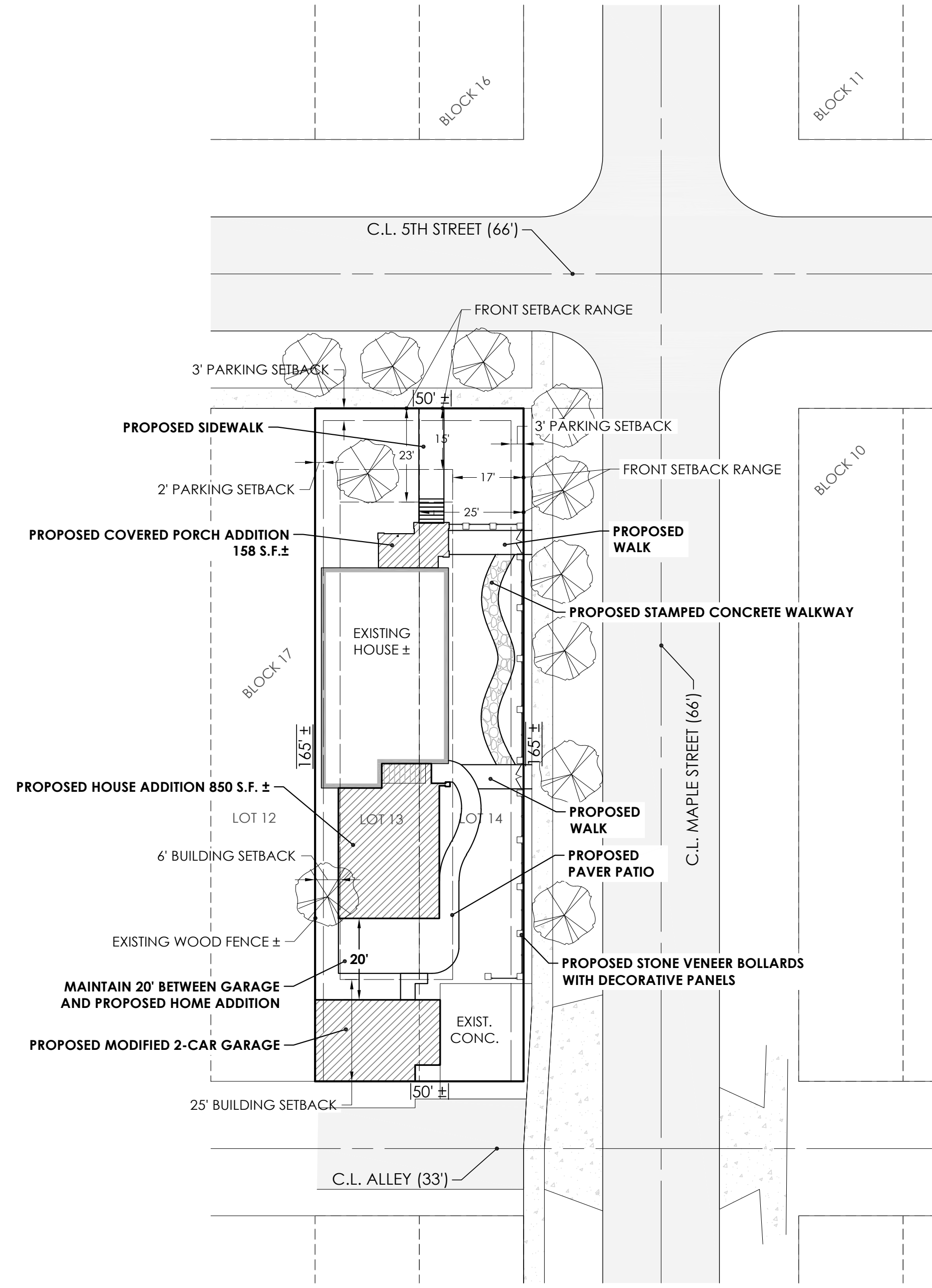
SETBACK SIDE:
 BUILDING: 6'
 PARKING: 2'

SETBACK REAR:
 BUILDING: 25'
 PARKING: NONE

LOT AREA: 8,250 S.F. ±
 LOT COVERAGE: 45% ALLOWED OR 3,713 S.F.



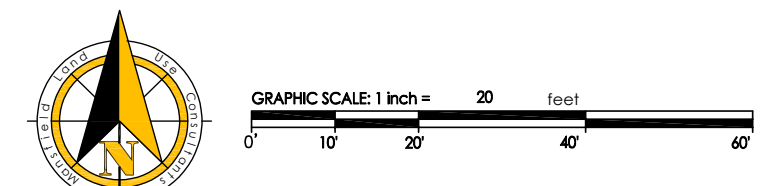
NOTE:
 Property boundaries, land contours, physical features and the like, illustrated on this plan are exhibited for planning purposes only. Mansfield Land Use Consultants makes no guarantee to the correctness nor the completeness of this information.



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 BUILDING: 17' MINIMUM, 25' MAXIMUM
 PARKING: 3'
SETBACK SIDE:
 BUILDING: 6'
 PARKING: 2'
SETBACK REAR:
 BUILDING: 25'
 PARKING: NONE

LOT AREA: 8,250 S.F. ±
LOT COVERAGE: 45% ALLOWED OR 3,713 S.F.
LOT COVERAGE: 33% ± CURRENT OR 2,761 S.F. ±
LOT COVERAGE: 45% ± PROPOSED OR 3,673 S.F. ±



NOTE: Property boundaries, land contours, physical features and the like, illustrated on this plan are exhibited for planning purposes only. Mansfield Land Use Consultants makes no guarantee to the correctness nor the completeness of this information.

830 Cottageview Dr.
 Suite 101
 P.O. Box 401
 Traverse City, MI 49685
 Phone: 231-946-9310
 www.mansfield.com
 info@mansfield.com

Mansfield 25

25th Anniversary
 1999-2024

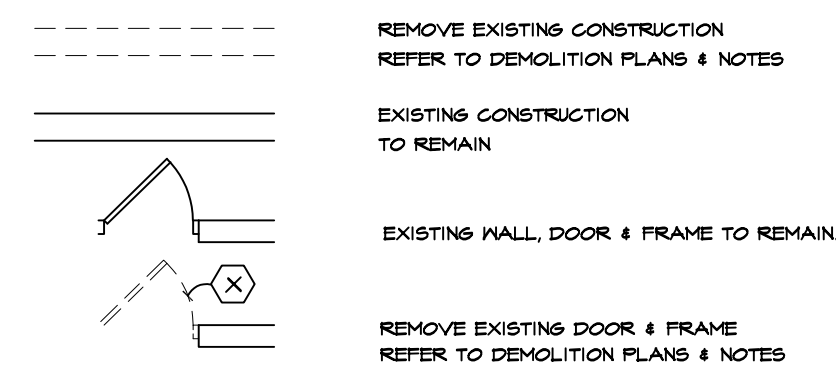
Land Use Consultants

REV	DATE	BY	CHK	DESCRIPTION
01	11/25/24	DM	DM	Conceptual Land Use Drawing
02	11/25/24	DM	DM	Added house address to Site Plan
03	11/25/24	DM	DM	Revised house and garage plans

SCOTT REITER & DAVID VOSTRIZANSKY
SITE PLAN
 Section 3, Town 27 North, Range 11 West
 City of Traverse City, Grand Traverse County, Michigan

CONCEPTUAL
 DLM
 DLM
 11.25.2024
24250
C4.0

WALL TYPES

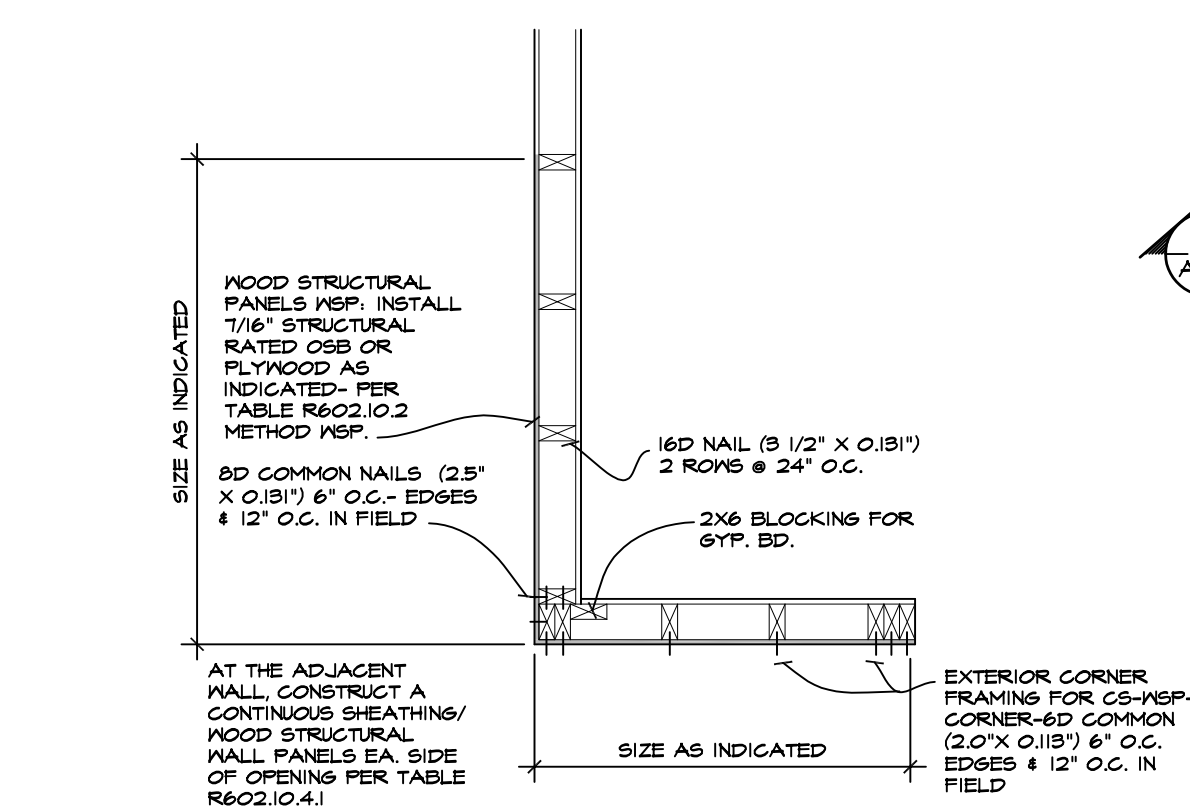


DEMOLITION NOTES

- REMOVE EXISTING PLASTER / WOOD LATH (OR GYP. BD.) / WOOD STUD WALLS. VERIFY WALL BEARINGS AND PROVIDE TEMPORARY SHORING OF EXISTING STRUCTURE ABOVE DURING INSTALLATION OF NEW BEAM / HEADER. INDICATED ON THIS PLAN. GARAGE WALL SHALL BE NO LESS THAN 20FT FROM ADDITION WALL.
- REMOVE EXISTING DOORS & FRAMES, WINDOWS, ETC. VERIFY W/ G.C. & OWNER. DOORS / WINDOWS TO BE SALVAGED / RELOCATED / RETROFITTED.
- REMOVE 1/4" OF EXISTING ROOF RAFTER (TRUSS) FRAMING FOR INSTALLATION OF NEW STAIRS & STUD WALL. REFRAME ROOF STRUCTURE AS REQUIRED.

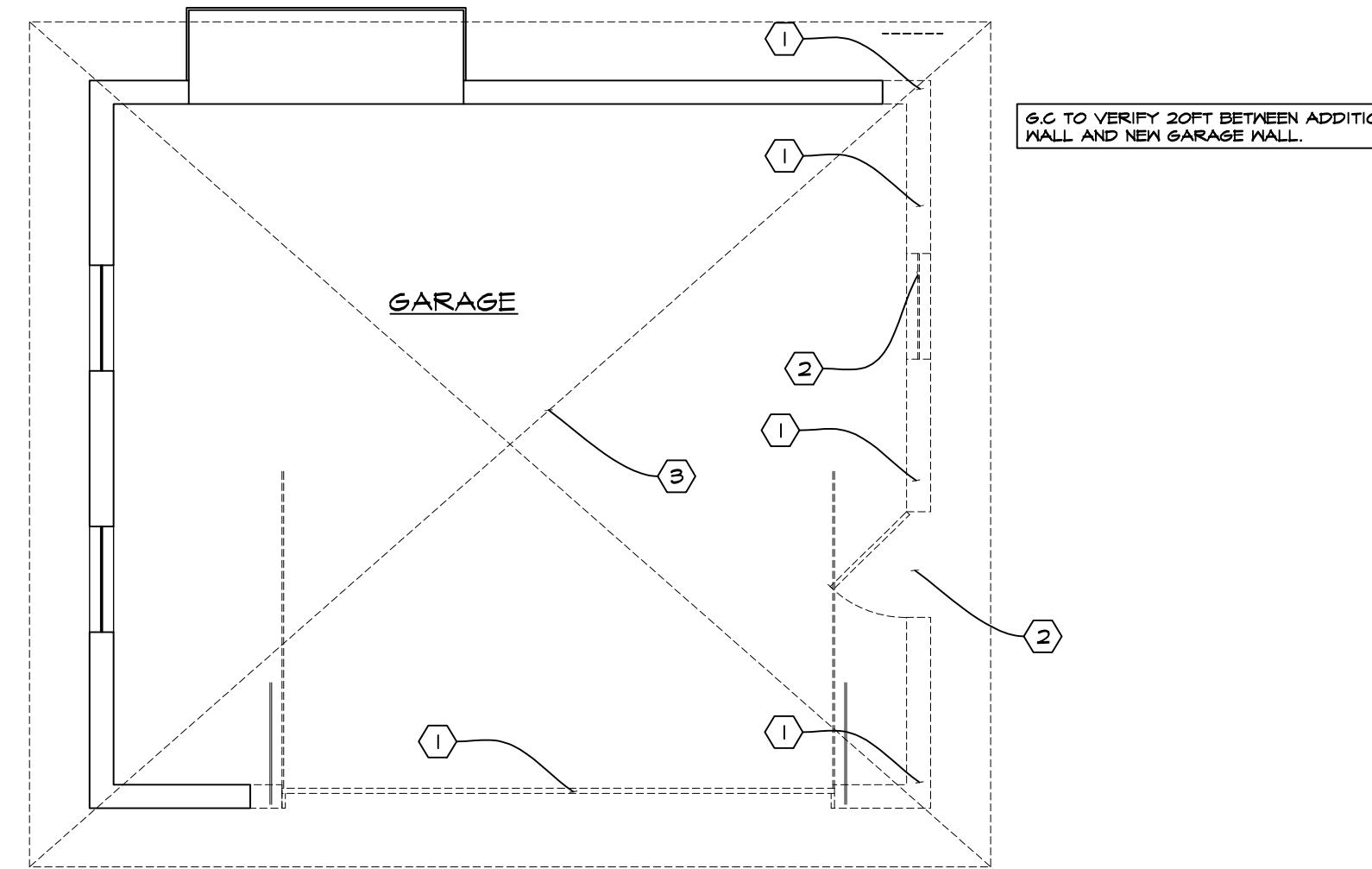
GENERAL NOTES

- MECHANICAL CONTRACTOR SHALL VERIFY EQUIPMENT TO BE REMOVED. REMOVE EXISTING MECHANICAL DUCTWORK AS REQUIRED.
- FIELD VERIFY. ITEMS NOTED AS EXISTING TO REMAIN AND NOTIFY ARCHITECT OF ANY DISCREPANCIES FROM CONDITIONS INDICATED IN THE DRAWINGS.
- DEMOLISH AND REMOVE EXISTING ROOF. COMPLY WITH ALL GOVERNING REGULATIONS TO COMPLETE THE WORK. ALL MEASURES NECESSARY TO ASSURE SAFE DEMOLITION OF THE AREAS INDICATED ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- ALL SAWCUTTING, CORE DRILLING & PATCHING OF CONCRETE SLABS BY GENERAL CONTRACTOR AS INDICATED ON DRAWINGS (ARCHITECTURAL, MECHANICAL, PLUMBING & ELECTRICAL) FOR ALL TRADES INVOLVED INCIDENTAL TO CONSTRUCTION.
- FIELD VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS PRIOR TO CONSTRUCTION. DIMENSIONS SHOWN ARE +/- APPROXIMATE LENGTHS.
- THERMAL AND MOISTURE PROTECTION. PROVIDE TEMPORARY PROTECTION FOR PORTIONS OF THE EXISTING BUILDING WHICH ARE EXPOSED TO THE OUTSIDE ENVIRONMENT AS A RESULT OF THE DEMOLITION PROCESS.
- STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING AND SPECIAL SYSTEMS DRAWINGS. REVIEW AND COORDINATE DEMOLITION WORK INDICATED ON THESE DRAWINGS.
- HAZARDOUS MATERIALS. IF THE PRESENCE OF HAZARDOUS MATERIAL OR SUSPECTED HAZARDOUS MATERIAL IS ENCOUNTERED DURING THE PROCESS OF DEMOLITION OPERATIONS NOTIFY ARCHITECT/ENGINEER IMMEDIATELY AND COMPLY WITH OSHA REGULATIONS RELATED TO WORK IN THAT AREA.
- ASBESTOS. IF SUSPECTED ASBESTOS CONTAINING MATERIAL IS ENCOUNTERED, CEASE WORK IN THAT AREA AND NOTIFY THE OWNER IMMEDIATELY.
- FIRE EXTINGUISHERS. PROVIDE FIRE EXTINGUISHERS THROUGHOUT THE DEMOLITION AREA AS REQUIRED BY CODE FOR THE DURATION OF WORK.
- DO NOT CUT OR MODIFY STRUCTURAL ELEMENTS IN A MANNER RESULTING IN A REDUCTION OF LOAD CARRYING CAPACITY OR LOAD DEFLECTION RATIO. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT/STRUCTURAL ENGINEER OF ALL STRUCTURAL CUTS PRIOR TO EXECUTION SO THAT APPROVAL CAN BE OBTAINED FROM THE ARCHITECT/STRUCTURAL ENGINEER.
- TEMPORARY SHORING. PROVIDE AND MAINTAIN INTERIOR AND EXTERIOR SHORING, BRACINGS, OR STRUCTURAL SUPPORT TO PRESERVE STABILITY AND PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF CONSTRUCTION TO REMAIN. PERFORM DEMOLITION OPERATIONS TO PREVENT UNEXPECTED OR UNCONTROLLED MOVEMENT OR COLLAPSE OF CONSTRUCTION BEING DEMOLISHED. STRENGTHEN OR ADD NEW SUPPORTS WHEN REQUIRED DURING PROGRESS OF SELECTIVE DEMOLITION.



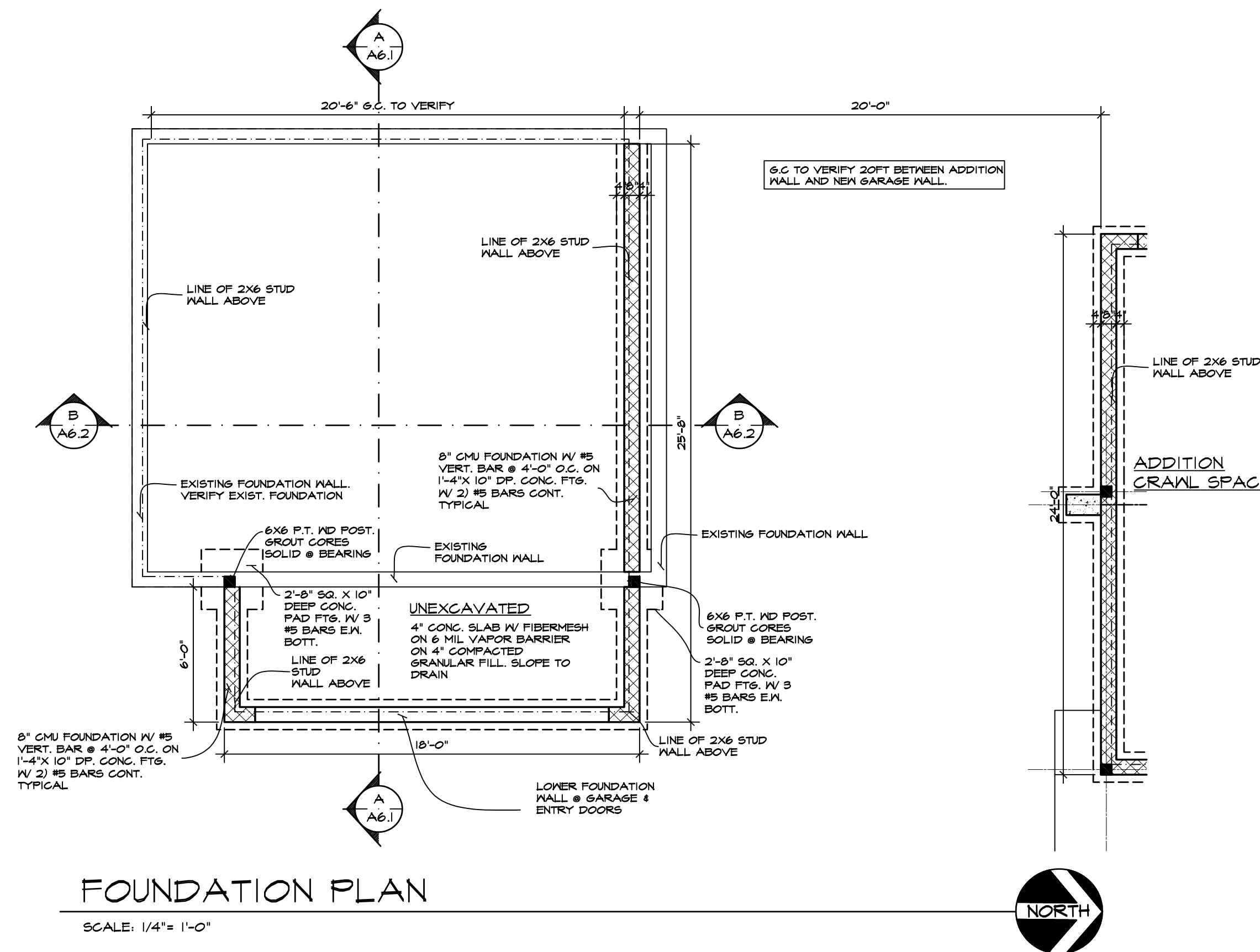
TYPICAL CORNER FRAMING FOR WOOD STRUCTURAL PANELS (NSP)

SCALE: 3/4" = 1'-0"



EXISTING GARAGE FLOOR PLAN - DEMOLITION

SCALE: 1/4" = 1'-0"

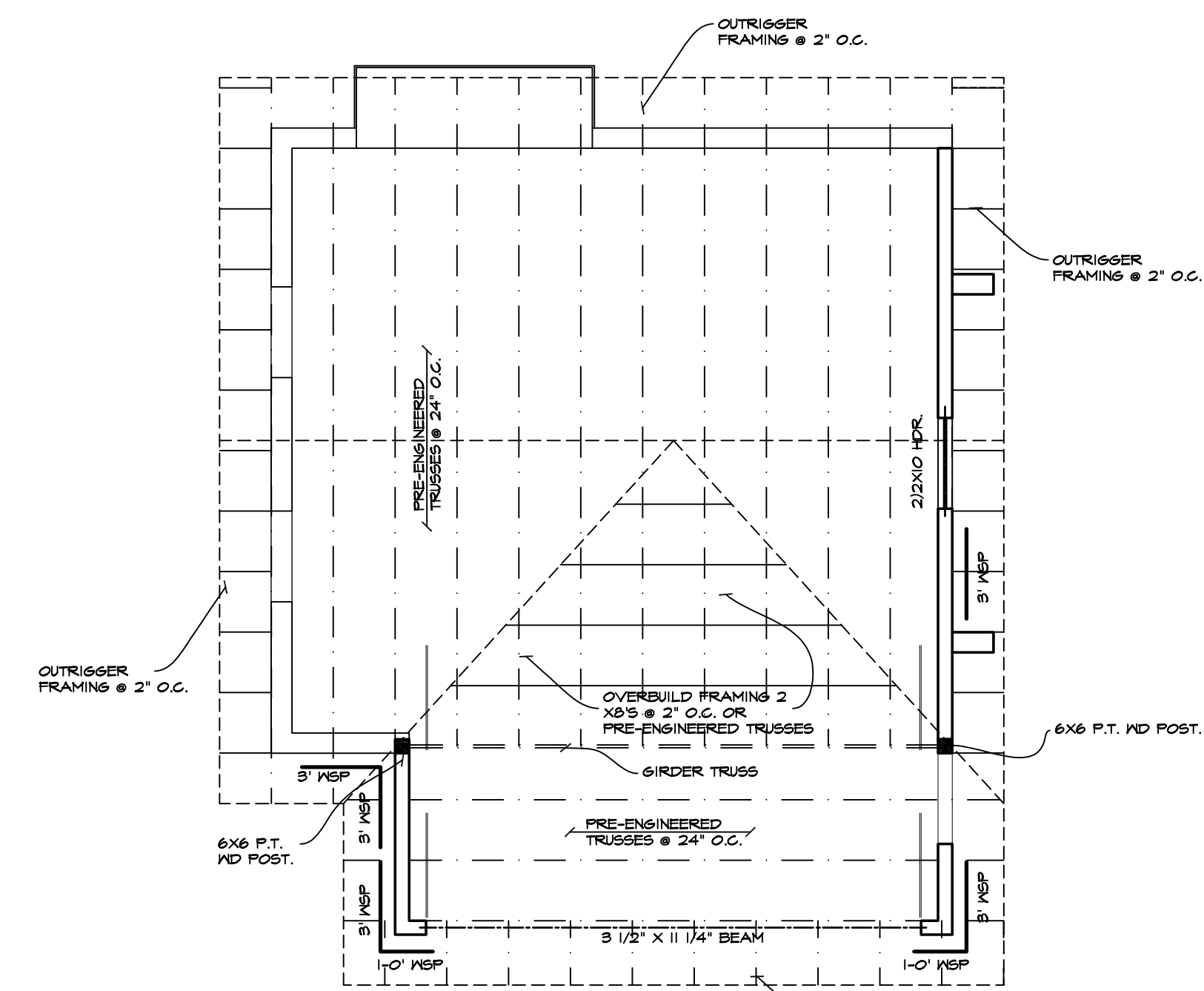


FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

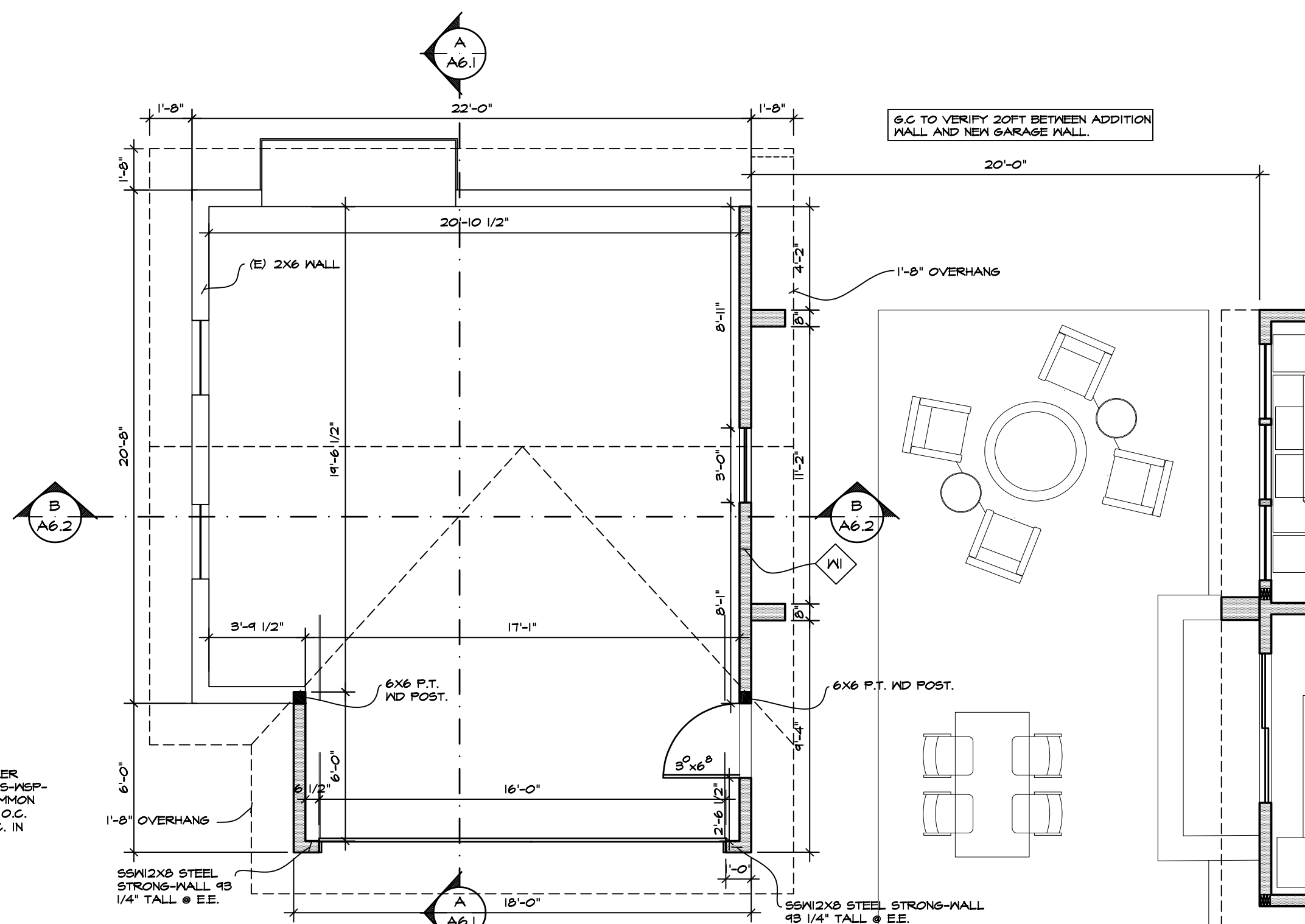
WALL/FLOOR ASSEMBLY TYPES

- EXTERIOR WALLS:
 - 1/2" GYP. BD. INTERIOR
 - 2x6 WOOD STUDS @ 16" O.C.
 - 1/2" OSB OR PLYMD. EXTERIOR



GARAGE ROOF PLAN

SCALE: 1/4" = 1'-0"



NEW MAIN FLOOR PLAN

SCALE: 1/4" = 1'-0"

TRAVERSE ARCHITECTURE GROUP
830 Cottageview Dr., Suite 201
P.O. Box 4015
Traverse City, MI 49685
Ph: 231-946-9540 Fax: 231-946-8826



DEMO & FOUNDATION PLAN

GARAGE ALTERATION
SCOTT REITER & DAVID VOSTRIZANSKY
601 PITTSLAKE
TRAVERSE CITY, MI 49684

<input type="checkbox"/>	PRELIMINARY
<input checked="" type="checkbox"/>	CONSTRUCTION
<input type="checkbox"/>	FINAL RECORD

DRAWING HISTORY:

DATE: DESCRIPTION:

DRAWN BY: JCV

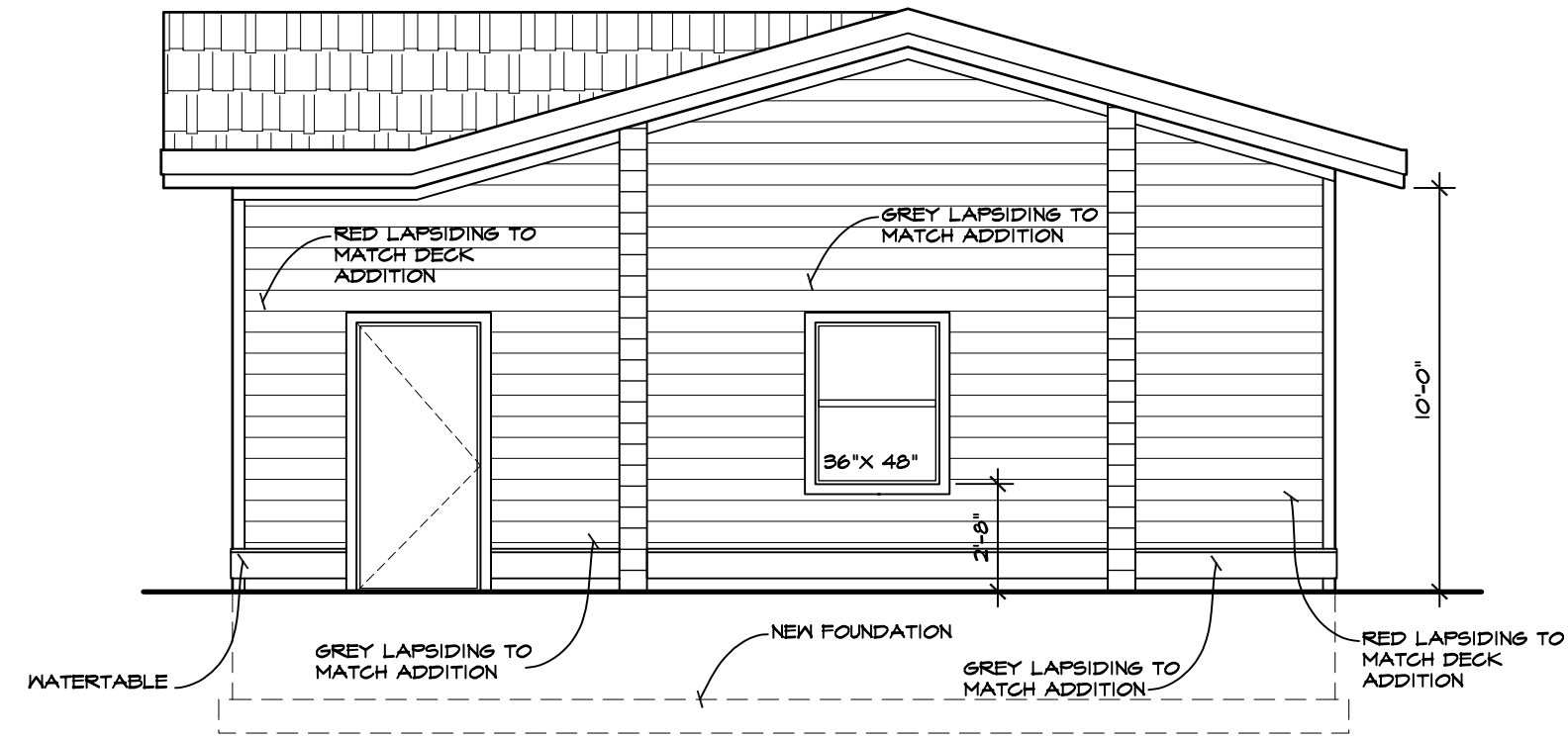
CHECKED BY: CLIENT

DATE: 06/05/26

JOB NO.: 24250

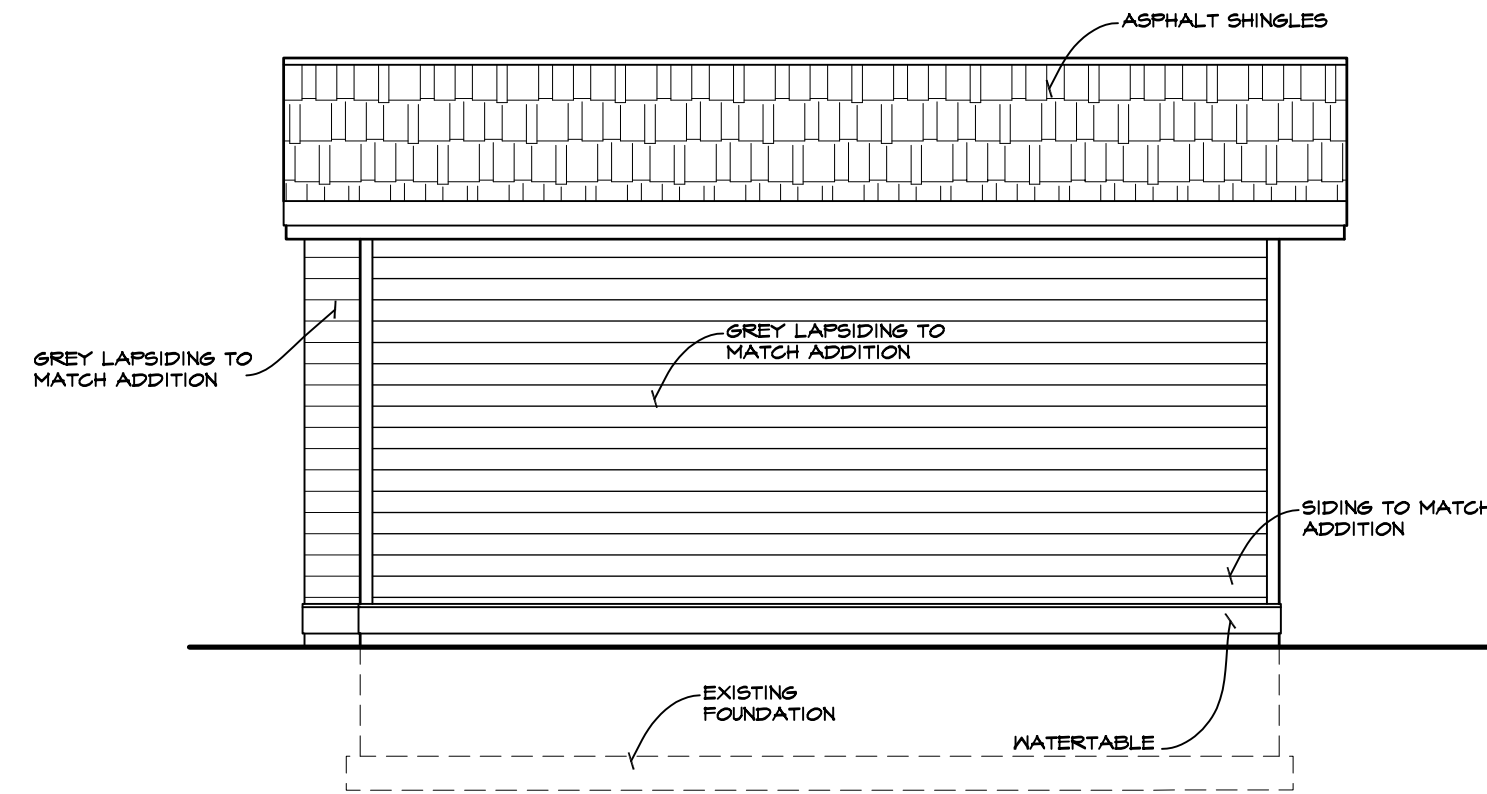
SHEET #

A2.1



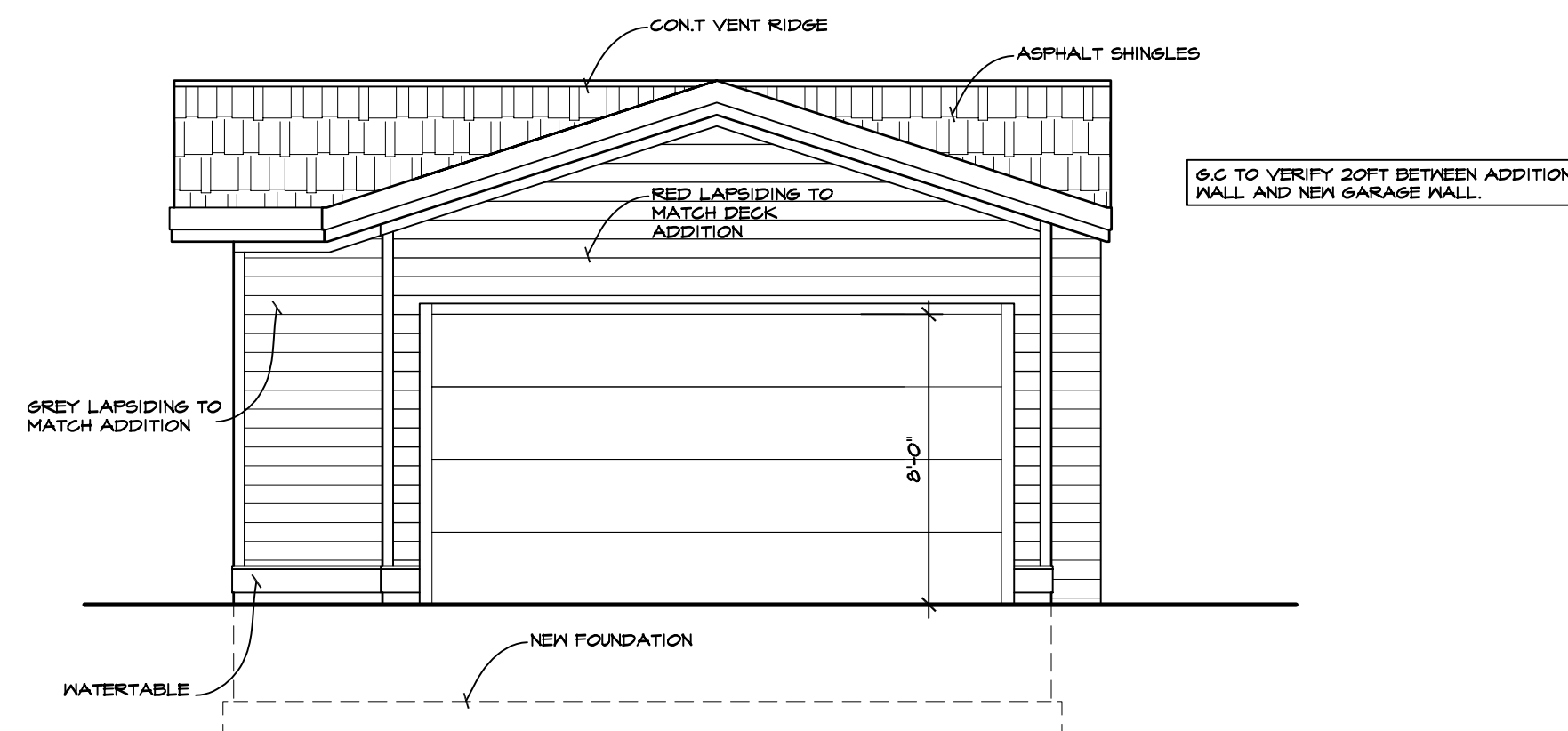
NORTH ELEVATION

SCALE: 1/4" = 1'-0"



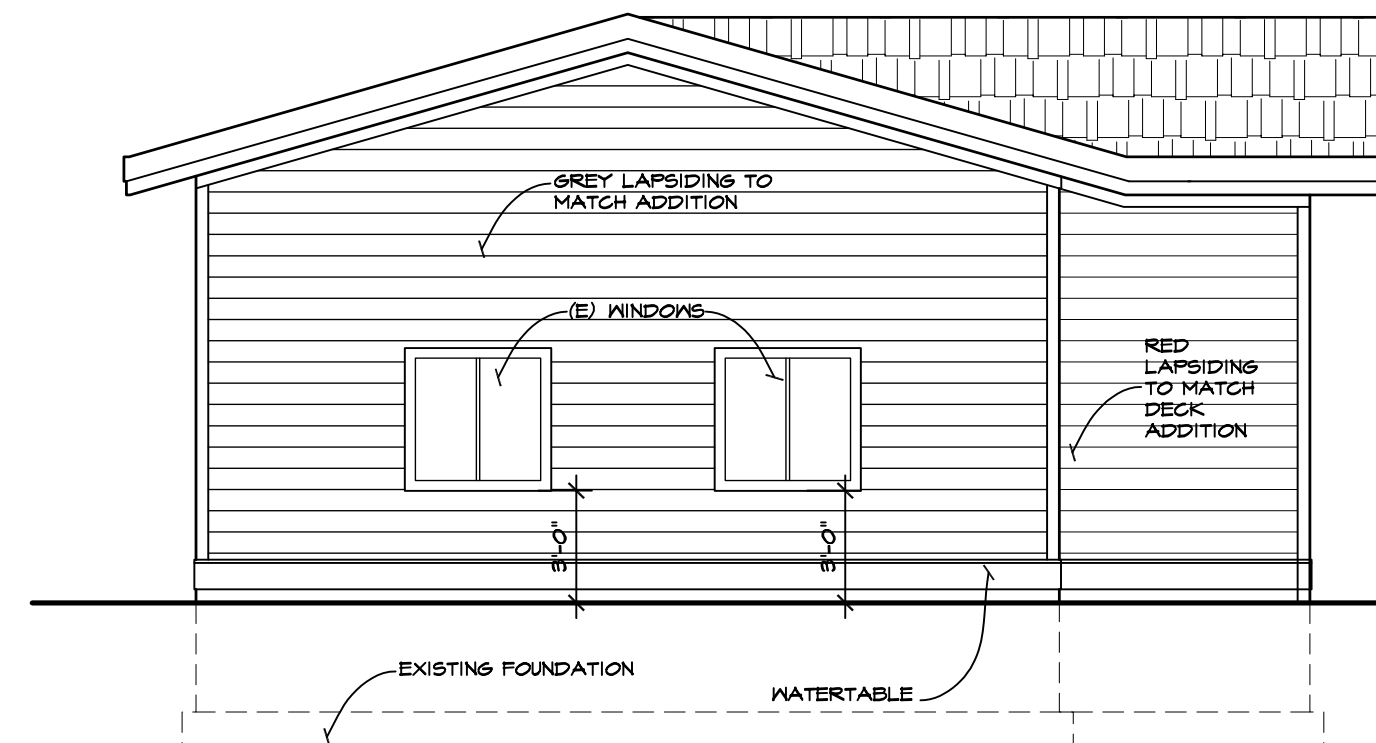
WEST ELEVATION

SCALE: 1/4" = 1'-0"



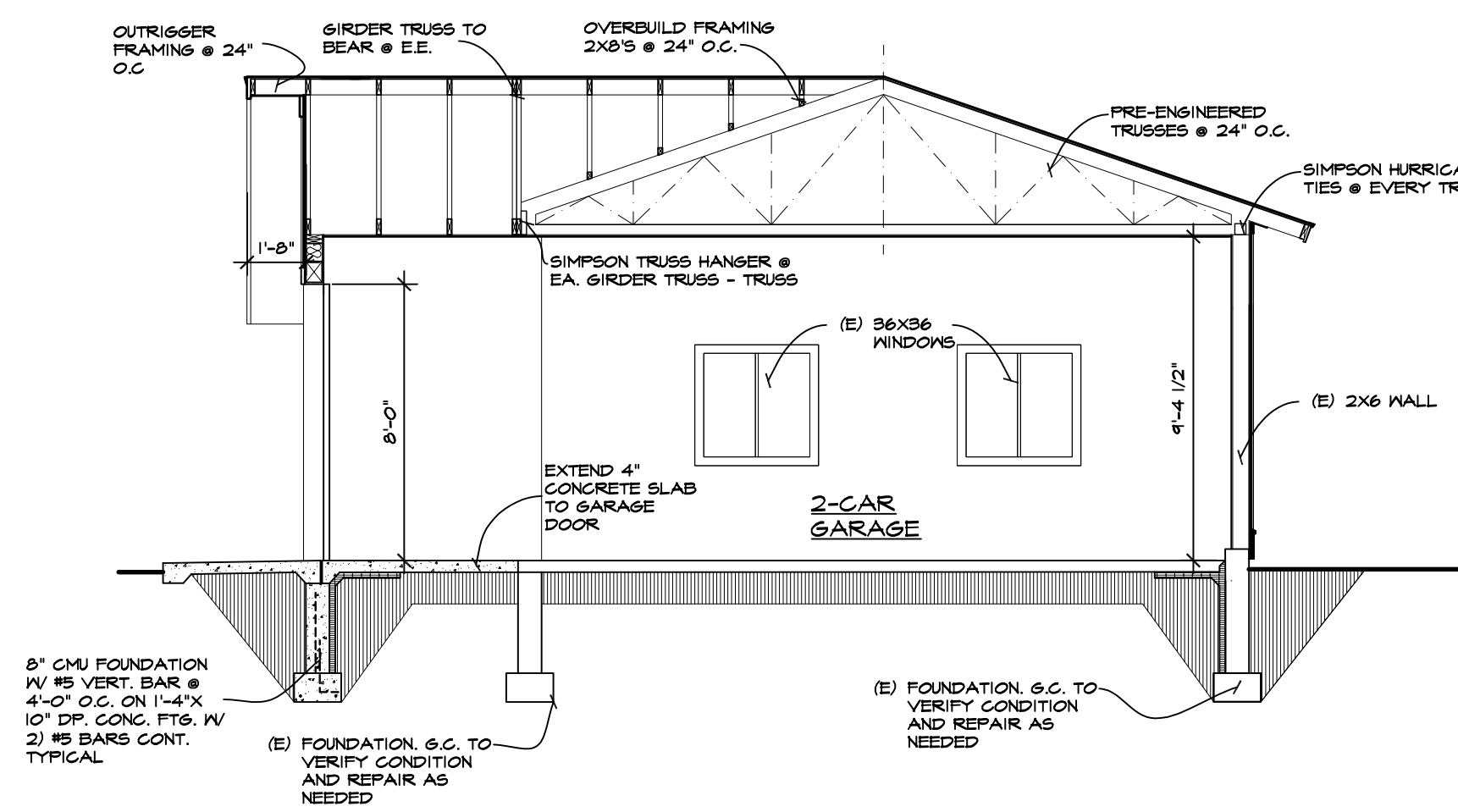
EAST ELEVATION

SCALE: 1/4" = 1'-0"



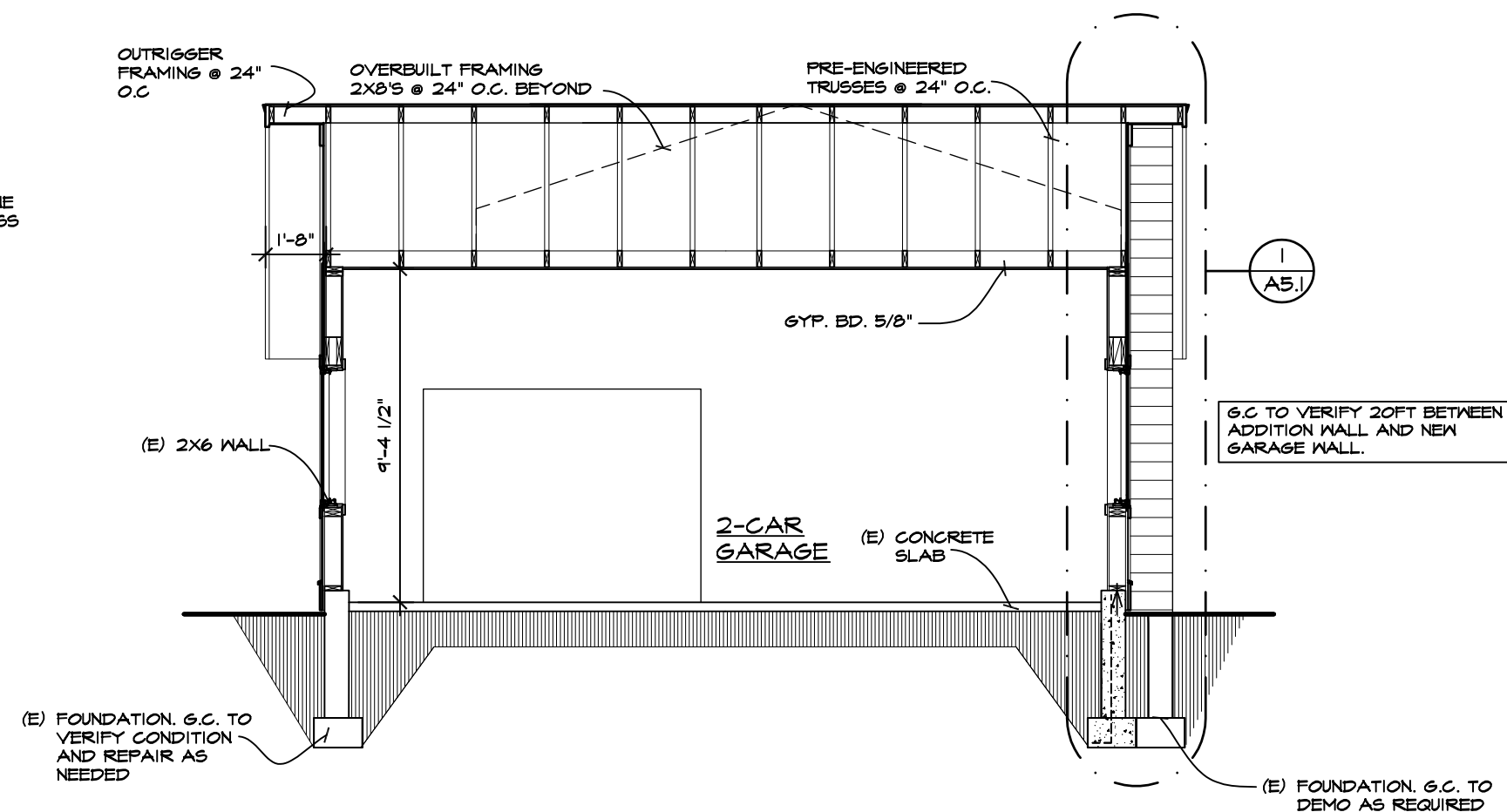
SOUTH ELEVATION

SCALE: 3/16" = 1'-0"



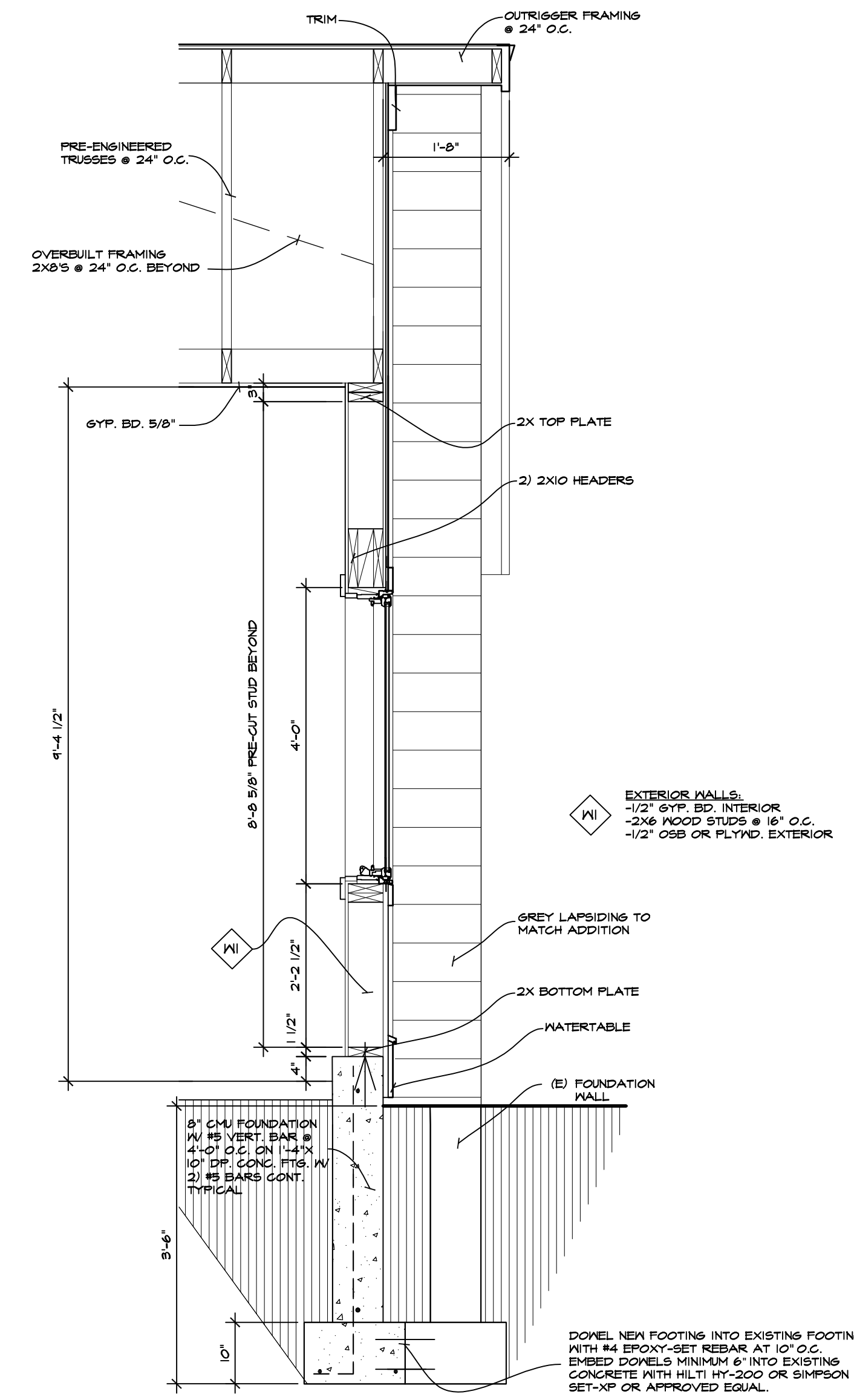
SECTION A'

SCALE: 1/4" = 1'-0"



SECTION B'

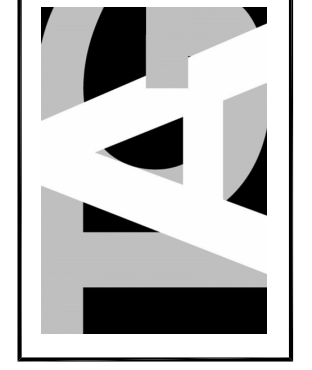
SCALE: 1/4" = 1'-0"



WALL SECTION

SCALE: 3/4" = 1'-0"

TRAVERSE
ARCHITECTURE
GROUP
830 Cottageview Dr., Suite 201
Traverse City, MI 49685
Ph: 231-946-9940 Fax: 231-946-8926



EXTERIOR ELEVATIONS & SECTIONS

GARAGE ALTERATION
SCOTT REITER & DAVID VOSTRIZANSKY

601 FIFTH ST.
TRAVERSE CITY, MI 49684

<input type="checkbox"/>	PRELIMINARY
<input checked="" type="checkbox"/>	CONSTRUCTION
<input type="checkbox"/>	FINAL RECORD

DRAWING HISTORY:

DATE	DESCRIPTION

DRAWN BY: JCV
CHECKED BY: CLIENT
DATE: 06/05/26
JOB NO.: 24250

SHEET #
A5.1

P:\100 Projects\24250_Misc\24250_Misc.dwg (A5.1) - Jun 05, 2026, 3:08pm - reitervf